



**AGENDA
FOR THE CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN COMMISSION
MEETING OF APRIL 7, 2016
AT 7:00 PM
IN THE OLIVETTE CITY COUNCIL CHAMBERS
AT CITY HALL GOVERNMENT CENTER
LOCATED AT 9473 OLIVE BOULEVARD**

1. Roll Call
2. Review Of Commission Procedures
3. Consent Business
 - A. 43 Enfield Road
Site Plan and Community Design Review for:
2-level addition in front of home and
1-level addition in rear of home.
Petitioner: Mike Dinzebach, M. Dinzebach Construction, LLC
Owner: Rebecca and Joseph Schulz

Documents: [ENFIELD RD-NO 43 PETITION AND ATTACHMENTS.PDF](#),
[ENFIELD RD-NO 43 PCDC PLANS 2016 04-07.PDF](#), [ENFIELD RD-NO 43
REVIEW LETTERS.PDF](#)
4. Old Business
5. New Business
 - A. 9761 Lindley Drive
Site Plan and Community Design Review for:
Construction of a New Home.
Petitioner: Doug Cohen, Douglas Properties
Owner: Doug Cohen Real Estate

Documents: [LINDLEY DR-NO 9761 PETITION AND ATTACHMENTS.PDF](#),
[LINDLEY DR-NO 9761 PLANS 2016 03-09.PDF](#)
6. Other Business
 - A. Meeting Minutes

Documents: [PCDC MTG MIN 2016 03-10.PDF](#)
7. Discussion Items
 - A. 9626 Olive Boulevard, LuLu Chinese Express
Discussion regarding the issued Special Permit Use, Wall Signage, and Outdoor
Seating

B. Olivette Residential Redevelopment And Design Guidelines

8. Reports

9. Adjournment

AGENDA ITEMS WILL NOT NECESSARILY BE DISCUSSED IN ORDER.

IF YOU HAVE ANY QUESTIONS, PLEASE CALL CITY HALL AT (314) 993-0444.

THE NEXT SCHEDULED MEETING IS APRIL 21, 2016

The City of Olivette hereby advises the public, employees and qualified job applicants that they are afforded an equal opportunity to participate in the programs and service of the City regardless of race, color, religion, sex, age, disability, familial status, national origin or political affiliation. If you are a person with a disability and have special needs, please call Barbara Sondag, City Manager at 314.993.0444 as soon as possible but no later than one day prior to the event or call 314.993.3610 VOICE TDD, 1.800.735.2466 RELAY MISSOURI. Thank you.

Posted this 1st day of April, 2016 at 12:45 PM.

Myra Bennett

Myra G. Bennett, CMC/MPCC

City Clerk

City of Olivette

pa 3-11-2016 CK #3308 - #150.00



CITY OF OLIVETTE

PETITION FOR COMMUNITY DESIGN REVIEW (RESIDENTIAL)

City of Olivette Public Services
Department of Planning &
Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252 (Office)
www.olivettemo.com

Carlos Trejo, AICP
Director

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: MIKE DINZEBACH, VICE PRESIDENT & PROJECT MANAGER

Company Name: M. DINZEBACH CONSTRUCTION, INC.

Address: 3333-16 RUE ROYAL ST. City: ST. CHARLES Zip Code: 63301

E-mail Address: mdconstruct@charter.net
danielle@mdinzebachconstruction.com Phone Number: (636) 493-6300 (office)
(314)-757-2121 (cell)

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

200 LPR
150 SPR
\$350

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction
- Major Residential Addition and/or exterior modification
- Accessory Structure
- Other (Site Plan Review)

PROPERTY INFORMATION

Address of Property: 43 ENFIELD RD., OLIVETTE, MO 63132

St. Louis County Tax ID No. 17L220564

Legal Description of Property: SUBDIVISION: CHEVY CHASE LOT NO. : 3

OWNERSHIP (If applicant is not the owner):

Name of Owner: REBECCA SCHULZ & JOSEPH SCHULZ

Mailing Address: 43 ENFIELD RD. City: OLIVETTE Zip Code: 63132

Phone Number: (314) 504-8280 E-mail: RHSCHULZ@gmail.com

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

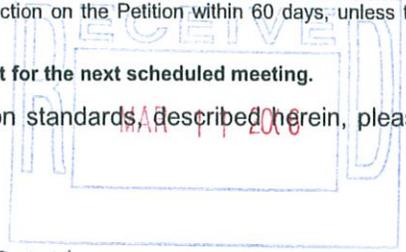
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards described herein, please sign the following:

Mike Dinzebach
Name of applicant

3/8/2016
Date



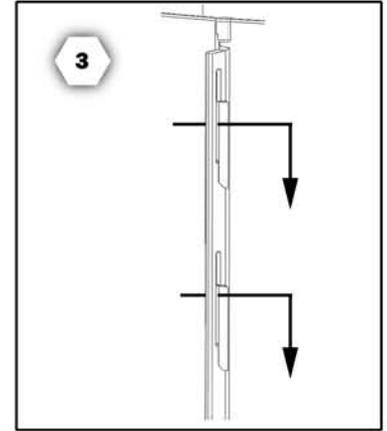
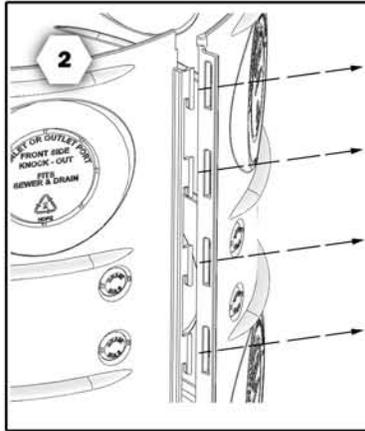
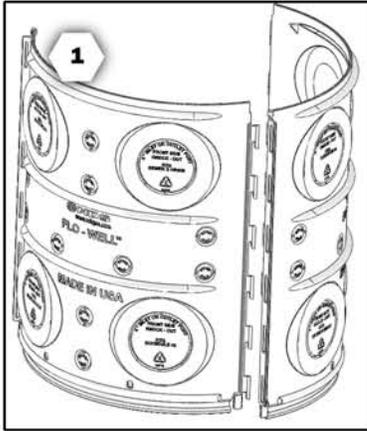
WARNING: Call before you dig. Contact your local utilities to create utility mark-out and to avoid personal injury.
RECOMMENDED: For all Flo-Well configurations install at least an appropriate 10 feet from foundations or structures.

ASSEMBLY INSTRUCTIONS



BEFORE YOU DIG:
Contact the local utilities to create utility mark-out.

1. Place two panels side by side and align male tabs with female flange.
2. Pinch tabs and flange flush until panels interlock.
3. For final lock, slide male tabs downward until panel edges are leveled at top.
4. Repeat steps 1-3 for the third panel assembly.
5. Set cover over panel assembly and rotate until all three panel flanges are aligned with cover screw locations.



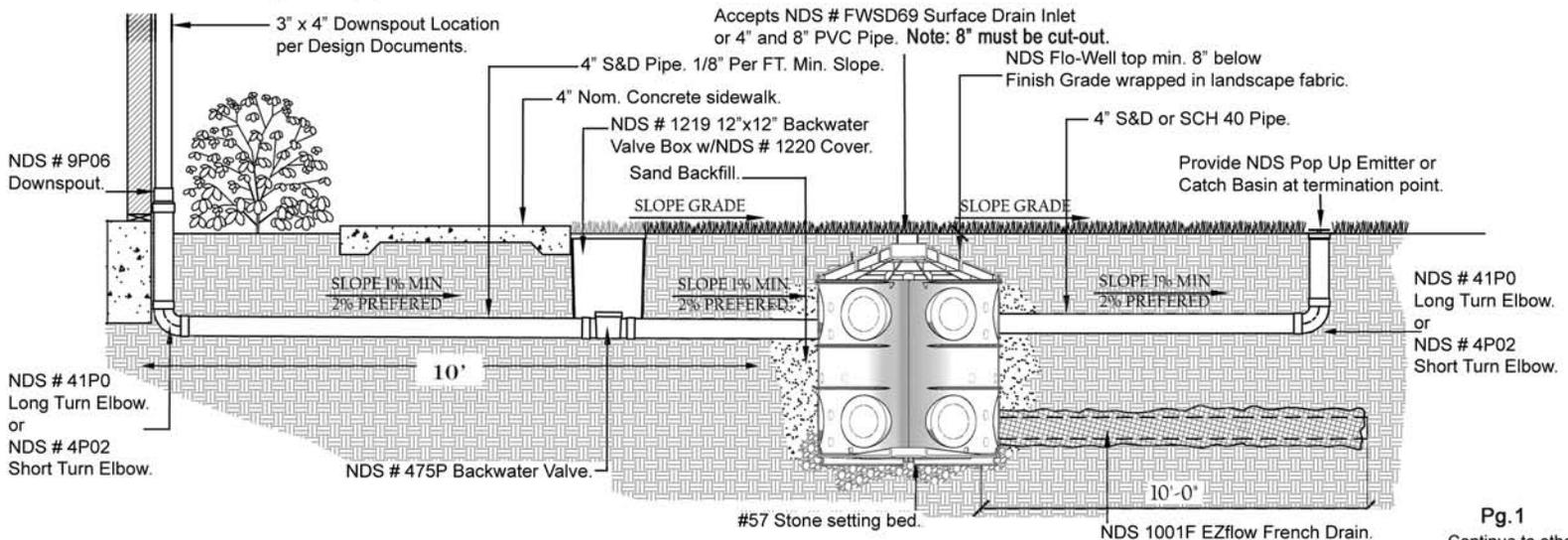
DRY WELL SETUP

Required items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, 4" PVC pipe, jig-saw, and catch basin or downspout adapter

1. Strategically plan Flo-Well's location at a minimum distance of 10' from foundations.
 - a. Note: Take into consideration traffic and elevation conditions.
2. Once Flo-Well location is verified; dig a 4' wide by 4' deep hole.
3. Dig a trench from the end of the downspout at about 1' deep and 6" wide that slopes gradually towards the Flo-Well.
4. For pipe connection and leach direction, use small hammer to knock-out appropriate 1" and 4" panel ports.
5. Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
6. Place Flo-Well assembly into ground and insert preferred 4" pipe into knocked-out port. Connect other end of 4" pipe to downspout either by catch basin or downspout adapter.
7. Backfill evenly around the Flo-Well with sand or recommended 3/4" stone gravel.
8. Bury Flo-well assembly with top at least 8" below the surface grade.

Installation Example:

Ground water Recharge Hardpipe.



Continued...

Optional 1: See Illustration #2

1. For light traffic applications:

Install perforated or slotted SDR35 Pipe to increase vertical loading strength as shown.

Optional 2: See Illustration #1

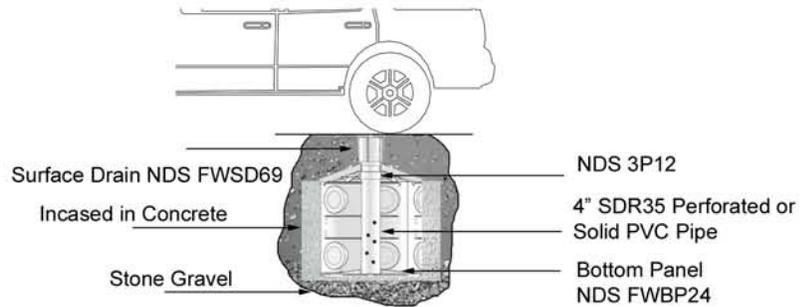
2. For water back up prevention:

Vent downspout and use surface drain to allow overflow of excess water away from Flow-Well.

3. To capture collected surface water:

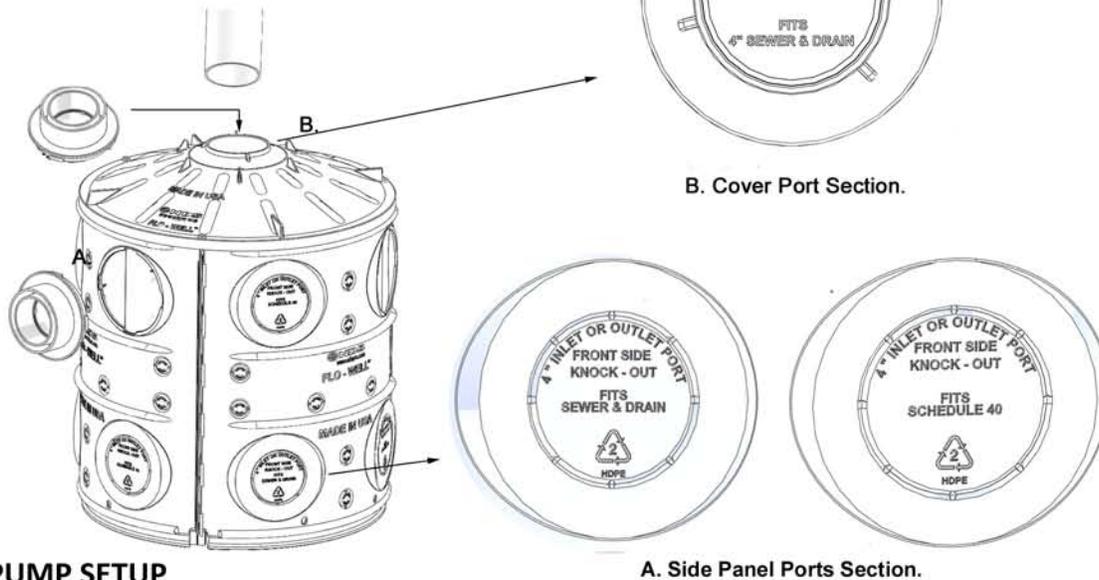
Place the Flow-Well at the lowest elevation point and install surface drain directly on top of cover.

Illustration #2



New Flo-Well Features:

- *Added center 4" cover knock-out
- *Added center 8" cover cut-out
- *Added center "Universal Adapter" cover cut-out
- *Added sump "U" cover cut-out
- *Added 4" SCH 40 and 4" SDR 35 panel knock-out ports
- *Added "Universal Adapter" panel cut-out



SUMP PUMP SETUP

Required items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, jig saw, and pump

1. Follow assembly instructions in section 1 then dig a 4' wide by 4' deep hole at a minimum distance of 10' from foundations.
2. For leach direction, use small hammer to knock-out appropriate 1" panel drain holes.
3. Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
4. Place Flo-Well assembly into ground and back fill around evenly up to cover with sand or recommended 3/4" stone gravel.
5. For sump pumps there are (3) options:
6. a.) Knock-out the center 4" plug on the top cover if your pump has a center discharge.
- b.) Cut-out 8" circle template on cover with jigsaw for drop-in sump, cover with 8" S&D pipe, cap or install NDS 8" rnd. Grate part # 1040.
- c.) Cut out the "U" shaped section on the top of cover with a jig saw for pedestal pumps with cut-off floats.
7. Attach pump to cover to insure smooth operation of cut-off float.

For Installation details, please visit our website www.NDSPRO.com

Ndspro.com > Products and Solutions > Drainage Solutions > Flo-Well Drywell. The detail drawings will be under the 'Specify Flo-Well' category.

IMPORTANT NOTICE: It is your obligation to determine whether this product is suitable for your intended use and particular method of application. CONSULT YOUR LOCAL BUILDING OFFICIALS TO INSURE COMPLIANCE WITH ALL BUILDING CODES AND REQUIREMENTS.

CAUTION: The step-by-step installation instructions provided reflect mechanical assembly only. Additional information may be necessary to insure proper results for all applications. Consult with professionals to determine special soils conditions and structural requirements.



Another Quality Product brought to you by NDS, Inc.

851 N. Harvard Avenue, Lindsay CA 93247

If you have any questions or comments about this product, please call us at (800) 726-1994



Real Estate Information Ownership, Legal and Assessments

43 ENFIELD RD, SAINT LOUIS, MO 63132

Ownership and Legal Information: 17L220564 - 2016

Locator No.	Tax Year	Tax District	City Code	Site Code	Destination Code
17L220564	2016	117AC	042	1074	
Owner's Name:	Schulz Joseph & Rebecca Joint Trust Agreement				
Taxing Address:	43 Enfield Rd Saint Louis, MO 63132				
Care-Of Name:					
Mailing Address:	Same as the taxing address.				
Subdivision Book - Page:					
Assessor's Book - Page:	05 - 0427				
City Name:	Olivette				
Subdivision Name:	Chevy Chase				
Legal Description:					
Lot Number:	3		Block Number:	3	
Lot Dimensions:			Total Acres:		
Tax Code - Description:	A - Taxable		Land Use Code:	110	
Deed Document Number:	N		Deed Type:	N	
Deed Book and Page:	Book: 19395	Page: 1679	Trash District:	Not Applicable	
Deed Index List:	View Deed Index Information Recorded With Locator Number 17L220564				
School District:	Ladue		County Council District:	5	

Assessment Information: 17L220564 - All Available Years

Year	Property Class	Appraised Values				%	Assessed Values		
		Land	Improv.	Total	Land		Improv.	Total	
Search Input:									
<input type="radio"/> Locator Number	43	▼	Enfield	Road	▼	1 Record Found			
<input type="radio"/> Owner Name	Number	Direction	Street Name*	Suffix		Row Number	Map	Locator Number	P Ad
<input checked="" type="radio"/> Property Address	<input type="button" value="Find"/> <input type="button" value="Reset"/> <input type="button" value="Help"/>					1		17L220564	43 En Rc
<input type="radio"/> Subdivision Name	* - Indicates a required field.								
	<input checked="" type="radio"/> Proper Case <input type="radio"/> Upper Case <input type="radio"/> Lower Case								

Rear View
Adjacent Homes of 43 Enfield Dr.



Figure 2-41 Enfield Dr.



Figure 1-45 Enfield Dr.

Rear View
Adjacent Homes of 43 Enfield Dr.



Figure 2- 41 Enfield Dr.



Figure 1- 45 Enfield Dr.

Rear View
Adjacent Homes of 43 Enfield Dr.



Figure 2-41 Enfield Dr.



Figure 1-45 Enfield Dr.



41 ENFIELD DRIVE



43 ENFIELD DRIVE



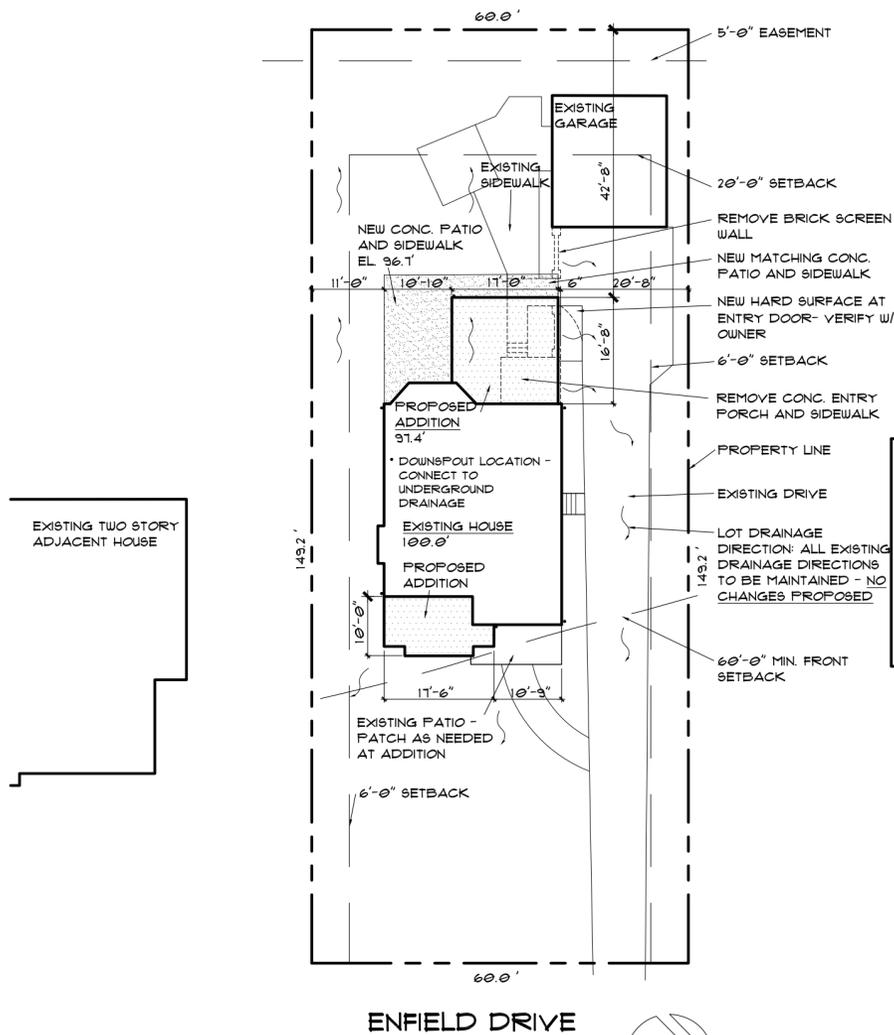
45 ENFIELD DRIVE

EXISTING

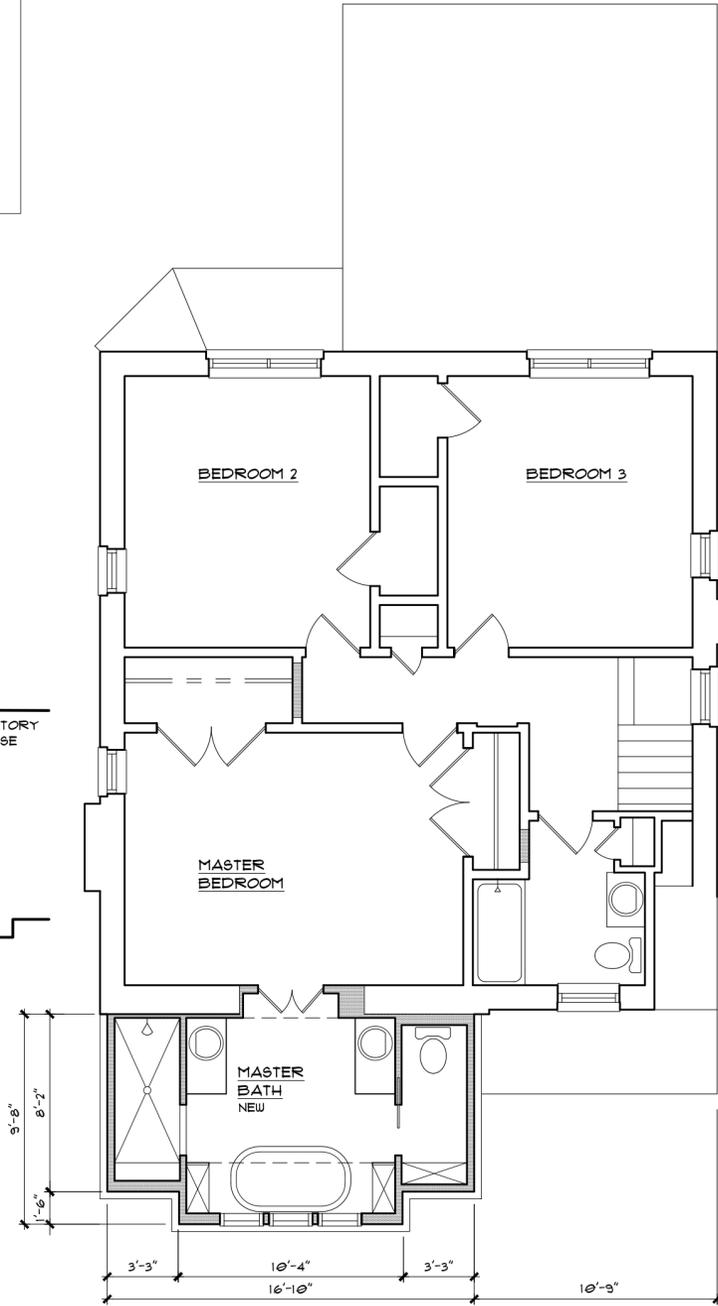
SITE COVERAGE	
BUILDING FOOTPRINT: (929 HSE+392 GARAGE)	1311
DRIVEWAY / TURNAROUND / SIDEWALKS	2001 SF
OTHER HARD SURFACE AREAS	
TOTAL IMPERVIOUS AREAS	3318 SF

