



AGENDA
FOR THE CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN COMMISSION
MEETING OF APRIL 21, 2016
AT 7:00 PM
IN THE OLIVETTE CITY COUNCIL CHAMBERS
AT CITY HALL GOVERNMENT CENTER
LOCATED AT 9473 OLIVE BOULEVARD

1. Roll Call

2. Review Of Commission Procedures

3. Consent Business

- A. 4 Downey Lane
4 Downey Lane
Community Design Review for:
272-square foot addition to the rear of the home
Petitioner: Dave Williams, Chesterfield Fence & Deck
Owner: Ceci Staudt

Documents:

[DOWNEY LN-NO 4 ADDENDUM CDR PLANS.PDF](#)
[DOWNEY LN-NO 4 SUNROOM SR ATTACHMENTS.PDF](#)

4. Old Business

- A. 9761 Lindley Drive
Site Plan and Community Design Review for: Construction of a New Home.
Petitioner: Doug Cohen, Douglas Properties
Owner: Doug Cohen Real Estate

Documents:

[LINDLEY DR-NO 9761 CDR PLANS 2016.PDF](#)
[LINDLEY DR-NO 9761 SR ATTACHMENTS APRIL 21.PDF](#)

5. New Business

- A. 20 Beverly Drive
Site Plan and Community Design Review for:
2-level addition
Side entry garage at the rear of home.
Petitioner: Ron Keeven, Keeven Design Build
Owner: Andrew & Karen Loiterstein

Documents:

[BEVERLY DR-NO 20 CDR PLANS.PDF](#)
[BEVERLY DR-NO 20 SR ATTACHMENTS.PDF](#)

6. Other Business

- A. Meeting Minutes

Documents:

[PCDC MTG MIN 2016 04-07.PDF](#)

7. Discussion Items

- A. 9626 Olive Boulevard, Lulu's Chinese Express: Special Permit Use, Wall Signage, And Outdoor Seating
- B. Olivette Residential Redevelopment And Design Guidelines
- C. Olivette Bike Map

Documents:

[BIKE_MAP_2016_4_10.PDF](#)

8. Reports

9. Adjournment

AGENDA ITEMS WILL NOT NECESSARILY BE DISCUSSED IN ORDER. IF YOU HAVE ANY QUESTIONS, PLEASE CALL CITY HALL AT (314) 993-0444.

THE NEXT SCHEDULED MEETING IS MAY 5, 2016

The City of Olivette hereby advises the public, employees and qualified job applicants that they are afforded an equal opportunity to participate in the programs and service of the City regardless of race, color, religion, sex, age, disability, familial status, national origin or political affiliation. If you are a person with a disability and have special needs, please call Barbara Sondag, City Manager at 314.993.0444 as soon as possible but no later than one day prior to the event or call 314.993.3610 VOICE TDD, 1.800.735.2466 RELAY MISSOURI. Thank you.