LOT INFORMATION	
ZONING:	R1
LOT AREA:	8952 SF
PERMITTED SITE COVERAGE:	2238 (25%)
PERMITTED RESIDENTIAL FLOOR AREA:	4416 (50%) PERMITTED
LOT WIDTH: 60'-0"	LOT DEPTH: 143'-2"
FRONT YARD SETBACK: 65'-0"	
SIDE YARD SETBACK: 6'-0"	
REAR YARD SETBACK: 30'-0"	

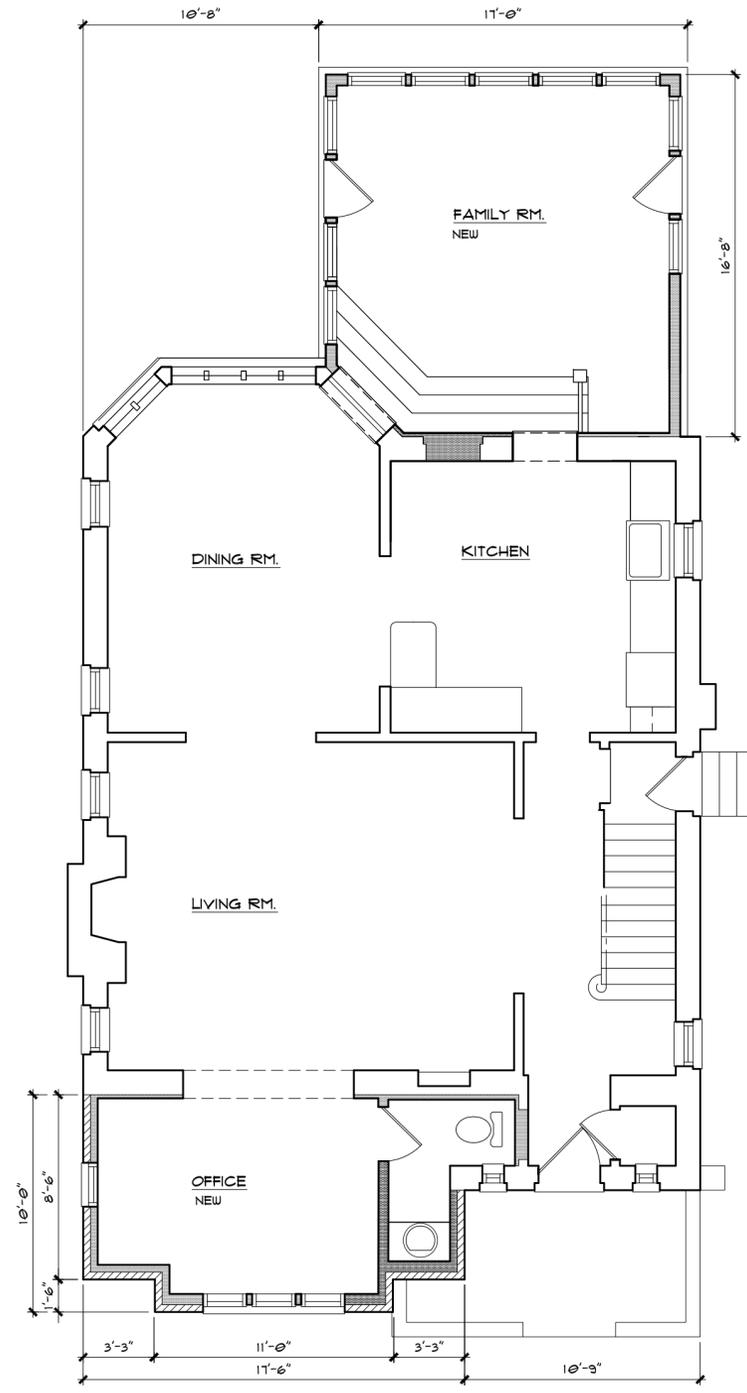
- SITE NOTES:**
- ALL GRADE CONDITIONS TO REMAIN.
 - ALL EXISTING DRAINAGE PATTERNS TO REMAIN.
 - NO EXISTING TREES TO BE REMOVED.



SITE PLAN
SCALE: 1" = 20'-0"



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

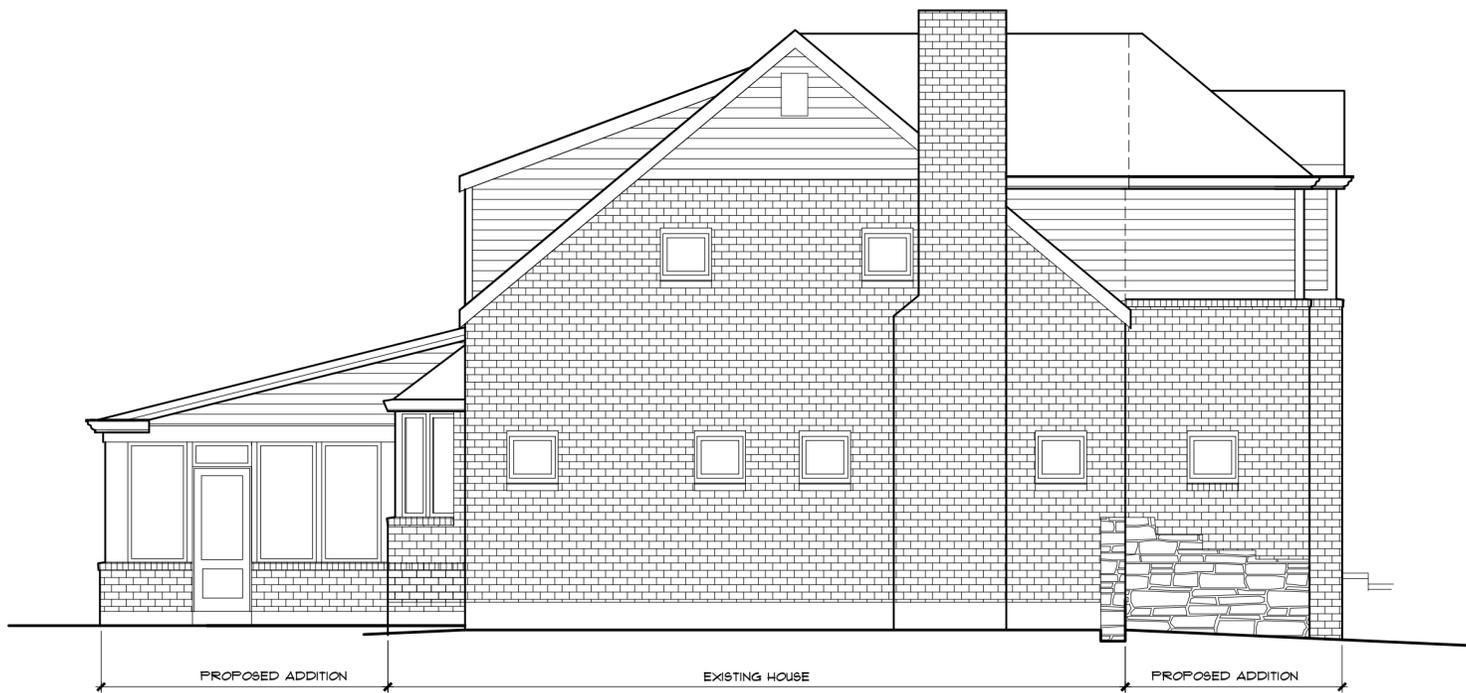
LEGACY DESIGN GROUP
14373 Manchester Road #863
Manchester, Missouri 63021
314-486-1846 legacydesigngroup@gmail.com

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The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by the architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

Architect of Record:
Paul Dean Hunsicker Architect, Inc.
1100 N. Grand Blvd.
St. Louis, MO 63108
636-343-6527
CERTIFICATE # 2013007016

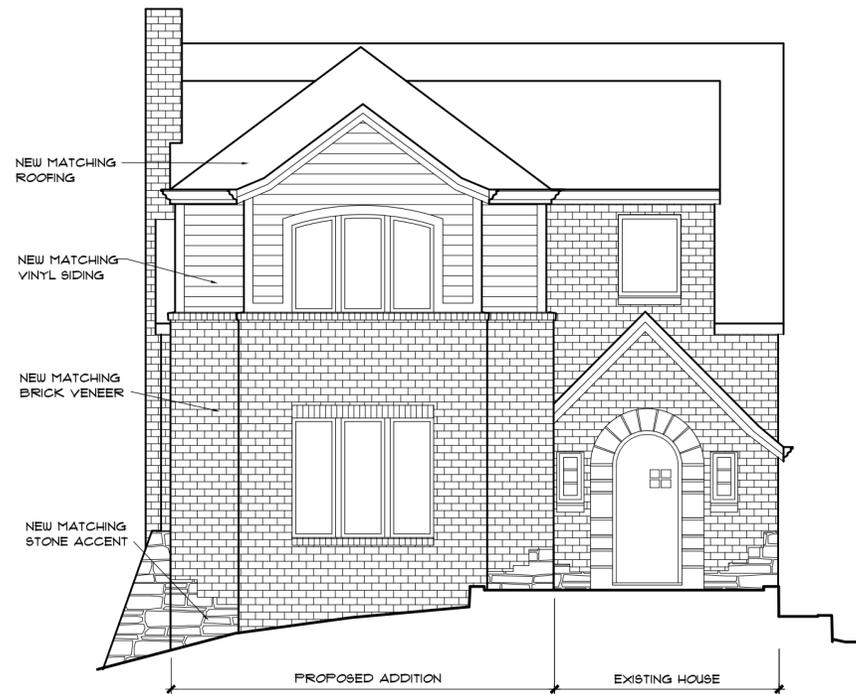
PROPOSED ADDITION AND REMODEL AT:
43 ENFIELD DRIVE
OLLIVETTE, MISSOURI 63132

A1
SHEET 1 OF 2
DATE 03/06/16
REVISION



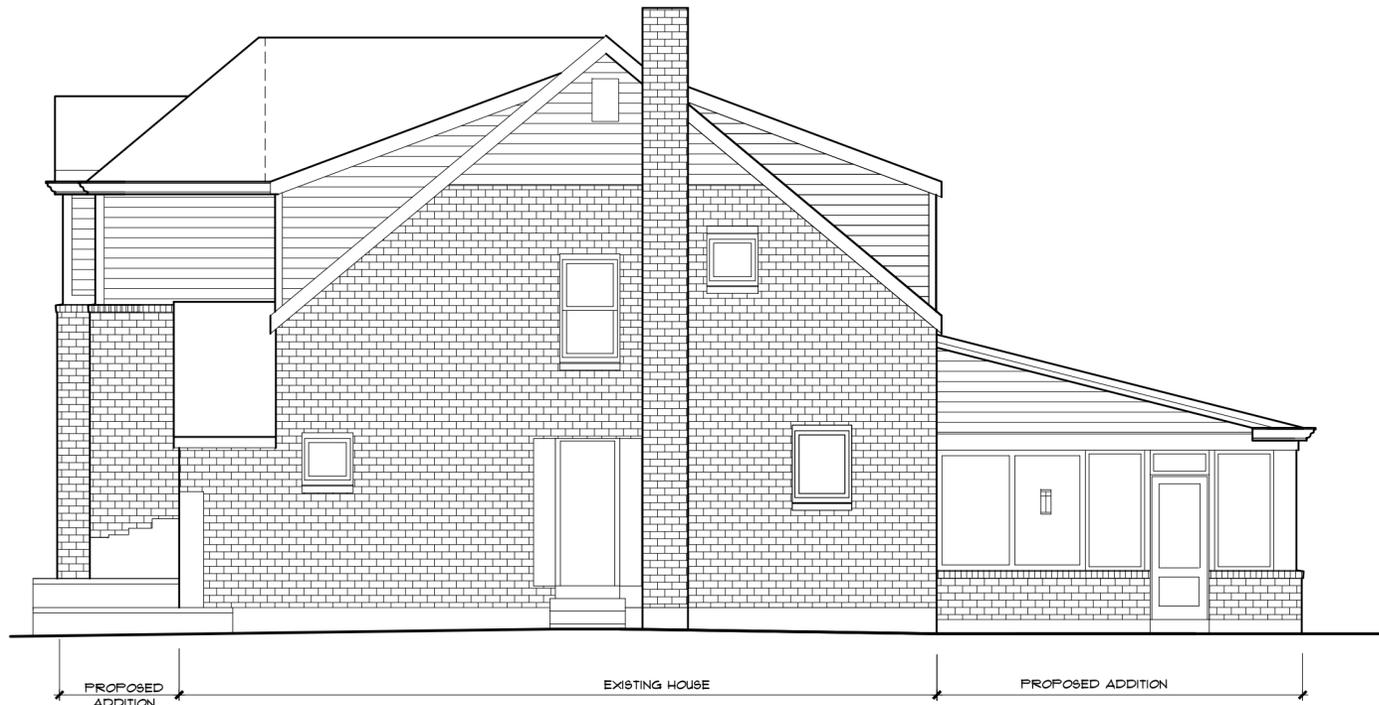
LEFT ELEVATION

SCALE : 3/16" = 1'-0"



FRONT ELEVATION

SCALE : 3/16" = 1'-0"



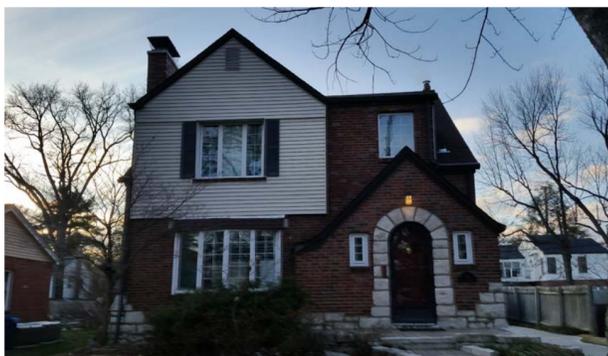
RIGHT ELEVATION

SCALE : 3/16" = 1'-0"



REAR ELEVATION

SCALE : 3/16" = 1'-0"



FRONT



LEFT



REAR



RIGHT

EXISTING

LEGACY DESIGN GROUP
 14373 Manchester Road #863
 Manchester, Missouri 63021
 314-486-1846 legacydesigngroup@gmail.com

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 St. Louis, MO 63108
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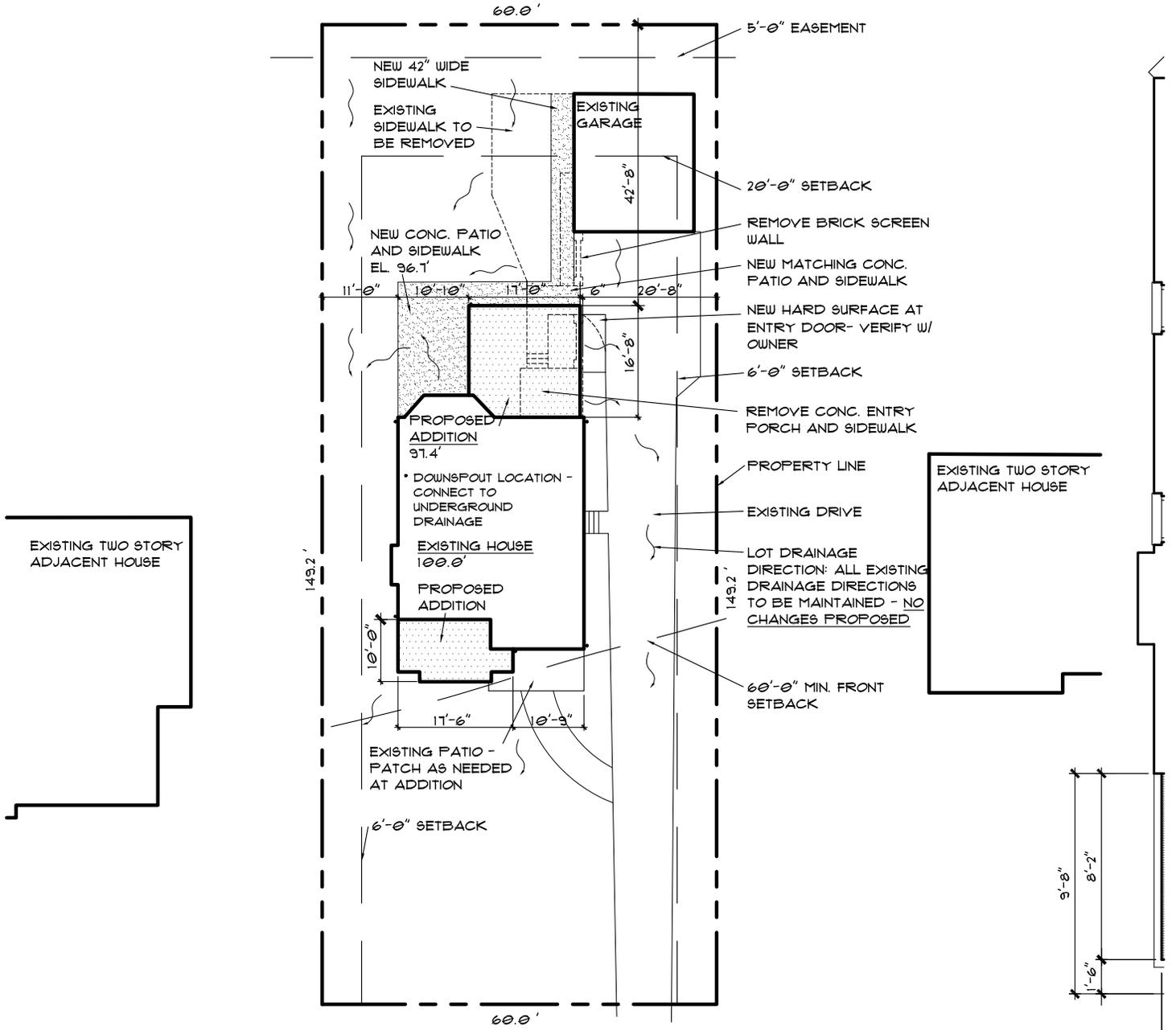
PROPOSED ADDITION AND REMODEL AT:
43 ENFIELD DRIVE
 OLLIVETTE, MISSOURI 63132

A2
 SHEET 2 OF 2
 DATE 03 / 06 / 16
 REVISION

SITE COVERAGE	
BUILDING FOOTPRINT: (929 H9E+382 GARAGE)	1311
DRIVEWAY / TURNAROUND / SIDEWALKS: OTHER HARD SURFACE AREAS	PROPOSED 2007 SF BEFORE 2251 SF
TOTAL IMPERVIOUS AREAS	3318 SF 3568 SF 250 ADD

LOT INFORMATION	
ZONING:	R1
LOT AREA:	8952 SF
PERMITTED SITE COVERAGE:	2238 (25%)
PERMITTED RESIDENTIAL FLOOR AREA:	4476 (50%) PERMITTED
LOT WIDTH: 60'-0"	LOT DEPTH: 149'-2"
FRONT YARD SETBACK:	65'-0"
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REAR YARD SETBACK:	30'-0"

- SITE NOTES:**
1. ALL GRADE CONDITIONS TO REMAIN.
 2. ALL EXISTING DRAINAGE PATTERNS TO REMAIN.
 3. NO EXISTING TREES TO BE REMOVED.



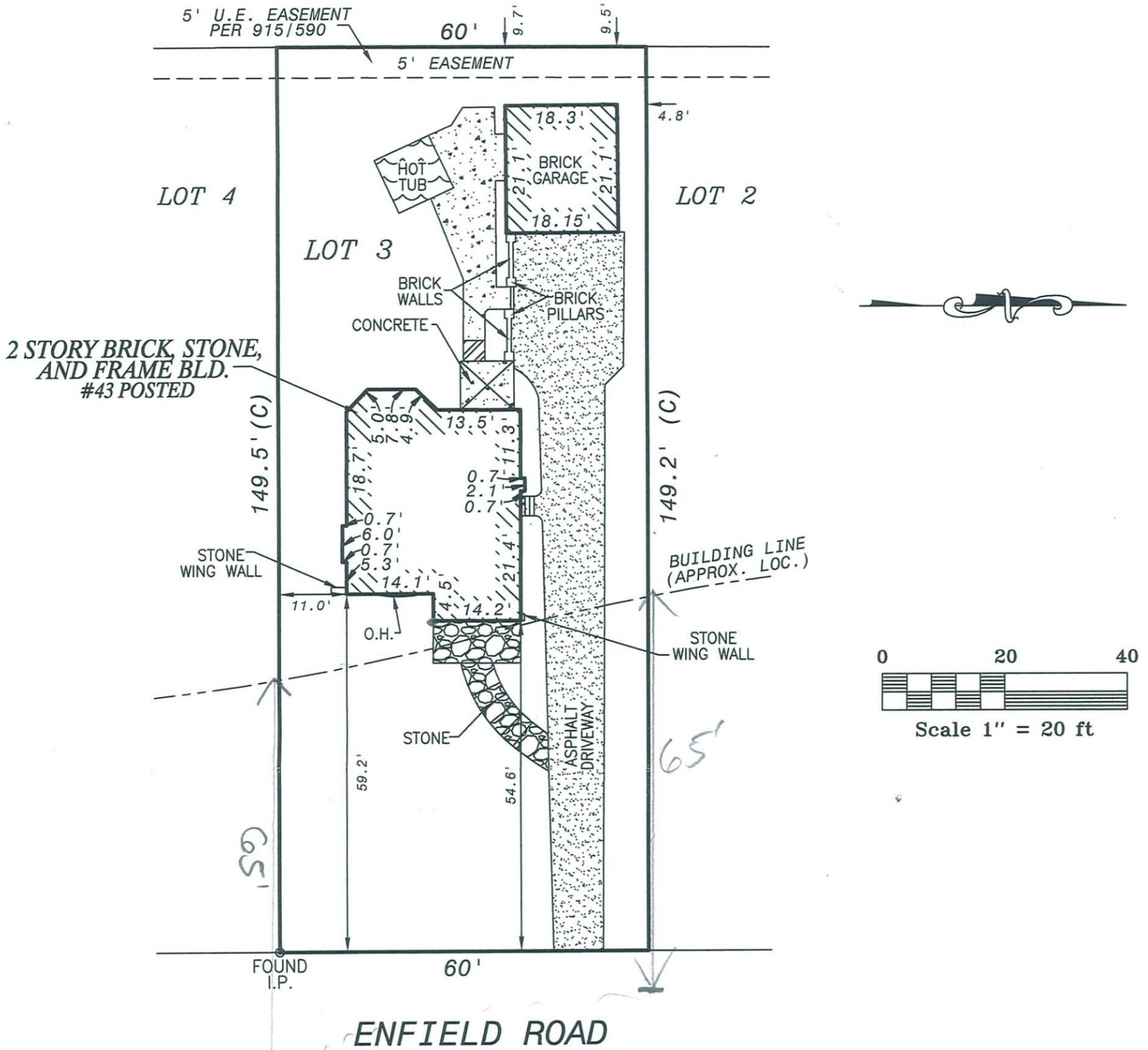
ENFIELD DRIVE

SITE PLAN

SCALE: 1" = 20'-0"

NORTH

SURVEYOR'S REAL PROPERTY REPORT



NOTE: THE PROPERTY DEPICTED HEREON MAY BE SUBJECT TO AN EASEMENT GRANTED TO ST. LOUIS GAS COMPANY BY DEED RECORDED IN BOOK 1102, PAGE 615. THE EXACT LOCATION OF WHICH WAS NOT DETERMINED.

PROJECT INFORMATION:

COMMON ADDRESS: 43 ENFIELD ROAD
 SUBDIVISION: CHEVY CHASE
 ORIGINAL LOT(S): 3 IN BLOCK 3
 PLAT BOOK: 24 PAGE(S): 10-11
 BEING PART OF THE ST. LOUIS COUNTY, MO RECORDS

SURVEYOR'S STATEMENT:

THIS DRAWING IS A REPRESENTATION OF THE CONDITIONS THAT WERE FOUND AT THE TIME OF THE INSPECTION. THIS REPORT WAS EITHER CONDUCTED BY THE LAND SURVEYOR OR UNDER HIS IMMEDIATE SUPERVISION. THIS DOCUMENT DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE. PROPERTY CORNERS WERE NOT SET, AND THE INFORMATION SHOWN ON THIS DRAWING SHOULD NOT BE USED TO ESTABLISH ANY FENCE, STRUCTURE, OR ANY OTHER IMPROVEMENT. THE LINEAR OR ANGULAR VALUES SHOWN ON THIS DRAWING ARE BASED ON RECORD INFORMATION THAT HAS NOT BEEN VERIFIED. NO WARRANTY IS BEING EXTENDED TO THE PRESENT OR FUTURE OWNERS OR OCCUPANTS. BUILDING SETBACKS SHOWN HEREON ARE FROM RECORD INFORMATION, NO GUARANTEE IS MADE AS TO THE CURRENT STATUS OF ZONING REQUIREMENTS.

GENERAL NOTES:

I.P. = IRON PIPE (C) = CALCULATED (R) = RECORD
 SURVEY MONUMENT ADOPTED: SEE DRAWING
 NOTE: IN ORDER TO VERIFY LOT DIMENSIONS, A BOUNDARY SURVEY OF THIS PROPERTY IS RECOMMENDED.

LOCALITIONAL DIMENSION TOLERANCE FOR IMPROVEMENTS: ± 1.5'



MERIDIAN LAND SURVEYING LLC.
 2256 FIRST CAPITOL DRIVE
 ST. CHARLES, MO 63301
 PHONE: 636-940-5900 FAX: 636-946-9099
 WWW.MERIDIANLANDSURVEYING.COM
 © 2007 MERIDIAN LAND SURVEYING LLC.

DRAFTER:	REVIEWED BY:	FIELD CREW:
ECF	CME	PTM/MRD
DATE:	DRAWING NO:	PROJECT NO:
05/10/2007	01	34273

SHEET
2
 OF 2

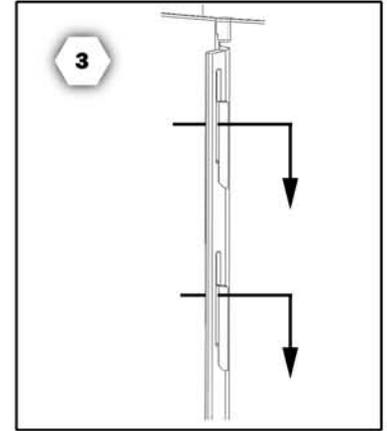
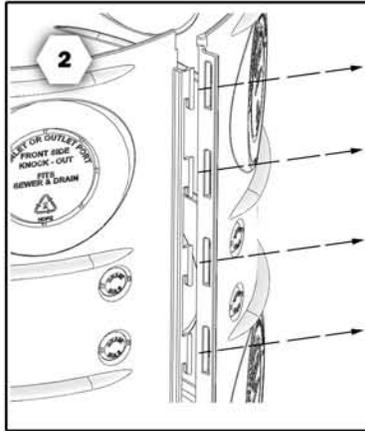
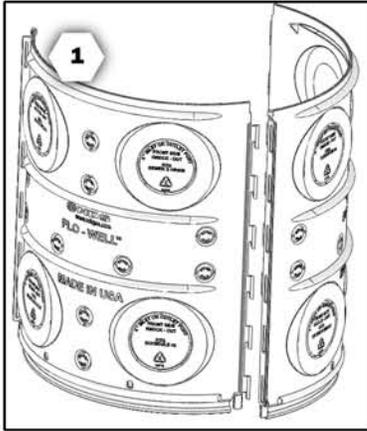
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ASSEMBLY INSTRUCTIONS



BEFORE YOU DIG:
Contact the local utilities to create utility mark-out.

1. Place two panels side by side and align male tabs with female flange.
2. Pinch tabs and flange flush until panels interlock.
3. For final lock, slide male tabs downward until panel edges are leveled at top.
4. Repeat steps 1-3 for the third panel assembly.
5. Set cover over panel assembly and rotate until all three panel flanges are aligned with cover screw locations.



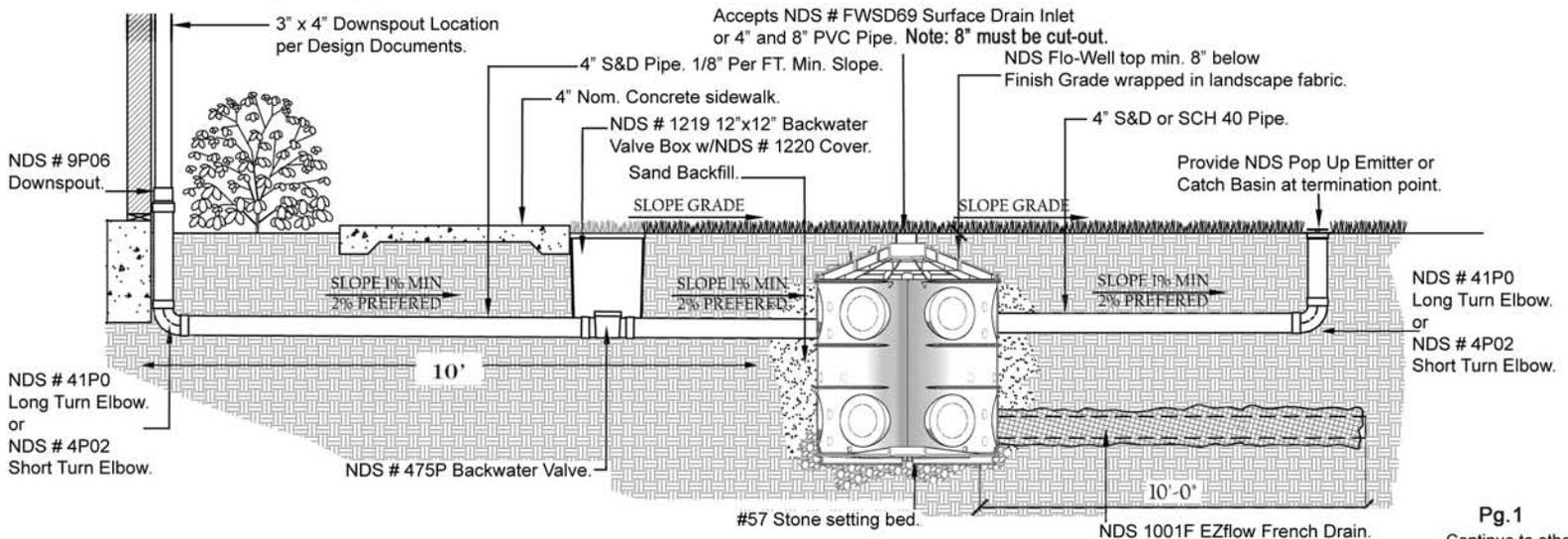
DRY WELL SETUP

Required items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, 4" PVC pipe, jig-saw, and catch basin or downspout adapter

1. Strategically plan Flo-Well's location at a minimum distance of 10' from foundations.
 - a. Note: Take into consideration traffic and elevation conditions.
2. Once Flo-Well location is verified; dig a 4' wide by 4' deep hole.
3. Dig a trench from the end of the downspout at about 1' deep and 6" wide that slopes gradually towards the Flo-Well.
4. For pipe connection and leach direction, use small hammer to knock-out appropriate 1" and 4" panel ports.
5. Wrap fabric around Flo-Well and secure with tape to prevent soil from entering drain holes.
6. Place Flo-Well assembly into ground and insert preferred 4" pipe into knocked-out port. Connect other end of 4" pipe to downspout either by catch basin or downspout adapter.
7. Backfill evenly around the Flo-Well with sand or recommended 3/4" stone gravel.
8. Bury Flo-well assembly with top at least 8" below the surface grade.

Installation Example:

Ground water Recharge Hardpipe.



Continued...

Optional 1: See Illustration #2

1. For light traffic applications:

Install perforated or slotted SDR35 Pipe to increase vertical loading strength as shown.

Optional 2: See Illustration #1

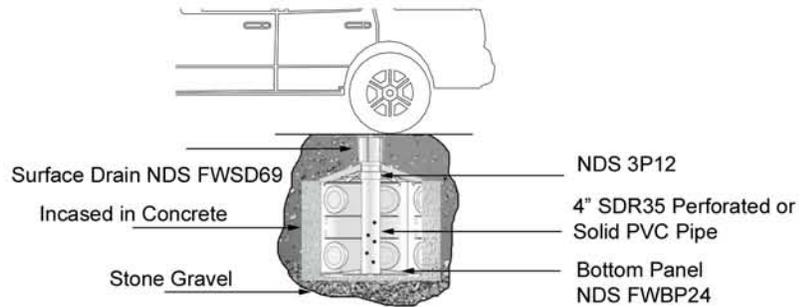
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3. To capture collected surface water:

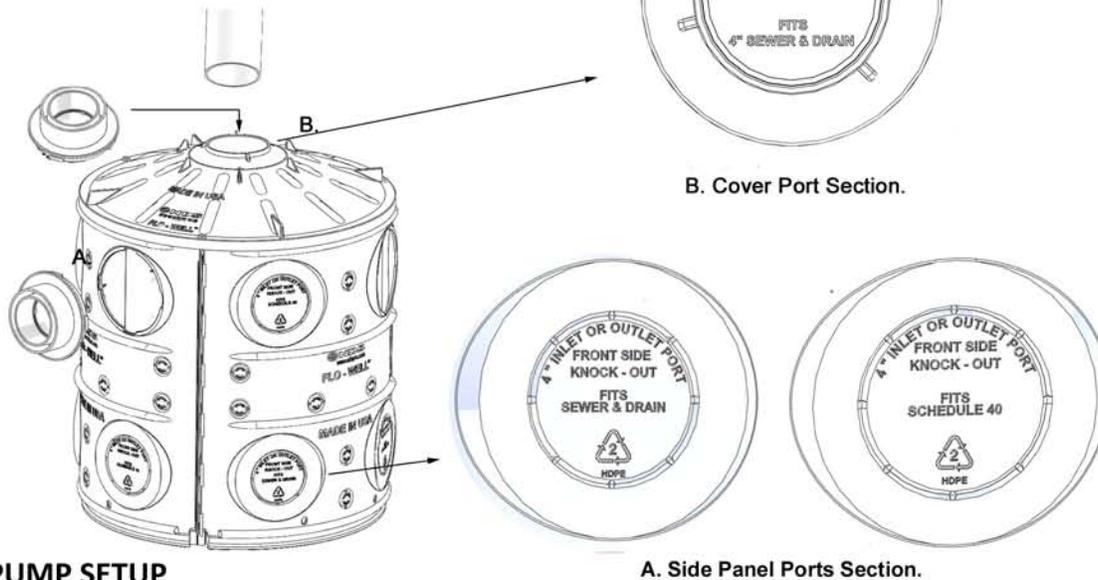
Place the Flow-Well at the lowest elevation point and install surface drain directly on top of cover.

Illustration #2



New Flo-Well Features:

- *Added center 4" cover knock-out
- *Added center 8" cover cut-out
- *Added center "Universal Adapter" cover cut-out
- *Added sump "U" cover cut-out
- *Added 4" SCH 40 and 4" SDR 35 panel knock-out ports
- *Added "Universal Adapter" panel cut-out



SUMP PUMP SETUP

Required items: Small hammer, tape, fabric pack, shovel, sand or recommended 3/4" stone gravel, jig saw, and pump

1. Follow assembly instructions in section 1 then dig a 4' wide by 4' deep hole at a minimum distance of 10' from foundations.
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- c.) Cut out the "U" shaped section on the top of cover with a jig saw for pedestal pumps with cut-off floats.
7. Attach pump to cover to insure smooth operation of cut-off float.

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Ndspro.com > Products and Solutions > Drainage Solutions > Flo-Well Drywell. The detail drawings will be under the 'Specify Flo-Well' category.

IMPORTANT NOTICE: It is your obligation to determine whether this product is suitable for your intended use and particular method of application. CONSULT YOUR LOCAL BUILDING OFFICIALS TO INSURE COMPLIANCE WITH ALL BUILDING CODES AND REQUIREMENTS.

CAUTION: The step-by-step installation instructions provided reflect mechanical assembly only. Additional information may be necessary to insure proper results for all applications. Consult with professionals to determine special soils conditions and structural requirements.



Another Quality Product brought to you by NDS, Inc.

851 N. Harvard Avenue, Lindsay CA 93247

If you have any questions or comments about this product, please call us at (800) 726-1994



March 25, 2016

Mike Dinzebach
M. Dinzebach Construction, Inc.
3333 – 6 Rue Royal Street
Saint Charles, MO 63301

RE: 43 ENFIELD DRIVE
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN & SITE PLAN
REVIEW

Dear Mr. Dinzebach:

Revisions were submitted for the Petition for Community Design and Site Plan Review for a residential addition at the above referenced property. The addition was submitted for the April 7, 2016, meeting of the City of Olivette Planning and Community Design Commission (Commission). Revisions include a conceptual Stormwater Management plan.

Staff has reviewed the conceptual Stormwater management plans with the City's Residential Redevelopment and Design Guidelines, and the City's Stormwater Management regulations under Chapter 422 of the Olivette Municipal Code. Comments are provided below.

Runoff Calculations

The size and amount of runoff being captured in the proposed Flo-Well Dry-Well Systems has not been identified. Provide the differential run-off calculations of each drainage area based on a 15-year 20-minute storm event. The amount of runoff captured by the Flo-Well Dry-Well System must be sized to fit the demand.

The Metropolitan St. Louis Sewer District (MSD) provides calculation spreadsheets for measuring the amount of Stormwater runoff to be generated on impervious areas. This may be a helpful tool in calculating the cubic area needed to capture roof water. Staff will forward the MSD document via email or search Stormwater Management BMP Toolbox Calculation and Report Preparation Tools on www.stlmsd.com.

Location

The location of a detention area or underground storage area must be 10-feet from structures or foundations. The location should be downhill from the foundation as well. It appears the proposed placement of the Flo-Well Dry-Well unit may be in the general high point of the lot (Exhibit 2 – Stormwater Aerial). If the Flo-Well Dry-Well systems are to be placed uphill from the home, staff recommends a 20-foot buffer from any foundation.

Accessory Structures

From the onsite meeting on Monday, March 21, 2016, it was noted various segments of the walkway near the garage is to be removed. A revised site plan must show the area and provide the area square footages within the Lot Data and Zoning Regulations Table. The site plan must indicate the following:

- Exhibit 1 - Lot Data and Zoning Regulations Table
- Site Plan to illustrate flatwork/patio area to remain.

Notification. Staff received Chevy Chase Subdivision Trustee approval dated 3/23/2016.

Site Meeting. Site meeting was held between staff and the Petitioner on Monday, March 21, 2016.