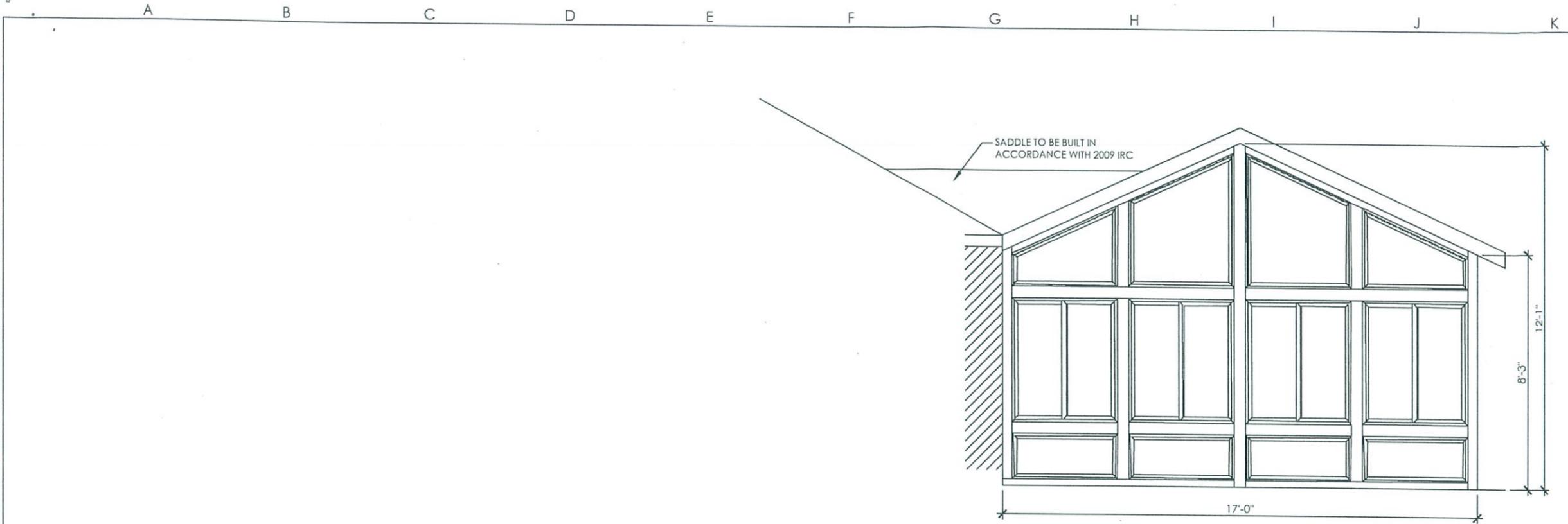
Posted this 15th day of April, 2016 at 12:45 PM.