SUMMARY AND CONCLUSION

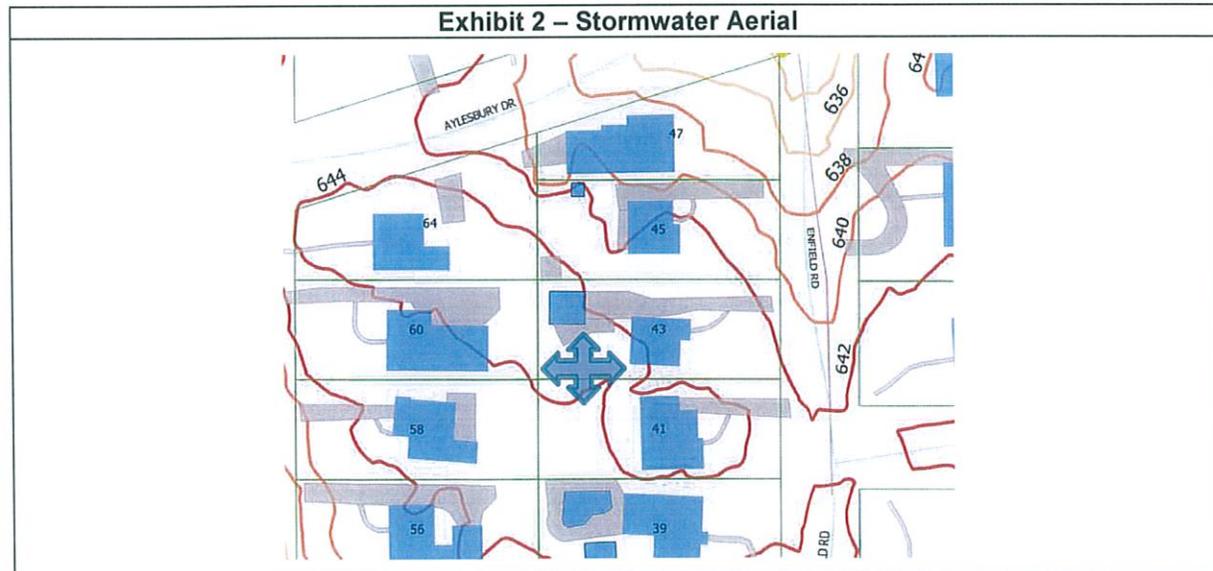
The petition application and plans submitted for Community Design and Site Plan Review of the proposed improvements at 43 Enfield Drive must provide size verifications for the Flo-Well Dry-Well units, the placement of the flat work to remain, and the Lot Data and Zoning Regulations table.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivettemo.com.

Respectfully,

Jonathan Roper
Planner/GIS Coordinator

Exhibit 1 - Lot Data and Zoning Regulations Table	
<input type="checkbox"/> A table similar to the one below showing the calculated site coverage of each of the following existing improvements:	
building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL EXISTING IMPERVIOUS AREAS	X,XXX xf.
<input type="checkbox"/> A table similar to the one below showing the calculated site coverage of each of the following proposed improvements:	
building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL PROPOSED IMPERVIOUS AREAS	X,XXX xf.





March 21, 2016

Mike Dinzebach
M. Dinzebach Construction, Inc.
3333 – 6 Rue Royal Street
Saint Charles, MO 63301

RE: 43 ENFIELD DRIVE
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN & SITE PLAN
REVIEW

Dear Mr. Dinzebach:

A petition for Community Design Review and Site Plan Review of a residential addition for the above referenced address was submitted for the April 7, 2016, meeting of the City of Olivette Planning and Community Design Commission (Commission). Site Plan Review is necessary for proposed residential improvements on lots not meeting the lot size minimums as stated in Section 400.235. Staff has reviewed the petition plans for compliance with:

- the City's Zoning Regulations, including Section 400.250 Height and Bulk Standards and Section 400.260 Yard and Setback Requirements,
- Article XVI Accessory Structures and Uses,
- the City's Residential Redevelopment and Design Guidelines, and
- the City's Stormwater Management regulations under Chapter 422 of the Olivette Municipal Code.

To summarize the contents of this letter, a preliminary review of the petition found the following issues:

1. Improvements which fall under Article XVI Accessory Structures and Uses (patio & sidewalk) exceed the maximum lot coverage for accessory structures.
2. Lot Data and Zoning Regulations are missing.
3. Stormwater management plans must be provided.

Staff cannot forward the Petition as submitted due to the accumulated square footage for all accessory structures exceed the maximum allowed. The Petition may either

- Submit revisions showing accessory structures that are in compliance with the 10%, or
- Submit the plans to the Board of Adjustments.

Zoning Compliance.

Addition. The proposed addition (house portion) appears to be in compliance Section 400.260 Yard and Setback Requirements and 400.250 Height and Bulk Standards of Article IV "SR" Single-Family Residential District.

Accessory Structure. As stated in the new Article XVI Accessory Structures and Uses, patios, detached garage, and flat work are considered accessory structures. The driveway, turnaround pad, front porch and sidewalk connecting the front porch to the driveway are not considered accessory structures.

The total square footage for accessory structure improvements may not exceed 25% of the required rear yard area without Site Plan Review and Concept Stormwater Management Plan. In no case shall the total square footage of the combined area of all accessory structures exceed 10% of the total lot area.

For the subject lot, 25% of the required rear yard is 450 sf. (rear yard setback of 30-ft by 60-ft width is 1,800, 25% is 450 sf.). There are existing accessory structures on the site that exceed 25% of the rear yard area, 418 sf. detached garage and 260 sf. existing rear side walk area. As the existing accessory structures total square footage exceeds 450 sf., additional accessory structures require Site Plan Review and Conceptual Stormwater Management Plan.

The total amount of all accessory structures shall not exceed 10% of the total lot area. 10% of the lot area is 895 sf. Staff calculated the total proposed square footage of all accessory structures and uses at 961 sf. The table below summarizes the accessory structures area.

To continue review, staff needs the following

- The square footage of all areas must be provided in a Lot Data and Zoning Regulation Table as provided in Exhibit 1, and
- Site Plan illustrating the improvements with areas that do not exceed 10% of the lot area.

Accessory Structure	Area sf.	Comments
Detached Garage	418	Existing Total 678 sf. (Not including existing concrete entry porch and sidewalk)
Existing Sidewalk	260	
Proposed Patio & Walk	283	Proposed Total 961 sf.
10% of Lot Area	895	Amount over 10% maximum coverage 66 sf.

Stormwater Management.

The plans note “downspout location – connect to underground drainage”. Additional information must be provided to note which downspouts to be connected to underground drainage, the capacity of the underground storage unit, capacity of pipe leading to the drainage system, and pop-up locations for the overflow or release points.

Compliance with Olivette Design Guidelines. In accordance with Section 425.050, below is a review and evaluation of the application regarding seven of the eight design principles of the Olivette Residential Redevelopment and Design Guidelines (Guidelines):

The design of the proposed addition appears to be in compliance with the Guidelines.

Notification. In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Chevy Chase subdivision.

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

Unauthorized/Illegal Demolition. At no time shall unauthorized or illegal demolition take place on the site. The City of Olivette has strict rules and regulations regarding demolition of any structure. Any unauthorized or illegal demolition taking place on the site should be reported to the police immediately.

Unauthorized demolition includes removal of gutters, kitchen fixtures, bathroom fixtures, doors, etc. If demolition has begun without City approval, a citation will be issued immediately, you will have 30 days to raze the home and restore the site, and the petition for review shall be placed on hold until the Court rules on the matter.

SUMMARY AND CONCLUSION

The petition application and plans submitted for Community Design and Site Plan Review of the proposed improvements at 43 Enfield Drive must be revised to address the issue regarding the site coverage for accessory structures.

A site meeting should be scheduled as soon as possible. Revisions addressing comments within this letter and those discussed at the site must be submitted no later than noon, Monday, March 28th, 2016.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivette.com.

Respectfully,

Jonathan Roper
Planner/GIS Coordinator

Exhibit 1 - Lot Data and Zoning Regulations Table

- A table similar to the one below showing the calculated site coverage of each of the following existing improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL EXISTING IMPERVIOUS AREAS	X,XXX xf.

- A table similar to the one below showing the calculated site coverage of each of the following proposed improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL PROPOSED IMPERVIOUS AREAS	X,XXX xf.

Exhibit 2 - Article XVI Accessory Structures and Uses

Section 400.1590.A of Article XVI Accessory Structures and Uses

- 2. Area. The total square footage of the combined area of all accessory structures may not exceed twenty-five percent (25%) of a required rear yard without a Site Plan Review under Article XI and Concept Stormwater Management Plan Review in accordance with Chapter 422 Stormwater Management. In no case shall the total square footage of the combined area of all accessory structures exceed ten percent (10%) of the total lot area.

Section 400.1594 of Article XVI Accessory Structures and Uses

- 1. Residential. Accessory structures in a residentially zoned district (SR, AR, PASF, and PRO) are limited to the following:
 - c. Patios and decks.
 - i. Number: Not limited.
 - ii. Area: Not to exceed four-hundred (400) square feet.
 - iii. Height: Surface floor not to exceed four (4) feet at any point.
 - iv. Exterior finish: Materials shall be compatible with the character of the residence located on the lot and in keeping with the general character of the surrounding neighborhood.
 - v. Building Permit: Required.
 - vi. Commission Review: Not Required.
 - j. Enclosed accessory structure, such as detached garage, out building, etc.
 - i. Number: One (1) per lot.
 - ii. Area: Any enclosed structure in excess of 120 square feet. The maximum area not to exceed four-hundred (400) square feet.
 - iii. Height: Not to exceed the residential building height of the principal structure on the lot grounds, and in no case exceed fifteen (15) feet. The height of an accessory structure is measured from the interior base floor of the accessory structure to the highest exterior peak of the accessory structure.
 - iv. Exterior finish:
 - Exterior material finish: Materials shall be compatible with the character of the residence located on the lot and in keeping with the general character of the surrounding neighborhood.
 - Architectural design: The enclosed accessory structure shall contain design elements of the principal structure on the property grounds, including compatible roof proportions and slope, and architectural features that tie the principal structure with the exterior of the enclosed accessory structure.
 - v. Building Permit: Required.
 - vi. Commission Review: Community Design Review in accordance with Chapter 425.
 - k. Additional accessory structures not enumerated or accessory structures in excess of the noted height or area permitted under this Section are subject to Site Plan Review in accordance with Article XI and Community Design Review in accordance with Chapter 425.

pd 2-16-2016 CR # 3968-150.00



CITY OF OLIVETTE

PETITION FOR COMMUNITY DESIGN REVIEW

(RESIDENTIAL)

Department of Public Services
1200 North Price Road
Olivette, MO 63132
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

Michael W. Gartenberg, MCM
Director

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Doug Cohen - Owner
Company Name: Douglas Properties
Address: 1 Peicement City: _____ Zip Code: 63132
E-mail Address: Douglasprop@gmail.com Phone Number: (314) 725-9911

As the applicant, which of the following apply:

- Developer Contractor Owner
 Registered Engineer Registered Architect Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction Major Residential Addition and/or exterior modification
 Accessory Structure Other (Site Plan Review)

PROPERTY INFORMATION

Address of Property: 9761 Lindley
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: Doug Cohen Real Estate
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

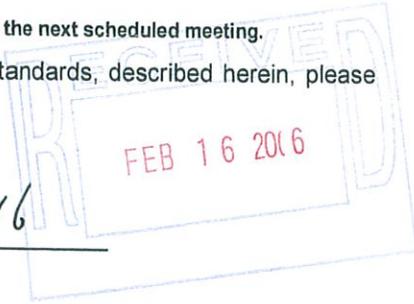
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Name of applicant

2-16-16
Date



February 16, 2016

Project Report

Prepared for City of Olivette

Builder: Douglas Properties
Re: 9761 Lindley Dr.

Question 1:

An explanation on how the mass, size and bulk of the new home is compatible with the prevailing mass, size and bulk of adjacent and surround detached residences.

Answer:

The proposed house is a 1 1/2 story structure with the roof stepping down to the adjacent houses. The sides of the house appear more like a one story because much of the second floor mass is in the center of the structure.

Question 2:

An explanation on how the height of the new home is compatible with the prevailing height of adjacent and surrounding detached residences.

Answer 2:

The ground falls off to the rear of the property. The height of this design is 27'-7" to the highest ridge on the front. The manner in which the sides of the façade step back allowing the roof ridge to step down on each side softens the transition to the adjacent homes.

Question 3:

An explanation on what architectural features of the new home are intended to compliment the architectural characteristics of adjacent and surround detached residences.

Answer 3:

The use of Brick along with siding and a variety of one and two story features are intended to compliment the surrounding houses. The variation of depth on the front elevation along with some low wall features and High features will stimulate visual interest.

Question 4:

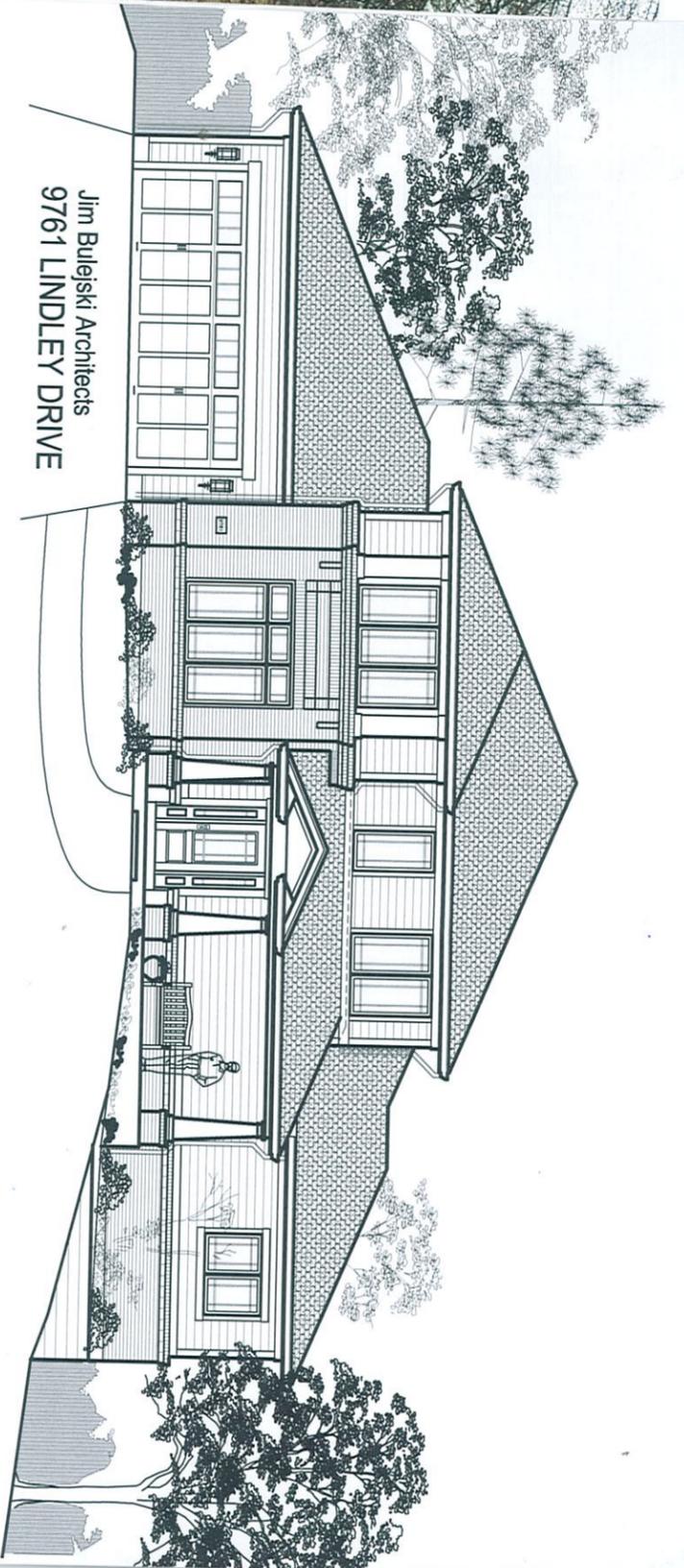
An explanation on the efforts that will be incorporated on the site development to eliminate any adverse affect on grading and storm water drainage on the adjacent and surrounding properties.

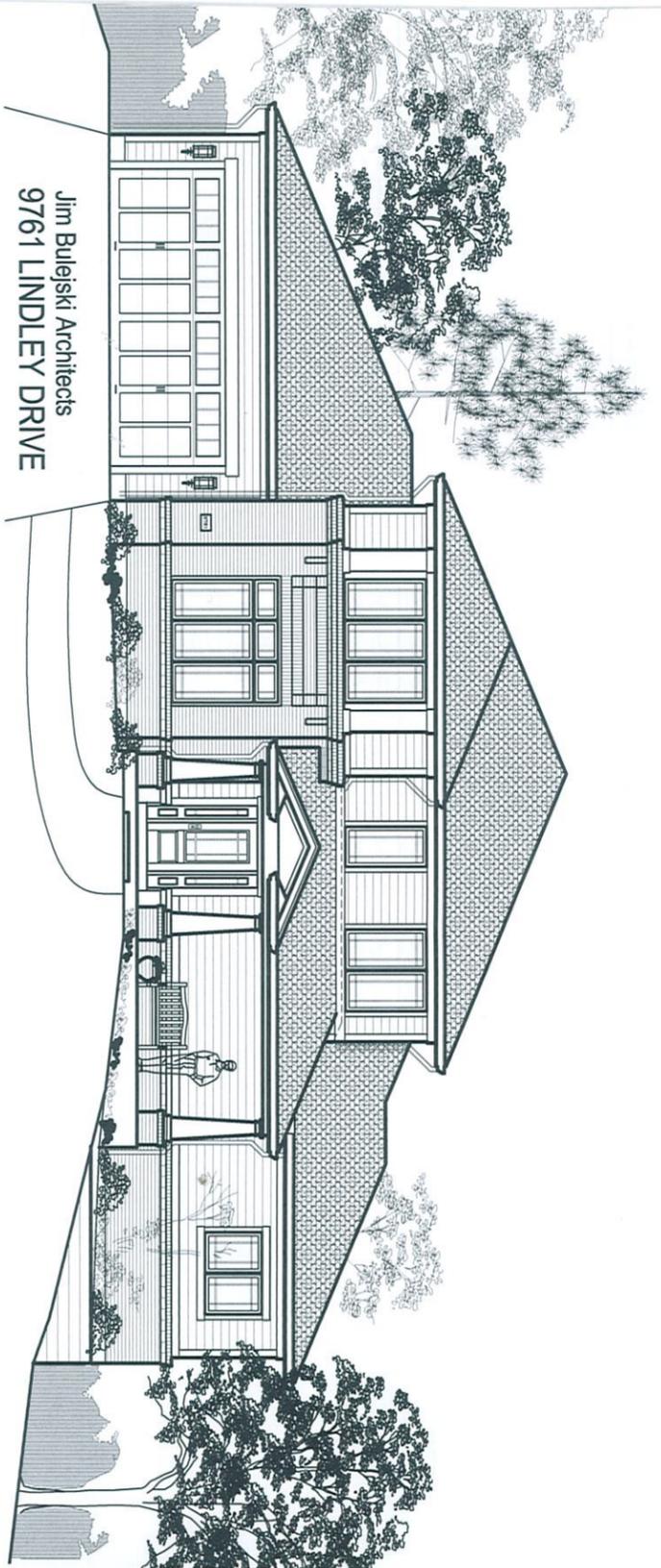
Answer 4:

Since we currently have a house on this lot we will be maintaining the existing drainage patterns as much as possible. Where the improvements do occur we will direct our runoff toward the street and into local storm water facilities.



Jim Bulejski Architects
9761 LINDLEY DRIVE





Jim Bulejski Architects
9761 LINDLEY DRIVE

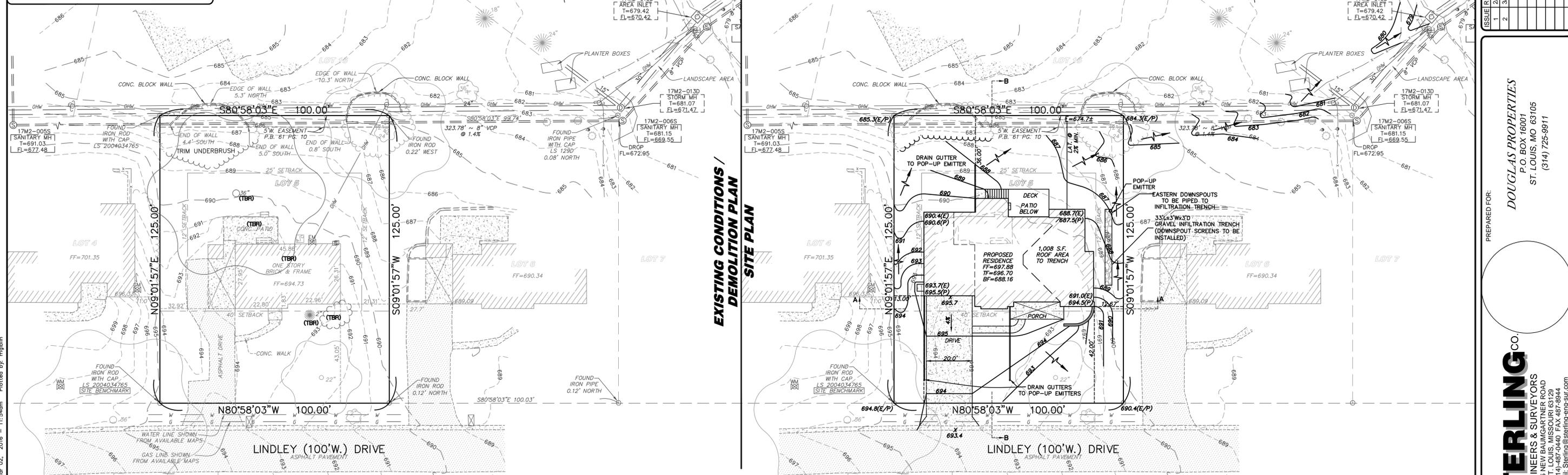
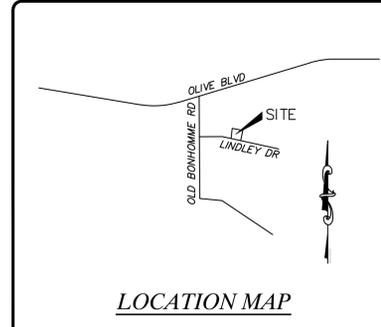


**A TRACT OF LAND BEING LOT 5 IN BLOCK 5 OF OAK ESTATES (P.B. 61 PG. 10)
LOCATED IN SECTION 6, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI**

SITE INFO:
N/F WILLIAM D. REISSE JR
D.B. 9393 PG. 1651
LOC# 17M62-0183
#9761 LINDLEY DRIVE
12,500 SQ. FT. / 0.287 Ac.

ZONING INFO:
SR SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK=40' PER PLAT
SIDE YARD SETBACK=12% OF LOT WIDTH
REAR YARD SETBACK=20% OF LOT DEPTH
HEIGHT RESTRICTIONS=35'

LOCATION MAP



LOT COVERAGE

HOUSE = 2908 Sq. Ft.
2908 Sq. Ft. < 3125 Sq. Ft. MAX. COVERAGE

RESIDENTIAL HOUSE RATIO

1ST FLOOR = 2238 Sq. Ft.
2ND FLOOR = 1190 Sq. Ft.
TOTAL FLOOR = 3388 Sq. Ft.
TOTAL FLOOR / 12500 Sq. Ft. = 0.27 < 0.30 MAX. RATIO

EXISTING SITE COVERAGE

RESIDENCE / CARPORT = 1590 Sq. Ft.
PATIO = 279 Sq. Ft.
PORCH = 29 Sq. Ft.
DRIVEWAY = 882 Sq. Ft.
TOTAL = 2770 Sq. Ft.

PROPOSED SITE COVERAGE

RESIDENCE (INCLUDING GARAGE) = 2908 Sq. Ft.
DRIVEWAY / SIDEWALKS / PORCH = 1175 Sq. Ft.
PATIO = 213 Sq. Ft.
TOTAL = 4296 Sq. Ft.

DIFFERENTIAL RUNOFF CALCULATIONS

PREDEVELOPED

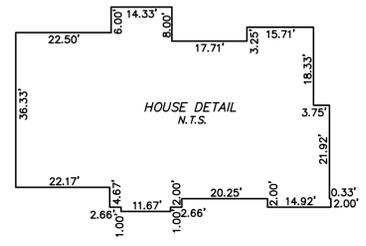
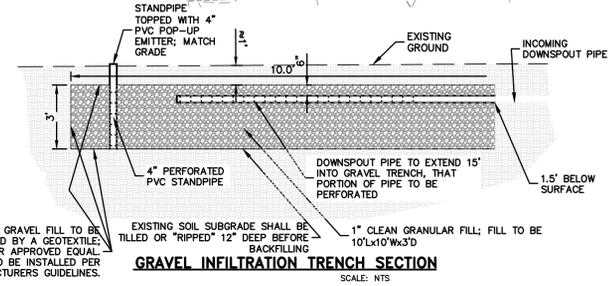
IMPERVIOUS AREA 2,770 SF = 0.064 Ac. X 3.54 = 0.227cfs
PERVIOUS AREA 9,730 SF = 0.223 Ac. X 1.70 = 0.379cfs
0.287 Ac. 0.606cfs

POSTDEVELOPED

IMPERVIOUS AREA 4,296 SF = 0.099 Ac. X 3.54 = 0.350cfs
PERVIOUS AREA 8,204 SF = 0.188 Ac. X 1.70 = 0.320cfs
0.287 Ac. 0.670cfs

CONCLUSION FOR PROPOSED DEVELOPMENT

DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)
DIFFERENTIAL RUNOFF = PROPOSED RUNOFF - EXISTING RUNOFF
= 0.670 CFS - 0.606 CFS
= 0.064 CFS (INCREASE IN IMPERVIOUS AREA)
VOLUME TO BE ATTENUATED FOR = 0.064 X 1800 = 115.2 C.F.
A 33' L x 3' W x 3' D GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE ATTENUATION. ASSUMING 40% VOIDS IN THE GRAVEL 118.8 C.F. OF VOLUME IS PROVIDED



SURVEYOR'S NOTES

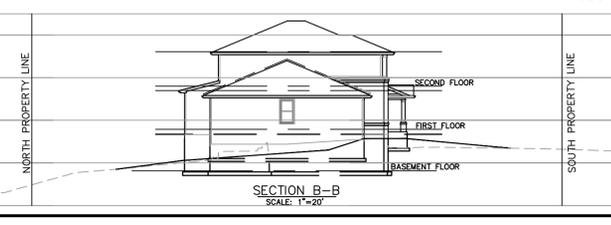
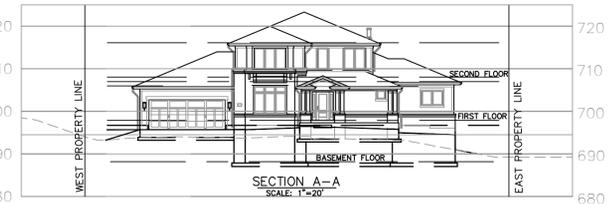
- THIS TRACT CONTAINS 12,500 SQUARE FEET OR 0.287 ACRES, MORE OR LESS.
- BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "OAK ESTATES" SUBDIVISION AS RECORDED IN PLAT BOOK 61 PAGE 10 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- SOURCE OF RECORD TITLE: WILLIAM D. REISSE JR IS DESCRIBED AS THE OWNER AS RECORDED IN DEED BOOK 9393, PAGE 1651 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 (RSMO)) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

BENCHMARK:

ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 14526 ELEVATION 711.66 (NAVD 88)
CUT "L" ON THE NORTHEAST CORNER OF THE CONCRETE BASE FOR A TRAFFIC SIGNAL CONTROL BOX NEAR THE NORTHEAST CORNER OF CITY OF ST. LOUIS WATER WORKS PROPERTY ADDRESSED AS #9750 OLIVE BOULEVARD FOR STACY PARK RESERVOIR, AND LOCATED SOUTH OF THE WESTERN END OF THE RIGHT TURN LANE FROM EASTBOUND OLIVE BOULEVARD ONTO SOUTHBOUND OLD BONHOMME ROAD; ROUGHLY 45 FEET SOUTH OF THE CENTERLINE OF OLIVE BOULEVARD AND 65 FEET WEST OF THE CENTERLINE OF OLD BONHOMME ROAD.

SITE BENCHMARK:

IRON ROD WITH CAP: ELEVATION 694.78 (NAVD 88)
IRON ROD WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT BEING ON THE NORTH RIGHT OF WAY LINE OF LINDLEY DRIVE AS SHOWN HEREON.



SITE NOTES

- PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
 - CONTRACTOR TO LOCATE THE EXISTING LATERAL PRIOR TO CONSTRUCTION TO VERIFY THE FLOW LINE WILL BE CONDUITE TO THE NEW RESIDENCE
 - DOWNSPOUTS TO DISCHARGE AT SPLASH BLOCKS UNLESS NOTED OTHERWISE.
- Plot Plan Prepared by
"THE STERLING COMPANY (314) 487-0440
- Notes:
- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
 - All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
 - Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
 - Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
 - This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
 - Elevation Examples: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (10 CSR 30-2 AND 20 CSR 2030-16 EFFECTIVE DATE AUGUST 28, 2006).

THE STERLING COMPANY
MO. REG. L.S. 307-D

JAMEY A. HENSON, P.L.S.
MO. REG. L.S. #2007017963

ISSUE REMARKS/DATE

1	2/16/16 ORIGINAL ISSUE
2	3/2/16 ADDITION OF OFF-SITE CONDITIONS

PREPARED FOR:
DOUGLAS PROPERTIES
P.O. BOX 16007
ST. LOUIS, MO 63105
(314) 725-9911

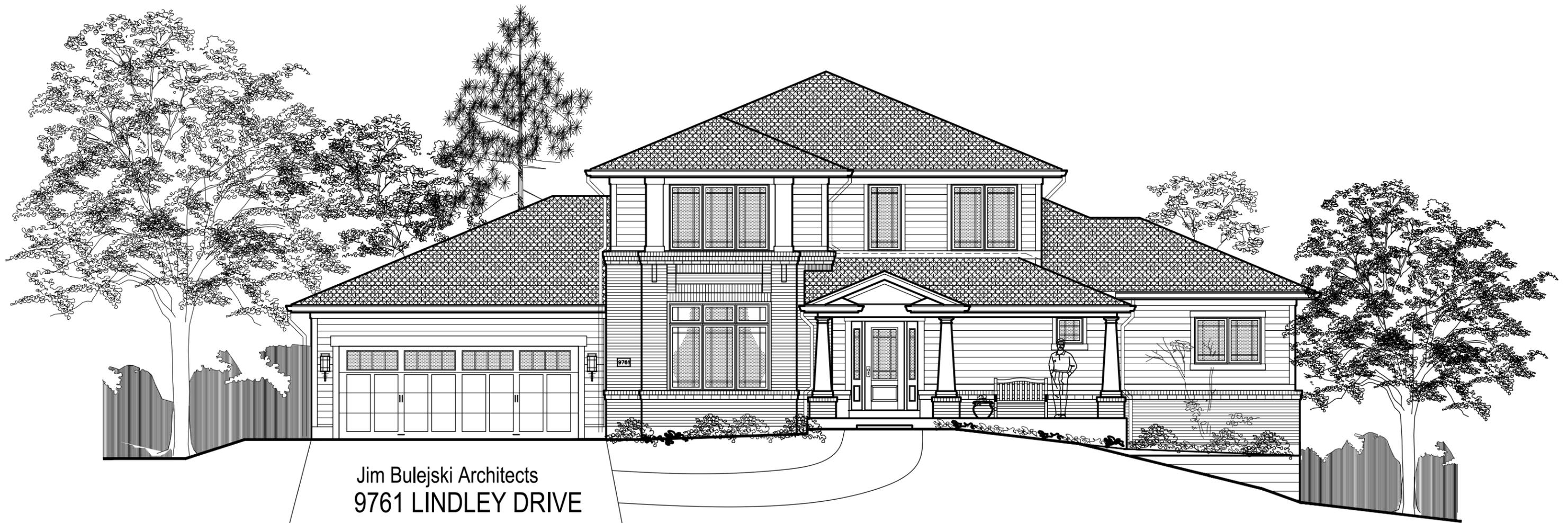
PREPARED BY:
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 NEW BAUMGARTNER ROAD
ST. LOUIS, MISSOURI 63129
E-Mail: Sterling@sterling-eng-survey.com

PROJECT: #9761 LINDLEY DRIVE

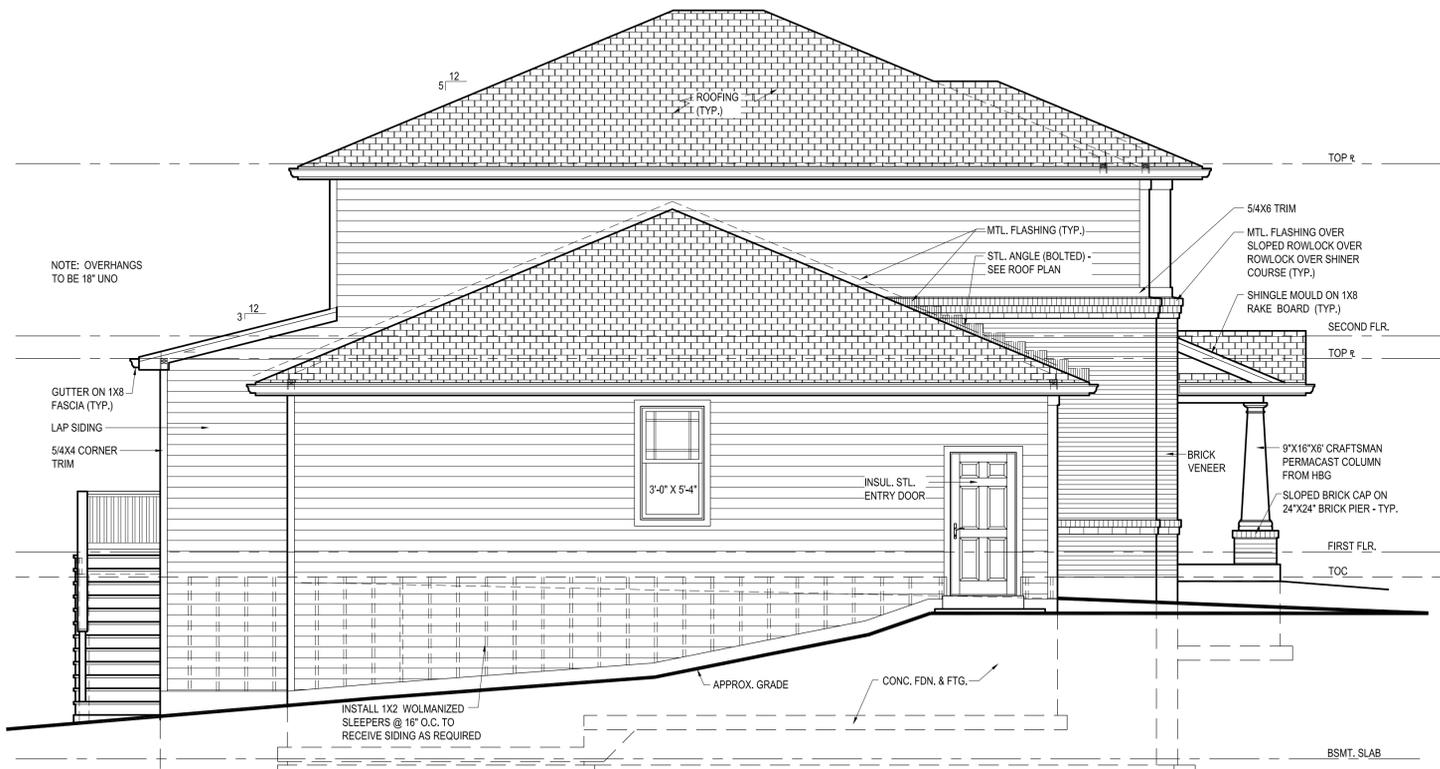
DRAWN: MTG
DESIGNED:
CHECKED: JAH

SHEET TITLE: SITE PLAN

NO.	16	01	006
M.S.D.	SHEET		
P#	1		
DIGITAL FILE LOCATION: SERVER=STERLING-2 ENTER DRAWING NAME.DWG	OF		



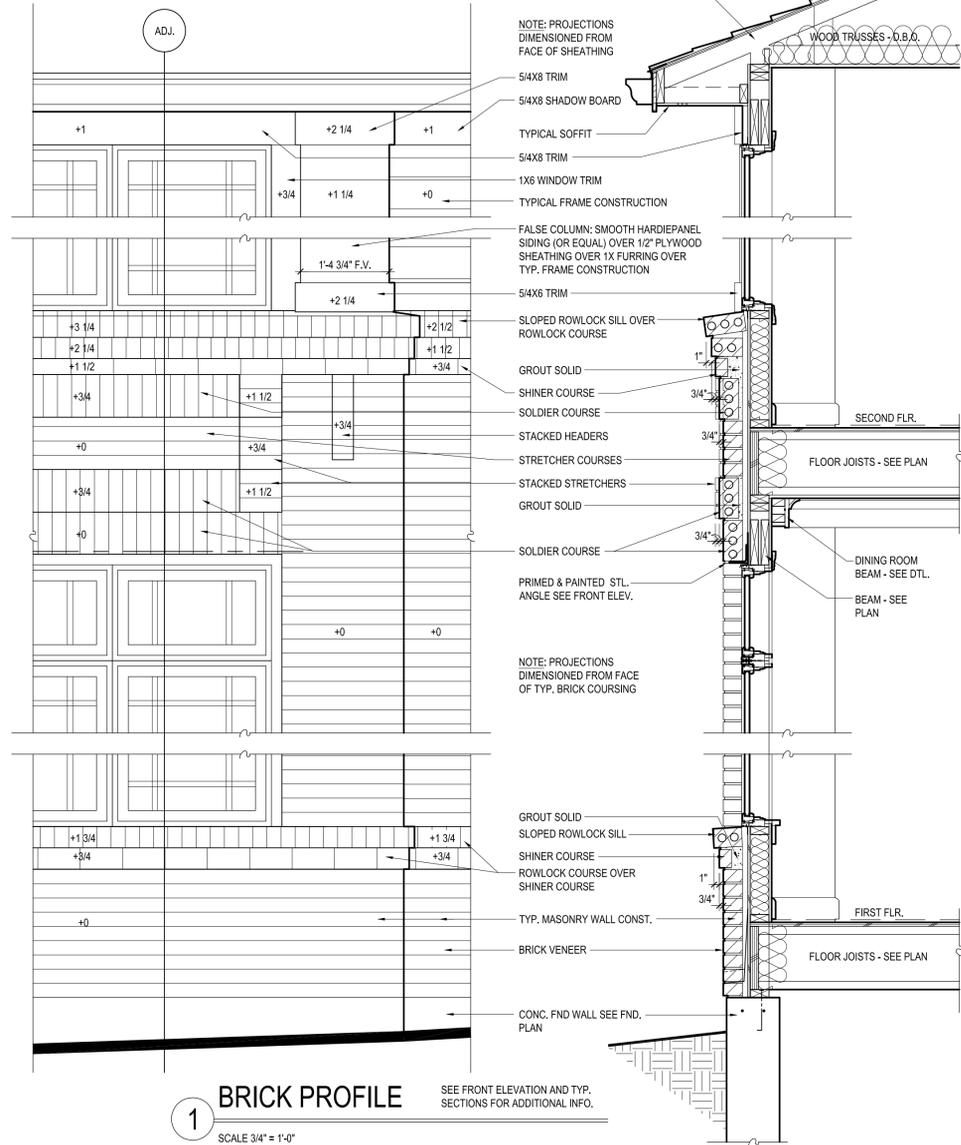
Jim Bulejski Architects
9761 LINDLEY DRIVE



LEFT SIDE ELEVATION

CONTRACTOR TO FIELD VERIFY DEPTH REQUIRED TO SET FOOTINGS. SEE FOUNDATION PLAN.
FOOTINGS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL AND SHALL BE MINIMUM 30" BELOW GRADE.

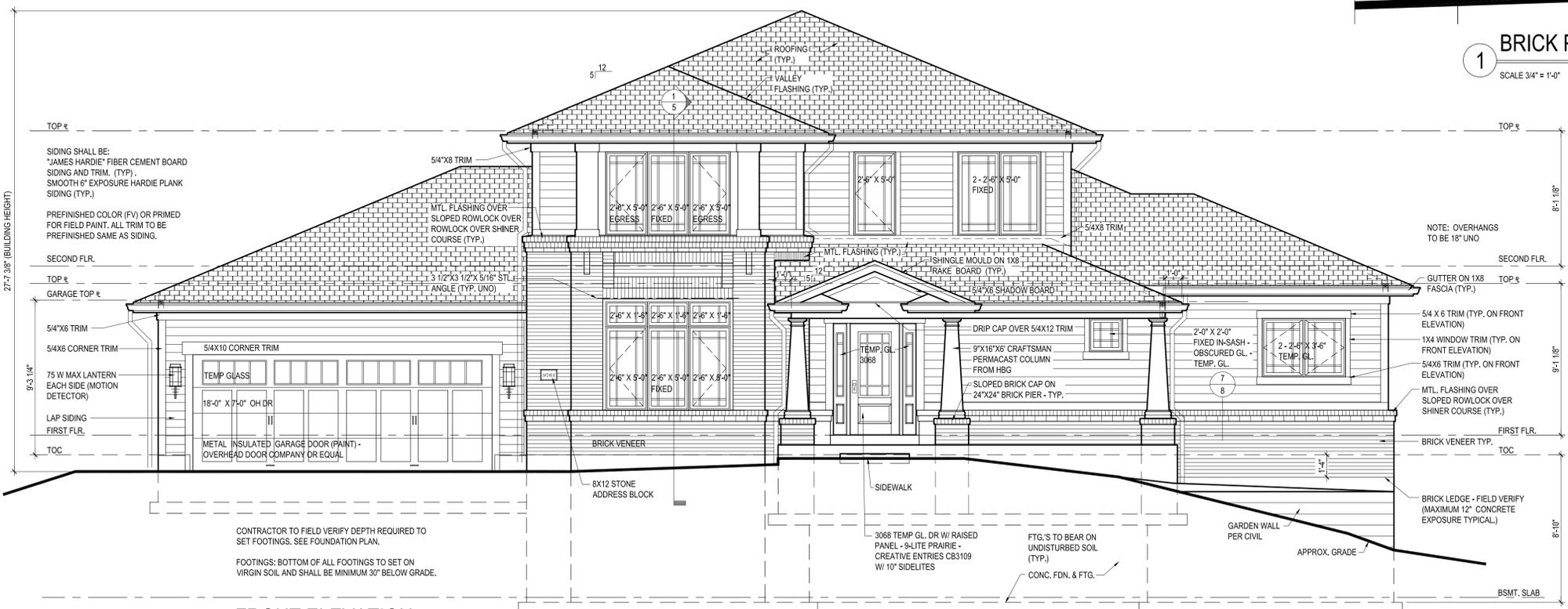
1/4" = 1'-0"



BRICK PROFILE

SCALE 3/4" = 1'-0"

SEE FRONT ELEVATION AND TYP. SECTIONS FOR ADDITIONAL INFO.



FRONT ELEVATION

1/4" = 1'-0"

ELEVATION DRAWING NOTES

- SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF: JELD-WEN - VINYL DOUBLE HUNG & CASEMENT WINDOWS

- EGRESS WINDOW REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R310)
- 44" MAX SILL HT AFF AT BASEMENT WINDOWS
 - MIN. NET CLEAR OPENING OF 5.7 SF (5 SF ALLOWED AT GRADE FLOOR OPENINGS)
 - MIN. OPENING HEIGHT = 24" NET CLEAR
 - MIN. OPENING WIDTH = 20" NET CLEAR

CONTRACTOR SHALL SUBMIT MFR'S DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.

- WINDOW OPENING REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R612)
- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE

date: 2/16/16
SUBMITTAL: PGDC

JIM BULEJSKI ARCHITECTS
345 MARSHALL AVE. SUITE 100A ST. LOUIS, MO 63119
PHONE: 314-662-6700 • FACSIMILE: 314-662-6702
EMAIL: JIM@BARCHITECT.COM •

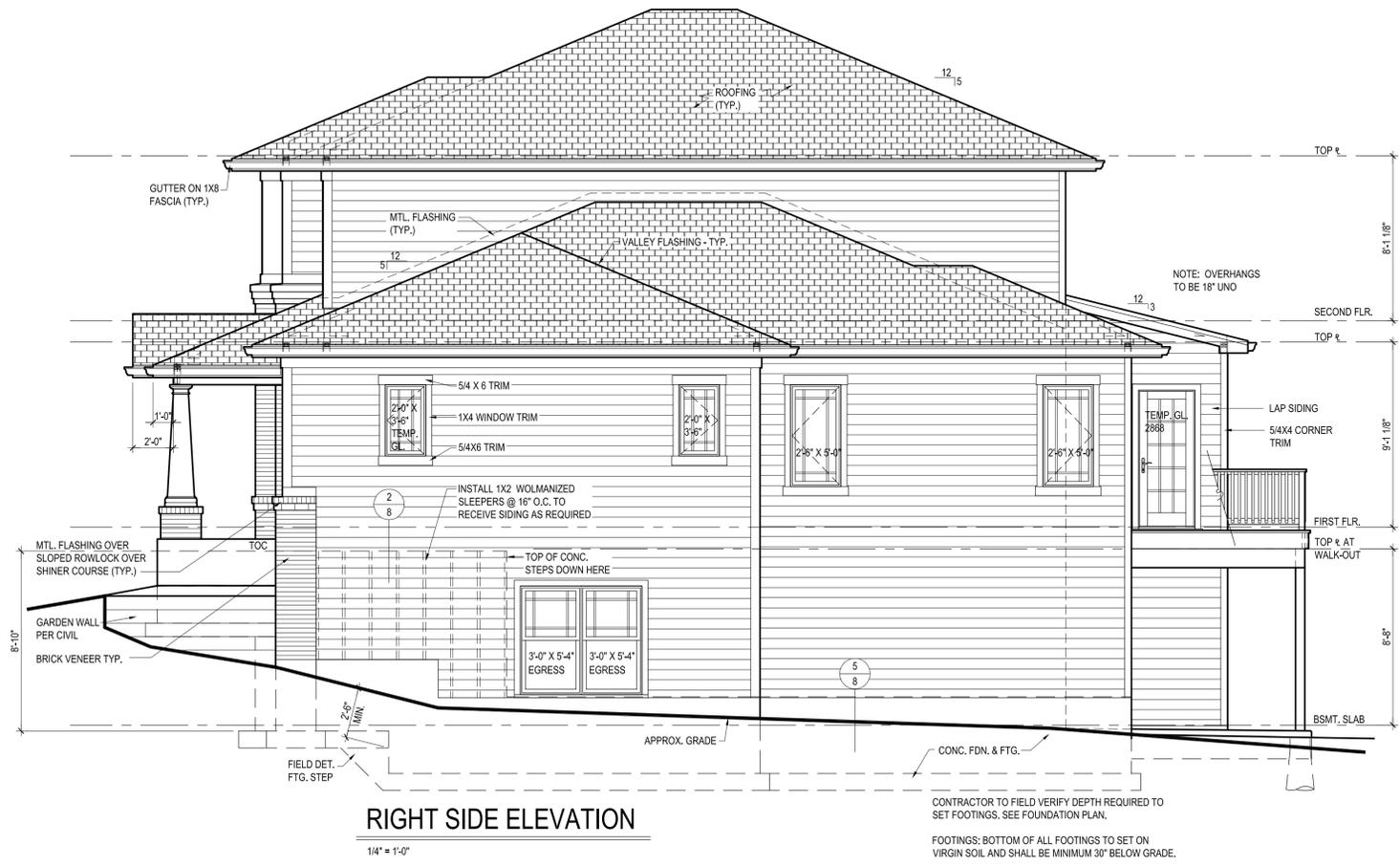
TRUSTEE REV: 3/7/16

Douglas Properties

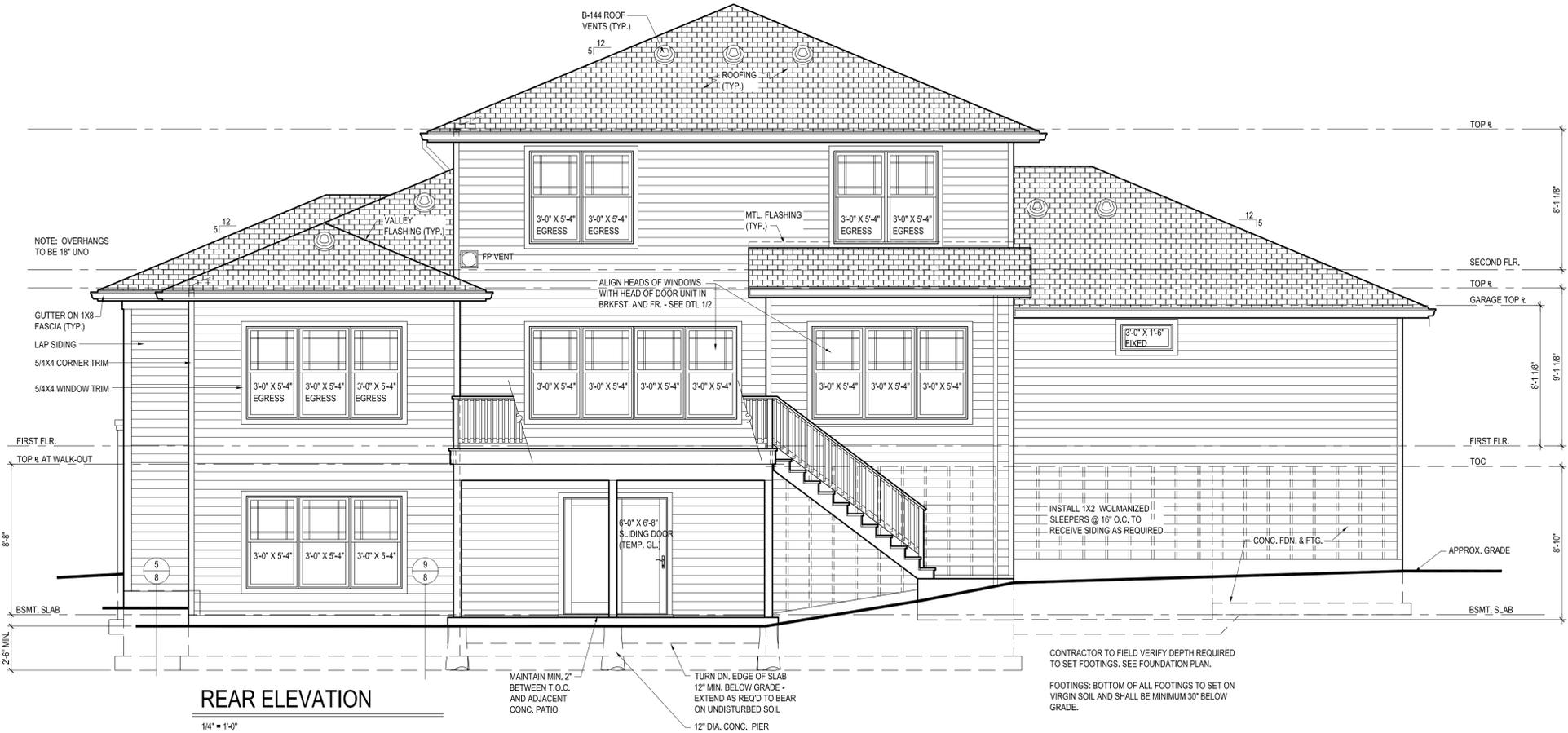
NEW RESIDENCE AT:
9761 Lindley Drive
Olivette, MO 63132

FRONT AND LEFT ELEVATIONS

sheet: **5** of 11



RIGHT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

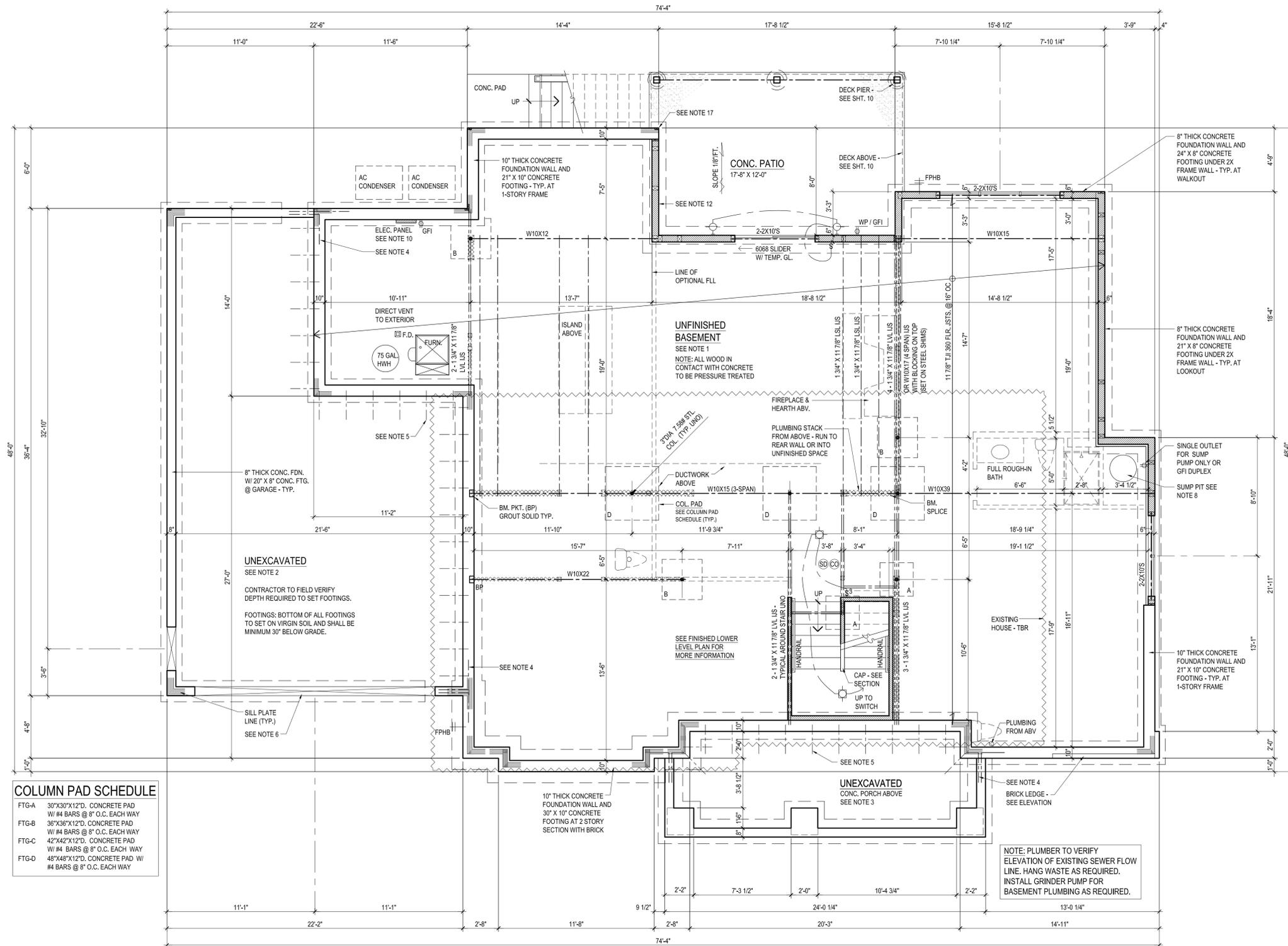
ELEVATION DRAWING NOTES

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1"/FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
2. FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
3. BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
4. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
5. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
6. WINDOW DESIGNATIONS ARE THOSE OF: JELD-WEN - VINYL DOUBLE HUNG & CASEMENT WINDOWS

- EGRESS WINDOW REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R310)
- 44" MAX SILL HT AFF AT BASEMENT WINDOWS
 - MIN. NET CLEAR OPENING OF 5.7 SF (5 SF ALLOWED AT GRADE FLOOR OPENINGS)
 - MIN. OPENING HEIGHT = 24" NET CLEAR
 - MIN. OPENING WIDTH = 20" NET CLEAR

CONTRACTOR SHALL SUBMIT MFR'S DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.

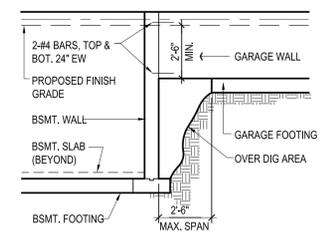
- WINDOW OPENING REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R612)
- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE



COLUMN PAD SCHEDULE

FTG-A	30"X30"X12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-B	36"X36"X12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-C	42"X42"X12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-D	48"X48"X12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY

ELECTRIC FOUNDATION PLAN
1/4" = 1'-0"



GARAGE FTG. IN RELATION TO BASEMENT FOOTING

FOUNDATION DRAWING NOTES

- BASEMENT SLAB: 3-1/2" CONCRETE SLAB OVER 6 MIL. VB. (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO FLOOR DRAIN).
- GARAGE SLAB: 4" CONCRETE SLAB WITH FIBERMESH REINFORCING OVER 6 MIL. VB. (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO GARAGE DOOR MINIMUM 4" UNO.)
- EXTERIOR PORCH SLABS: 4" CONCRETE SLAB WITH 6"x6" W1.4XW1.4 WWF OVER MIN. 4" GRAVEL OR CRUSHED STONE. SLOPE AWAY FROM FOUNDATION WITH EDGES TURNED DOWN BELOW GRADE MINIMUM 1/2" OR TO TOP OF FOUNDATION WALL.
- (2) #4 BARS TOP, MIDDLE AND BOTTOM, 24" EW. TYPICAL AT ALL INTERSECTING WALLS.
- #4 BARS @ 24" O.C. DOVEL INTO FOUNDATION WALL AND BEND 24" INTO CONCRETE SLAB. TYPICAL AT EXTERIOR PORCH SLABS AND GARAGE SLAB (ADJACENT TO BASEMENT FOUNDATION WALL).
- HOLD DOWN TOP OF FOUNDATION WALL @ DOOR TO RECEIVE CONCRETE SLAB.
- FOOTINGS & PIERS: BOTTOM OF FOOTINGS TO BE MINIMUM 30" BELOW GRADE. PIERS TO EXTEND MIN. 24" INTO SOLID, UNDISTURBED SOIL AND MIN. 30" BELOW GRADE.
- DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (MIN. 24" IN DIAMETER OR 20 INCHES SQUARE AND SHALL EXTEND MIN. 24 INCHES BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP SHALL HAVE A FITTED COVER.) PROVIDE PUMP IF DRAINAGE SYSTEM IS CONNECTED TO SUMP PIT. DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
- CLASS "B" UL APPROVED HVAC FLUE (SIZED BY HVAC CONTRACTOR) @ GAS FURNACE AND HWH. PROVIDE MINIMUM 2" CLEARANCE.
- ELECTRICAL PANEL: (200 AMP. MINIMUM / 600 AMP. MAXIMUM) TO BE SIZED AND LOCATED BY ELECTRICAL CONTRACTOR.
- STEEL COLUMNS SHALL BE SCHEDULE-40 SIZED PER PLAN. ALL COLUMNS SHALL HAVE A CAP AND BASE. ADJUSTABLE COLUMNS PERMITTED UNLESS NOTED TO BE FIXED.
- FRAME WALL WALKOUT AT BASEMENT: MAINTAIN CONTINUITY OF ALL POSTS FROM ABOVE CONTINUOUSLY TO CONCRETE FOUNDATION BELOW. COORDINATE OTHER SPECIAL CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
- MINIMUM OF (2)#5 REINFORCING BARS SHALL BE PROVIDED AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
- CONTRACTOR SHALL NOT BACKFILL UNTIL CONCRETE FOUNDATION HAS CURED FOR A MINIMUM OF 7 DAYS.
- UNFINISHED BASEMENTS SHALL BE INSULATED TO MIN. R-5. SEE GENERAL NOTES.
- I-JOIST FLOOR SYSTEM DESIGNATIONS ARE THOSE OF: J/I TRUSS JOIST. COMPLY WITH MANUFACTURERS DETAILS INCLUDING BUT NOT LIMITED TO BEARING, BLOCKING, RIM BOARDS, BRACING AND METAL HANGERS ETC. INCLUDING BLOCKING BETWEEN JOIST AT BEARING WALLS OVER STEEL BEAMS PER MANUFACTURE.
- CONCRETE CONTRACTOR TO INCLUDE P.T. NAILER WHERE REQUIRED FOR SIDING - SEE ELEVATIONS.

MECHANICAL: GAS APPLIANCES LOCATED IN SPACES WHERE THE VOLUME IS LESS THAN 50 CUBIC FEET PER 1,000 BTU/HR. INPUT RATING. SHALL HAVE COMBUSTION AIR PROVIDED. MECHANICAL CONTRACTOR SHALL CALCULATE, SPECIFY AND COORDINATE WITH GC ALL ADDITIONAL COMBUSTION AIR AS REQUIRED BY THE MECHANICAL CODE AND LOCAL JURISDICTIONS. LOUVERED DOORS SHALL BE PERMITTED BY THE ARCHITECT IF CALLED OUT ON THE PLANS. VERIFY WITH OWNER. IF ADDITIONAL COMBUSTION AIR IS REQUIRED MC SHALL PROVIDE THE FOLLOWING:
 USING INSIDE AIR: PROVIDE 1 SQ. IN. PER 1000BTU/HR. IN HIGH AND LOW OPENINGS. MIN. OPENING SIZE 100 SQ. IN.
 USING OUTSIDE AIR: PROVIDE 1 SQ. IN. PER 4,000 BTU/HR. (1 SQ. IN. PER 2,000 BTU/HR. IF DUCTED HORIZONTAL OPENING)

HIGH CEILINGS ARE IMPORTANT TO THE OWNER. COORDINATE DUCTWORK ARRANGEMENTS WITH OWNER BEFORE INSTALLING. RUN DW DIRECTLY BELOW STEEL BEAM AND DO NOT DROP DOWN LOWER THAN THIS POINT.

VENTILATION: UNFINISHED BASEMENTS AND UTILITY ROOMS REQUIRE VENTILATION IN THE AMOUNT OF .05 CFM/SQ.FT. OF AREA. NATURAL VENTILATION (NET OPERABLE AREA) MAY BE SUBSTITUTED AT THE RATIO OF 1% OF THE FLOOR AREA SERVED.

PLUMBING CONTRACTOR TO LOCATE PLUMBING PIPING AND PLUMBING STACKS TO AVOID CONFLICT WITH FINISH BASEMENT PLAN AND TO AVOID CONFLICT WITH FUTURE FINISH WORK THAT MAY OCCUR IN UNFINISHED BASEMENT AREAS. REVIEW LOCATION OF PLUMBING STACKS W/ OWNER

LIST OF SHEETS

- FOUNDATION PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN & STAIR SECTION
- ROOF PLAN
- FRONT AND LEFT ELEVATION
- REAR AND RIGHT SIDE ELEVATION
- ELECTRIC PLANS
- SECTIONS & DETAILS
- WALL BRACING & DETAILS
- OPTIONAL FLL
- GENERAL NOTES

LEGEND

[Pattern]	WALL FILL / BRICK
[Pattern]	BRG. WALL
[Pattern]	BRG. FROM ABV.
[Pattern]	WALL BRACING
[Symbol]	POST & HEADER
[Symbol]	GIRDER TRUSS
[Symbol]	MTL. HANGER
[Symbol]	POST

BUILDING CODE INFORMATION:

OLIVETTE, MISSOURI
 BUILDING: 2006 INTERNATIONAL RESIDENTIAL CODE
 PLUMBING: 2009 UNIFORM PLUMBING CODE
 MECHANICAL: 2009 INTERNATIONAL MECHANICAL CODE
 ELECTRICAL: 2008 NATIONAL ELECTRIC CODE



Jim Bulejski Architects
9761 LINDLEY DRIVE

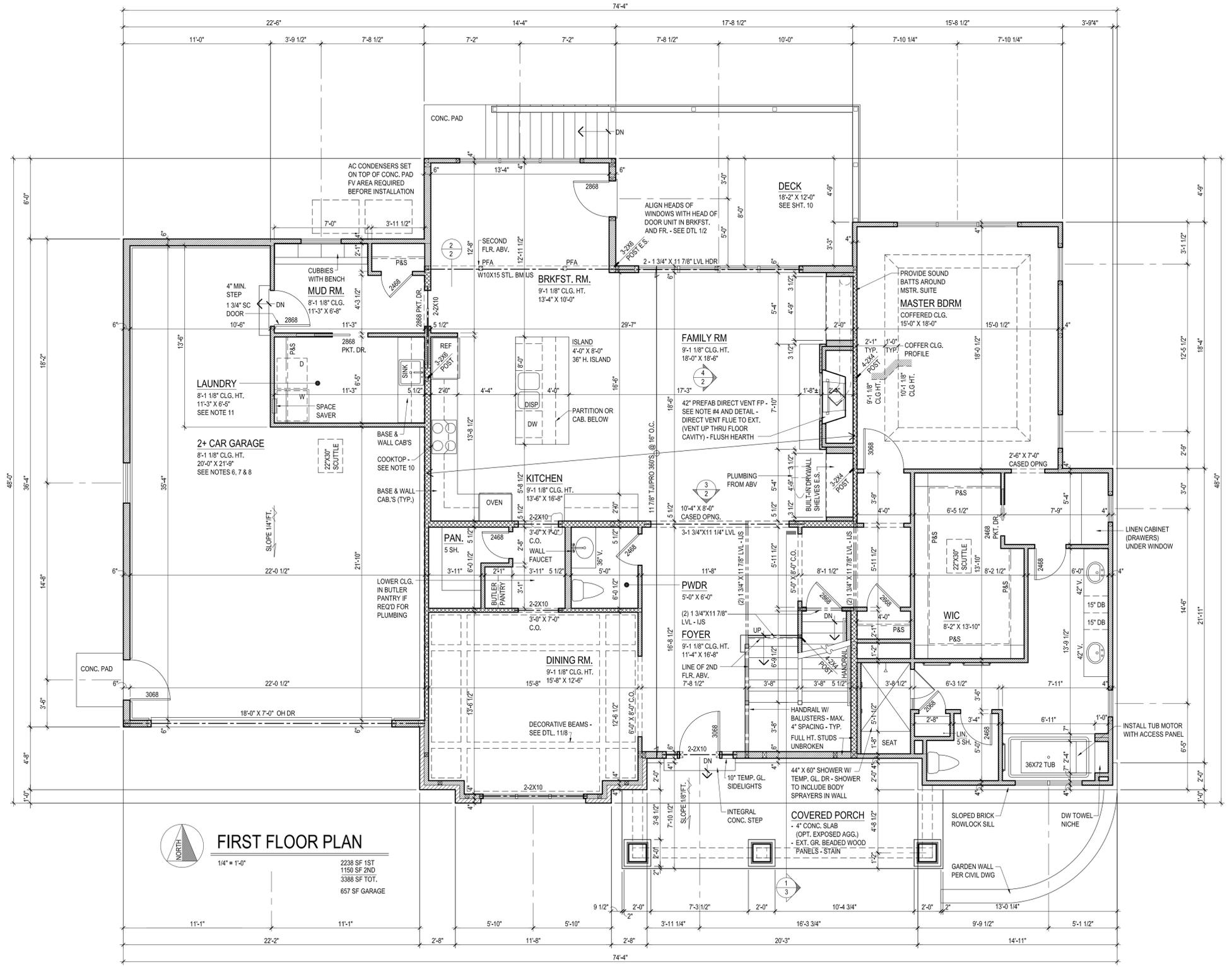
date: 2/16/16
 SUBMITTAL: PCDC
 JIM BULEJSKI ARCHITECTS
 345 MARSHALL AVE. SUITE 100A ST. LOUIS, MO 63119
 PHONE: 314-662-6700 • FACSIMILE: 314-662-6702
 EMAIL: JIM@BARCHITECT.COM

Douglas Properties

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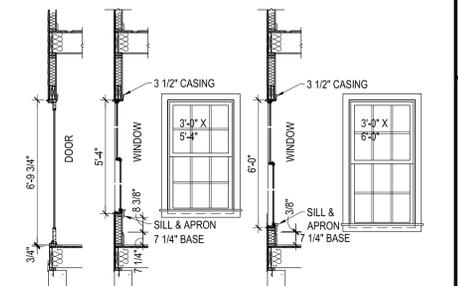
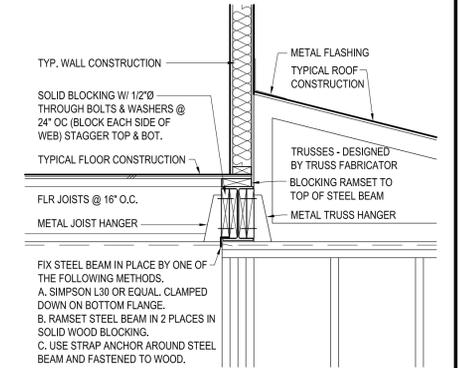
FOUNDATION PLAN

sheet: 1 of 11

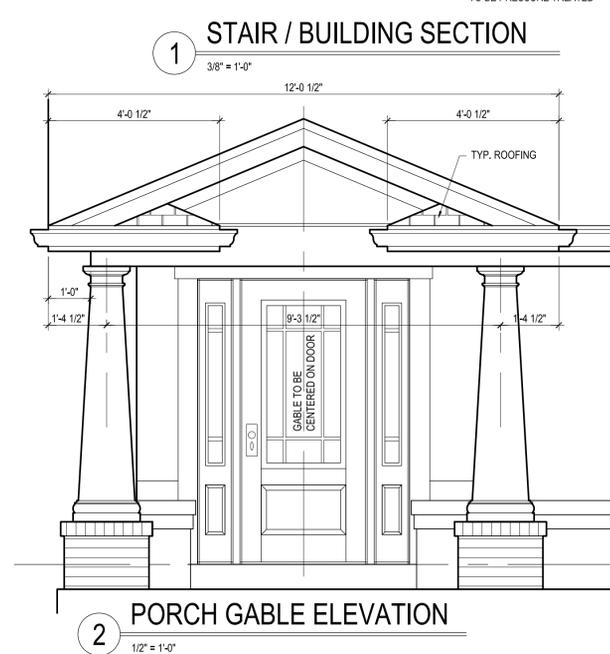
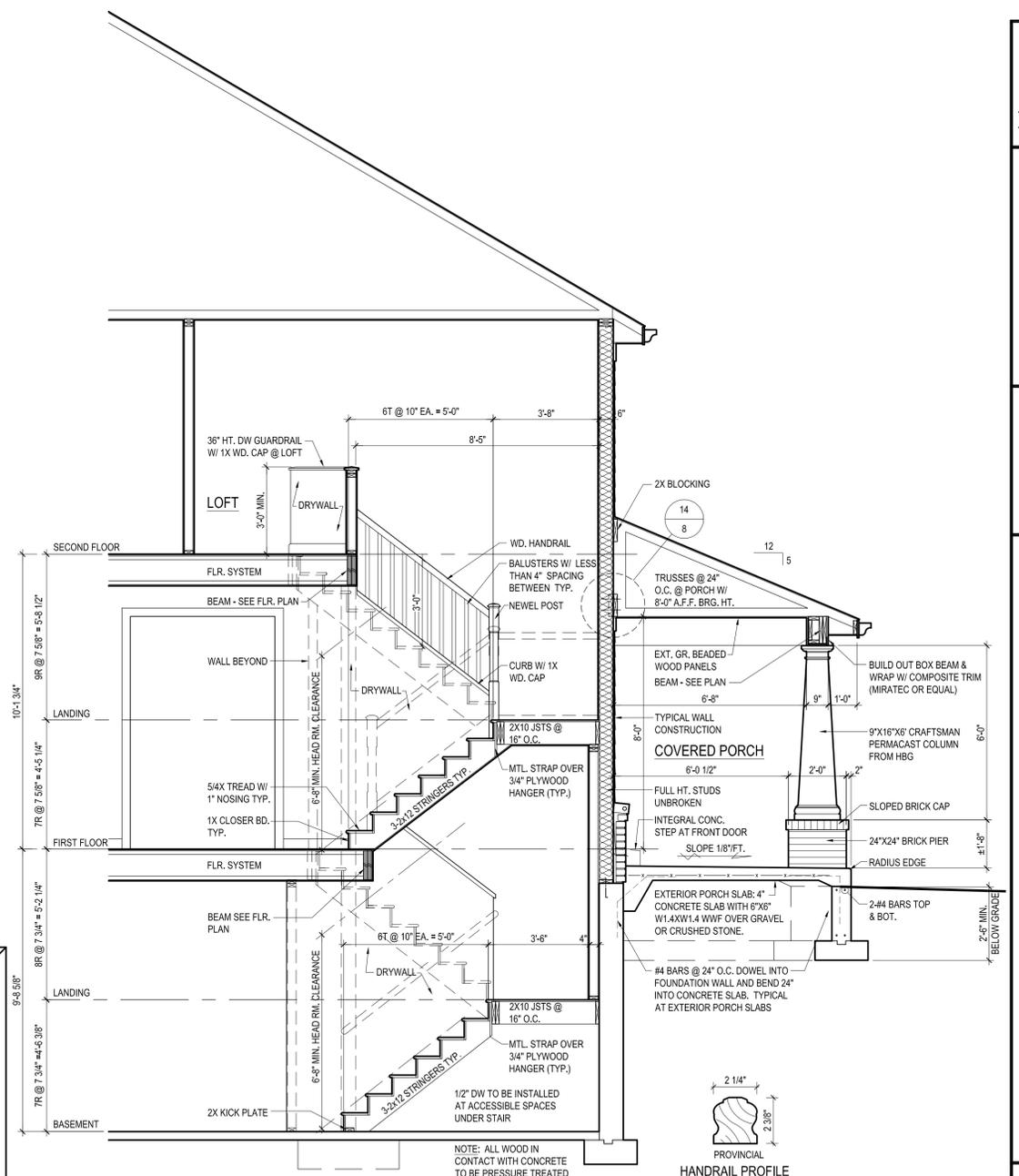
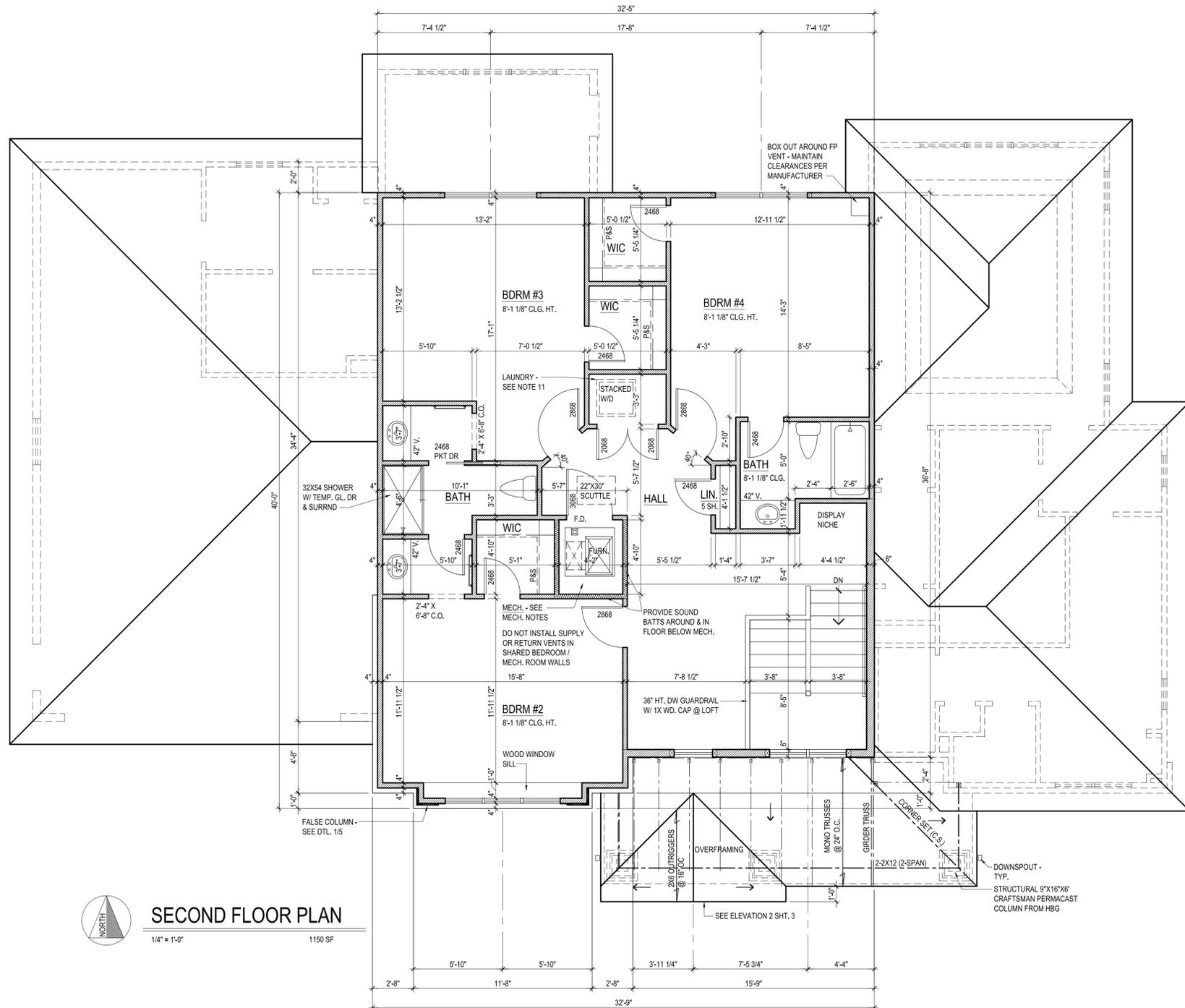


4 ELEV. @ FAMILY ROOM
1/4" = 1'-0"

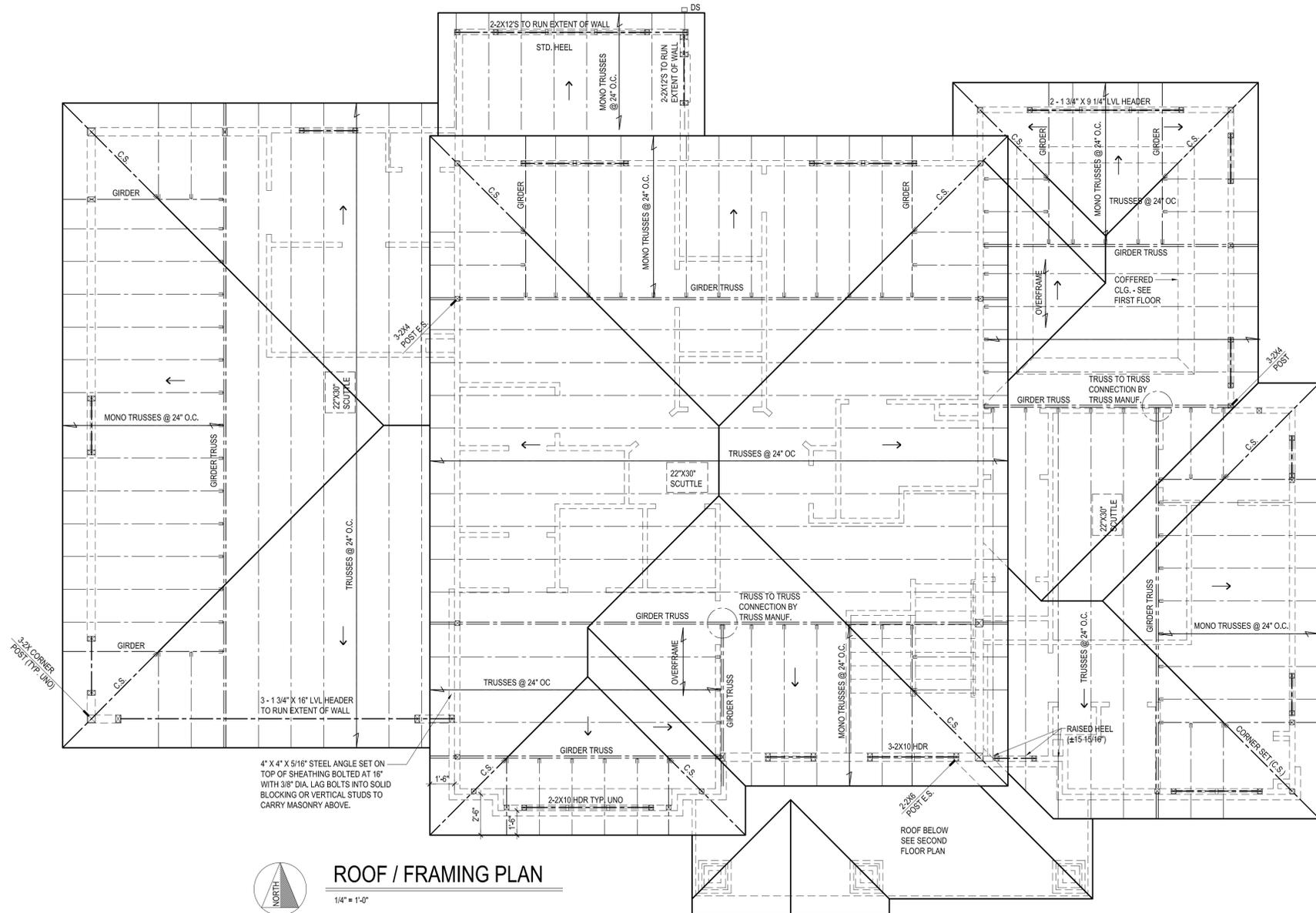
3 ELEV. @ OPENING TO FOYER
1/4" = 1'-0"



- FLOOR PLAN DRAWING NOTES**
- ALL INTERIOR WALLS TO BE 3 1/2" (2X STUDS), UNLESS NOTED OTHERWISE (UNO).
 - POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
 - MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAILED.
 - PREFAB DIRECT VENT GAS FIREPLACE: MODEL: CALIBER DIRECT VENT CD482 MANUF.: HEATLATOR OR APPROVED EQUAL.
 - PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
 - GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
 - GARAGE-ATTACHED: 1/2" DRYWALL ON GARAGE SIDE OF WALL UP TO 5/8" DRYWALL CEILING.
 - DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
 - SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
 - COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
 - LAUNDRY: WASHER TO BE PLACED IN A FLOOD SAVER W/ DRAIN. PROVIDE IN-WALL WASHER OUTLET BOX. DRYER TO VENT TO EXTERIOR.
 - INTERIOR DOOR TRIM: 4 1/4" CASING WITH 4 3/4" PLINTHS. PROVIDE MIN. 5 1/2" (7" PREFERRED) FROM PERPENDICULAR FRAME WALL TO FINISH DOOR OPENING. TYP. UNO



- FLOOR PLAN DRAWING NOTES**
- ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
 - POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
 - MINIMUM HEADER SIZE: 2-2X10S GLUED AND NAILED.
 - PREFAB DIRECT VENT GAS FIREPLACE: MODEL: CALIBER DIRECT VENT CD4842 MANUF.: HEATILATOR OR APPROVED EQUAL.
 - PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
 - GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
 - GARAGE-ATTACHED: 1/2" DRYWALL ON GARAGE SIDE OF WALL UP TO 5/8" DRYWALL CEILING.
 - DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
 - SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
 - COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
 - LAUNDRY: WASHER TO BE PLACED IN A FLOOD SAVER W/ DRAIN. PROVIDE IN-WALL WASHER OUTLET BOX. DRYER TO VENT TO EXTERIOR.
 - INTERIOR DOOR TRIM: 4 1/4" CASING WITH 4 3/4" PLINTHS. PROVIDE MIN. 5 1/2" (7" PREFERRED) FROM PERPENDICULAR FRAME WALL TO FINISH DOOR OPENING. TYP. UNO.
- MECH. NOTES**
- SECOND FLR. FURNACE SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATTS AROUND & IN FLOOR BELOW FURN. ROOM. INSTALL 1/2" HOMESITE SOUND BRD. UNDER DW AND WEATHER STRIP DR FOR SOUND CONTROL. MECH. CONTRACTOR TO SUPPLY COMBUSTION AIR, (NO LOUVER)
- ENERGY CONSERVATION REQUIRED WITH COMBUSTION / VENTILATION OUTSIDE AIR:
- SOLID, SELF-CLOSING WEATHERSTRIPPED DOOR
 - R-13 INSULATION AT INTERIOR WALLS
 - R-19 INSULATION AT FLOOR/CEILING
 - WRAPPED, INSULATED DUCTS
 - STOPPED WALL PENETRATIONS



4" X 4" X 5/16" STEEL ANGLE SET ON TOP OF SHEATHING BOLTED AT 18" WITH 3/8" DIA. LAG BOLTS INTO SOLID BLOCKING OR VERTICAL STUDS TO CARRY MASONRY ABOVE.



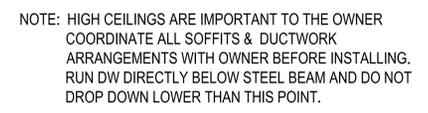
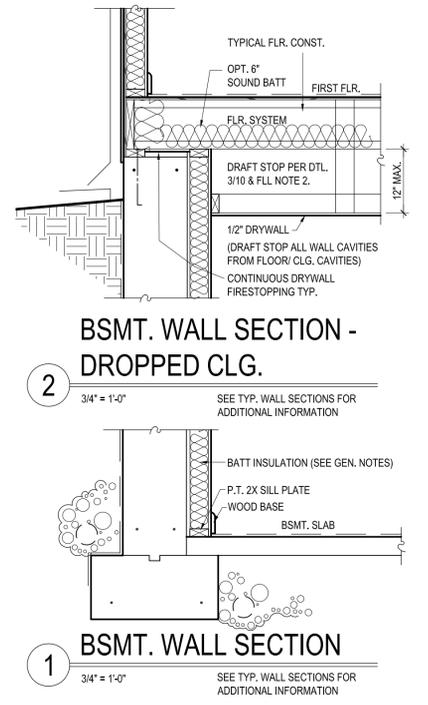
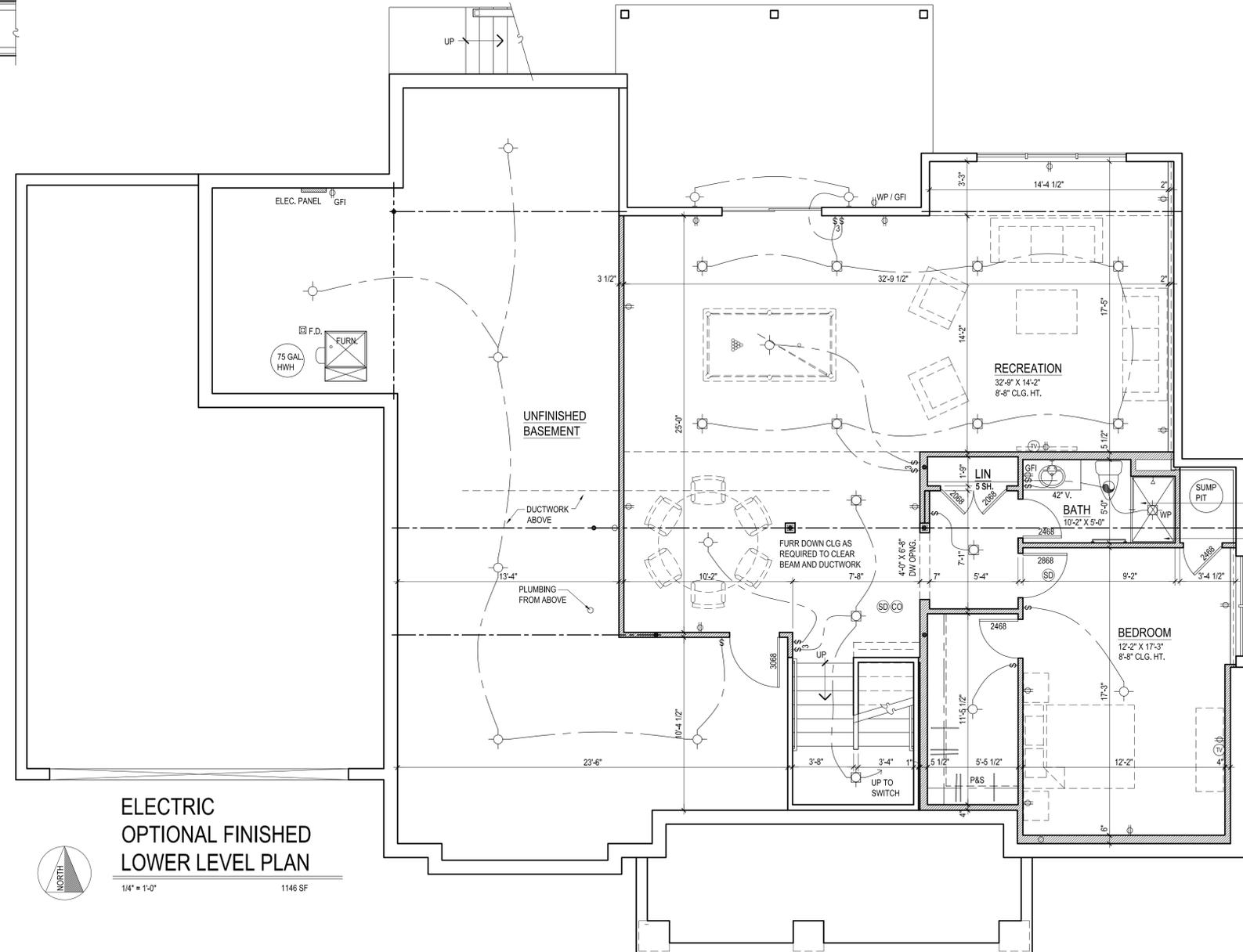
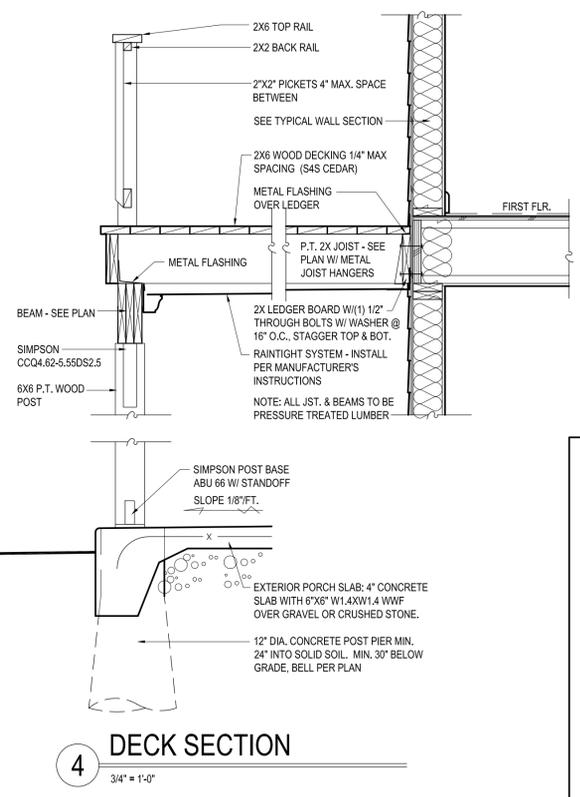
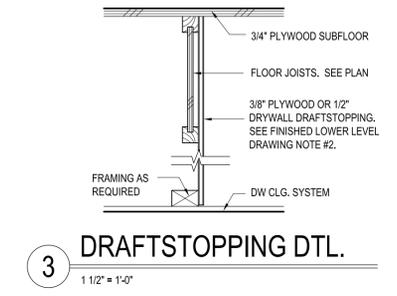
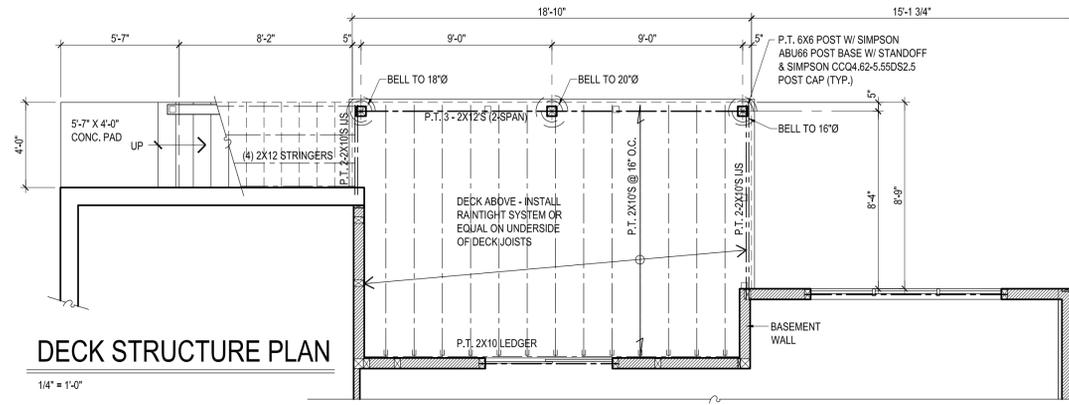
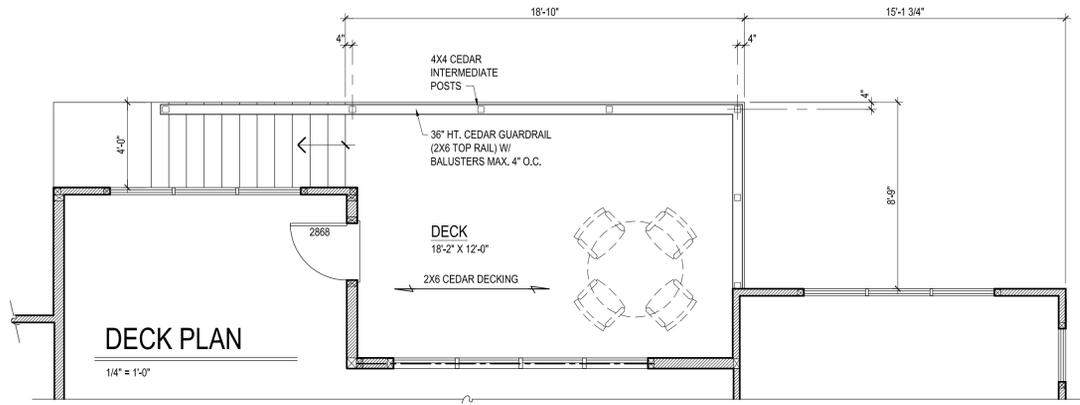
ROOF / FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING NOTES

1. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS. GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAIL ALL MULTIPLE BEAM MEMBERS.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
2. SEE FIRST AND SECOND FLOOR PLANS FOR INTERIOR CEILING CONDITIONS.
3. TRUSS LAYOUT SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE MANUFACTURERS SHOP DRAWINGS FOR ACTUAL LAYOUT. ALL TRUSS HANGERS PER TRUSS MANUFACTURER.
4. TRUSSES TO HAVE 6" HEEL HEIGHT UNLESS NOTED OTHERWISE.

<p>sheet: 4 of 11</p>	<p>ROOF / FRAMING PLAN</p>	<p>NEW RESIDENCE AT: 9761 Lindley Drive Olivette, MO 63132</p>
<p>Douglas Properties</p>		
<p>JIM BULEJSKI ARCHITECTS 345 MARSHALL AVE. SUITE 100 • ST. LOUIS, MO 63119 PHONE: 314-662-8700 • FACSIMILE: 314-662-6702 EMAIL: JIM@JBARCHITECT.COM</p>		
<p>date: PGDC SUBMITTAL: 2/16/16</p>		



FINISHED LOWER LEVEL DRAWING NOTES

- ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO), (OPTIONAL LIGHT GAGE STEEL STUDS)
- USE PRESSURE TREATED SILL PLATES OR STEEL TRACKS.
- DRAFTSTOPPING: CEILING SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT MAXIMUM 1000 S.F. INTERVALS PARALLEL TO MAIN FRAMING MEMBERS. SEE DETAIL THIS SHEET.
- CEILING HEIGHTS TO BE DETERMINED BY EXTENT OF DUCTWORK, STEEL BEAMS, ETC. (7'-0" MIN. CEILING HEIGHT)
- FURR DOWN CEILING, IF REQUIRED, TO CLEAR BEAMS, DUCTWORK, WIRES, PIPES, ETC., UNLESS NOTE OTHERWISE.
- SET ALL CEILING AS HIGH AS POSSIBLE. PROVIDE ACCESS PANELS TO UTILITIES, CLEANOUTS ETC. IN FINISHED AREAS. VERIFY METHOD WITH OWNER.
- MAINTAIN REQUIRED CLEARANCES AROUND FURNACES AND WATER HEATERS.
- VENT BATHROOM EXHAUST FAN TO EXTERIOR.
- ADJUST LOCATIONS OF RECESSED LIGHT FIXTURES IF REQUIRED FOR FRAMING MEMBERS, DUCTWORK, ETC. REVIEW ALTERNATE LOCATIONS WITH OWNER.

MECHANICAL: GAS APPLIANCES LOCATED IN SPACES WHERE THE VOLUME IS LESS THAN 50 CUBIC FEET PER 1,000 BTU/HR. INPUT RATING. SHALL HAVE COMBUSTION AIR PROVIDED. MECHANICAL CONTRACTOR SHALL CALCULATE, SPECIFY AND COORDINATE WITH GC ALL ADDITIONAL COMBUSTION AIR AS REQUIRED BY THE MECHANICAL CODE AND LOCAL JURISDICTIONS. LOUVERED DOORS SHALL BE PERMITTED BY THE ARCHITECT IF CALLED OUT ON THE PLANS. VERIFY WITH OWNER. IF ADDITIONAL COMBUSTION AIR IS REQUIRED MC SHALL PROVIDE THE FOLLOWING:
 USING INSIDE AIR: PROVIDE 1 SQ. IN. PER 100BTU/HR. IN HIGH AND LOW OPENINGS, MIN. OPENING SIZE 100 SQ. IN.
 USING OUTSIDE AIR: PROVIDE 1 SQ. IN. PER 4,000 BTU/HR. (1 SQ. IN. PER 2,000 BTU/HR. IF DUCTED HORIZONTAL OPENING)

VENTILATION: UNFINISHED BASEMENTS AND UTILITY ROOMS REQUIRE VENTILATION IN THE AMOUNT OF .05 CFM/SQ.FT. OF AREA. NATURAL VENTILATION (NET OPERABLE AREA) MAY BE SUBSTITUTED AT THE RATIO OF 1% OF THE FLOOR AREA SERVED.

ENERGY CONSERVATION REQUIRED WITH COMBUSTION / VENTILATION OUTSIDE AIR:
 - SOLID, SELF-CLOSING WEATHERSTRIPPED DOOR
 - R-13 INSULATION AT INTERIOR WALLS
 - R-19 INSULATION AT FLOOR/CEILING
 - WRAPPED, INSULATED DUCTS
 - STOPPED WALL PENETRATIONS

**CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN COMMISSION
MEETING MINUTES
MARCH 10, 2016**

The City of Olivette Planning and Community Design Commission met on March 10, 2016, at 7:00 PM in the City Council Chambers of the Olivette Government Center addressed as 9473 Olive Boulevard, Olivette, Missouri. Richard Brophy presiding as Acting Chair called the meeting to order. Commission Member Nathan Gould served as the acting secretary.

1. ROLL CALL:

On roll call, the following members were present: Richard Brophy, Larry Gerstein, Nathan Gould, and Jodie Rich.

Also in attendance were: City Council Member Missy Waldman, Director of Planning and Community Development Carlos Trejo, and Planning/GIS Coordinator Jonathan Roper.

A quorum being present, Mr. Brophy declared the meeting in session for the transaction of business.

2. REVIEW OF COMMISSION PROCEDURES:

Mr. Brophy noted the meeting procedures, the types of actions taken by the Commission, and opportunities for public comment.

3. CONSENT BUSINESS:

A. 1157 Indian Meadows Drive, Petition for Community Design Review

Description: 939 sf. Addition & 466 sf. Deck

Petitioner: Tom Diggs, Architect

Property Owner: Lora and Jabari Robinson

Mr. Trejo summarized the review process for the petition noted above. Mr. Trejo noted a Stormwater inlet at the rear of the property may assist with Stormwater onsite. Mr. Trejo noted a meeting took place on the site with the Petitioner.

Acting Chair Brophy asked if there were any questions from the public regarding the petition. There were no public comments.

Mr. Gould motioned to approve the Petition for Community Design Review for a residential addition at 1157 Indian Meadows Drive, as presented in the Memorandum from the Department of Planning and Community Development dated March 10, 2016, subject to any staff conditions noted therein. Motioned seconded by Mr. Gerstein. On a voice vote, the motion passed unanimously, 4-0.

4. OLD BUSINESS:

A. 701 Villa Capri Court, Petition for Community Design Review

Description: 1,371 sf. 2nd Level Addition & 576 sf. 2-Car Attached Garage Enclosure

Petitioner: Jeff Day, Jeff Day & Associates

Property Owner: Core Properties, Jon Rankin

Mr. Trejo summarized the recent activities on this Petition. Commission deferred action on this item at the February 18, 2016, Commission meeting to allow the Petitioner and subdivision representatives time to review the proposed improvements. Mr. Trejo noted the design of the revised petition is a one-story rear addition. This is a modification from the original plans for a 2-story addition. Mr. Trejo noted site grading and Stormwater improvements to enhance drainage patterns leading to a MSD channel.

Acting Chair Brophy asked if there were any questions from the public regarding this Petition. There were none.

Mr. Gould motioned to approve the Petition for Community Design Review for a residential addition at 701 Villa Capri Court, as presented in the Memorandum from the Department of Planning and Community Development dated March 10, 2016, subject to any staff conditions noted therein. Motioned seconded by Mr. Gerstein. On a voice vote, the motion passed unanimously, 4-0.

A. 9335 Old Bonhomme Road, Petition for Preliminary Subdivision Plat

Description: Proposed 3-lot Subdivision of the 1.33 Acre Property

Petitioner: David Volz, Volz Incorporated

Property Owner: Robert Munsch under contract, Owner Adele B. Inge, Trust

Mr. Trejo noted this item was introduced to the Commission at the February 18, 2016, Commission meeting. The following comments were noted:

- Neighbors expressed concerns regarding the impacts of Stormwater runoff from these sites.
- Staff met with the Petitioner on March 2, 2016, to discuss the outstanding issues.
- Petitioner noted a conceptually Stormwater management plan.
- Staff finds the Petition in compliance with Article I of Chapter 405 Subdivision Regulations.
- Staff finds the Petition compliant with Section 400.220 Permitted Uses under Article IV 'SR' Single-Family Residential District.

Acting Chair Brophy asked if there were any questions from the public regarding this Petition. There were none.

Mr. Gould motioned to approve the Petition for Preliminary Subdivision Plat for a 3-lot subdivision of the property grounds currently addressed as 9335 Old Bonhomme Road, as presented in the Memorandum from the Department of Planning and Community Development dated March 10, 2016, subject to any staff conditions noted therein. Motioned seconded by Mr. Gerstein. On a voice vote, the motion passed unanimously, 4-0.

5. NEW BUSINESS:

A. 9520 Olive Boulevard, Petition for Site Plan Review

Description: Seasonal Garden Center

Petitioner: John and Paulina Cella, Planthaven Farms

Property Owner: Olivette Real Estate, LLC

Mr. Trejo noted the proposed subdivision complies with Permitted Uses of Section 400.220 as outlined under Article IV SR Single-Family Residential District and with Section 405.020 Intent and Purposes under Chapter 405 Subdivision Regulations.

Mr. Trejo noted the following:

- The lot will comply with the minimum off-street parking regulations.
- Dates of operations - April 2016 to July 2016, not to exceed 120 days.
- 5th consecutive year operating in this location.

Acting Chair Brophy asked if there were any questions from the public regarding this Petition. There were none.

Mr. Gould motioned to approve the Petition for Site Plan Review to authorize Planthaven Farms to operate a seasonal garden center in accordance with Section 400.740.B, beginning April 2016, not to exceed 120 consecutive days as presented in the Memorandum from the Department of Planning and Community Development dated March 10, 2016, subject to any staff conditions noted therein. Motioned seconded by Mr. Gerstein. On a voice vote, the motion passed unanimously, 4-0.

B. 115 Stoneleigh Towers Street, Petition for Community Design Review

Description: 960 sf. addition (including a 784 sf. 2-car rear entry garage), two decks totaling 290 sf., and 1,300 sf. of driveway expansion and driveway turnaround

Petitioner: Scott Spicuzza, Big World Remodel

Property Owner: Mark and Lindsay Minton

Mr. Trejo summarized the review process for the petition noted above. Mr. Trejo noted a Stormwater inlet at the rear of the property may assist with Stormwater onsite. Mr. Trejo noted a meeting took place on the site with the Petitioner.

Mr. Trejo noted the following:

- Major increase of impervious surface area due to the off-street parking area.
- Staff is working with Petitioner to determine Stormwater management.
- Boundary survey/site plan requires additional information. Staff ask the Commission to consider a condition regarding a revised site plan.

Acting Chair Brophy asked if there were any questions from the public regarding the petition. There were no public comments.

Mr. Gould motioned to approve the Petition for Community Design Review for a residential addition at 115 Stoneleigh Towers Street, as presented in the Memorandum from the Department of Planning and Community Development dated March 10, 2016, subject to any staff conditions noted therein, (condition

regarding the submission of a revised site survey/boundary). Motioned seconded by Mr. Gerstein. On a voice vote, the motion passed unanimously, 4-0.

6. OTHER BUSINESS:

A. Meeting Minutes

Mr. Gould motioned to acknowledge the meeting minutes for February 18, 2016. Motioned seconded by Mr. Gerstein. On a voice vote, motioned passed 4-0.

7. DISCUSSION ITEMS:

A. Olivette Strategic Plan: Dynamic Sense of Place, as adopted August 2006

This item has been deferred.

8. REPORTS:

A. Planning and Community Development Report

The May 19th PCDC meeting to be rescheduled for May 26. Ground breaking for the new Municipal Center will be March 19th. The March 17th, Commission meeting will be cancelled due to Ladue Schools Spring Break. New businesses moving into Olivette include Ready Readers, Mednet, Anytime Fitness, and Lulu's Express. City Council adopted the new fee schedule. RFP for I-170 Interchange Gateway Area under review by the City Council and Economic Development Commission.

B. City Council Liaison Report

City Council Member Waldman noted the April 5, 2016 elections. The next Breakfast with the Mayor will be held March 30th with Olivette in Bloom as the Mayor's guest.

C. Commissioner Reports

There was no Commission report.

10. ADJOURNMENT:

Mr. Brophy asked if there were any further questions or comments. Being none, the meeting adjourned at 7:30 PM.

Acting Secretary Nathan Gould

Acting Chair Richard Brophy

Adopted: 2016 xx-xx