Myra Bennett

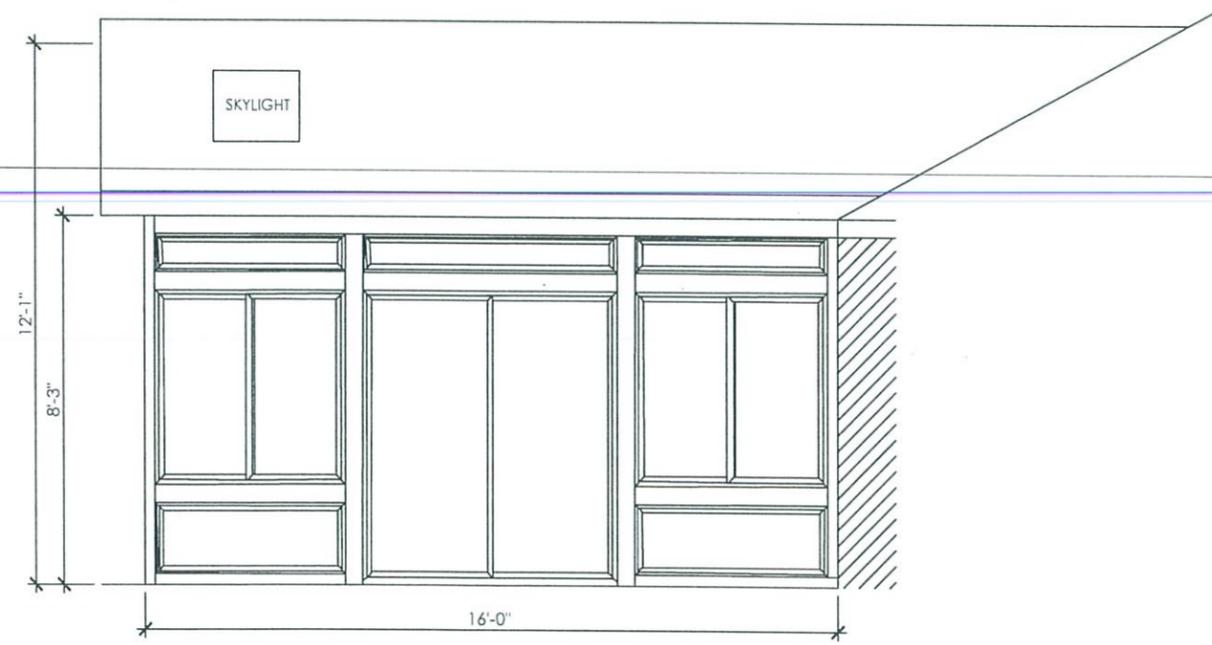
Myra G. Bennett, CMC/MPCC

City Clerk

City of Olivette



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



conn engineering consultants, inc.
commercial-industrial-residential structural engineering
107 n. bridge st.
Indian, mi 48451
p. 810.458.4350
f. 810.458.4592
www.connengineering.com

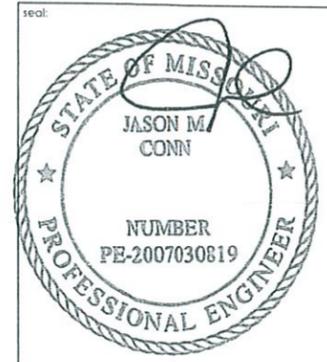


LIVINGSPACE SUNROOMS
13100 Eckel Junction Rd.
Pattysburg, OH 43351
p. 419.386.7703
f. 419.386.2683
www.livingspacesunrooms.com

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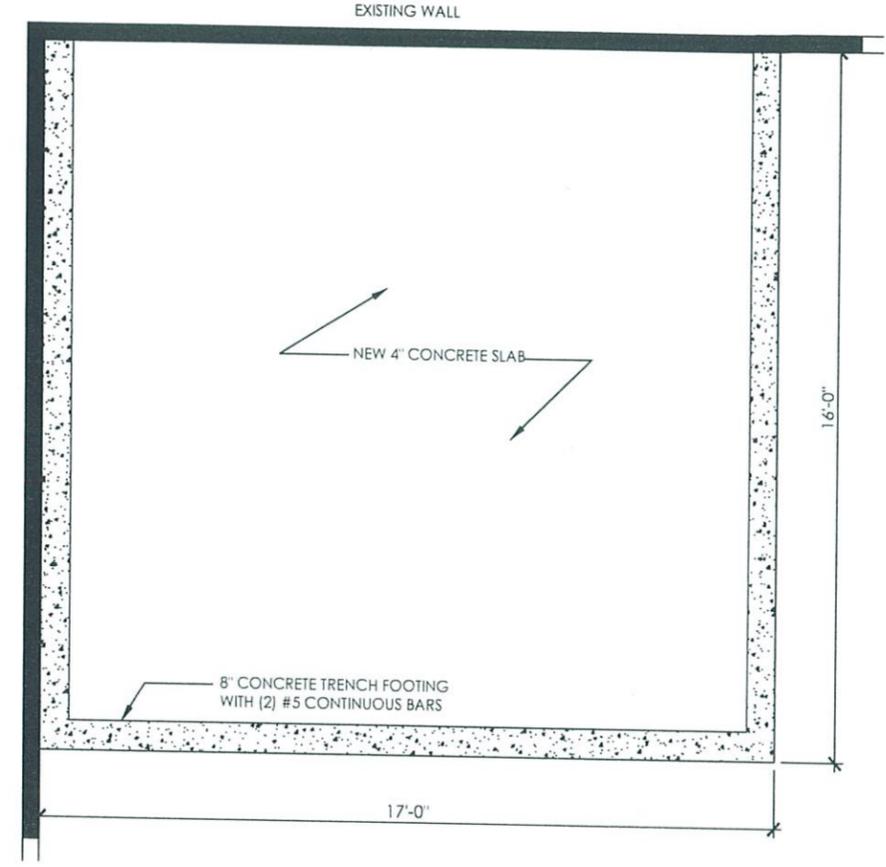
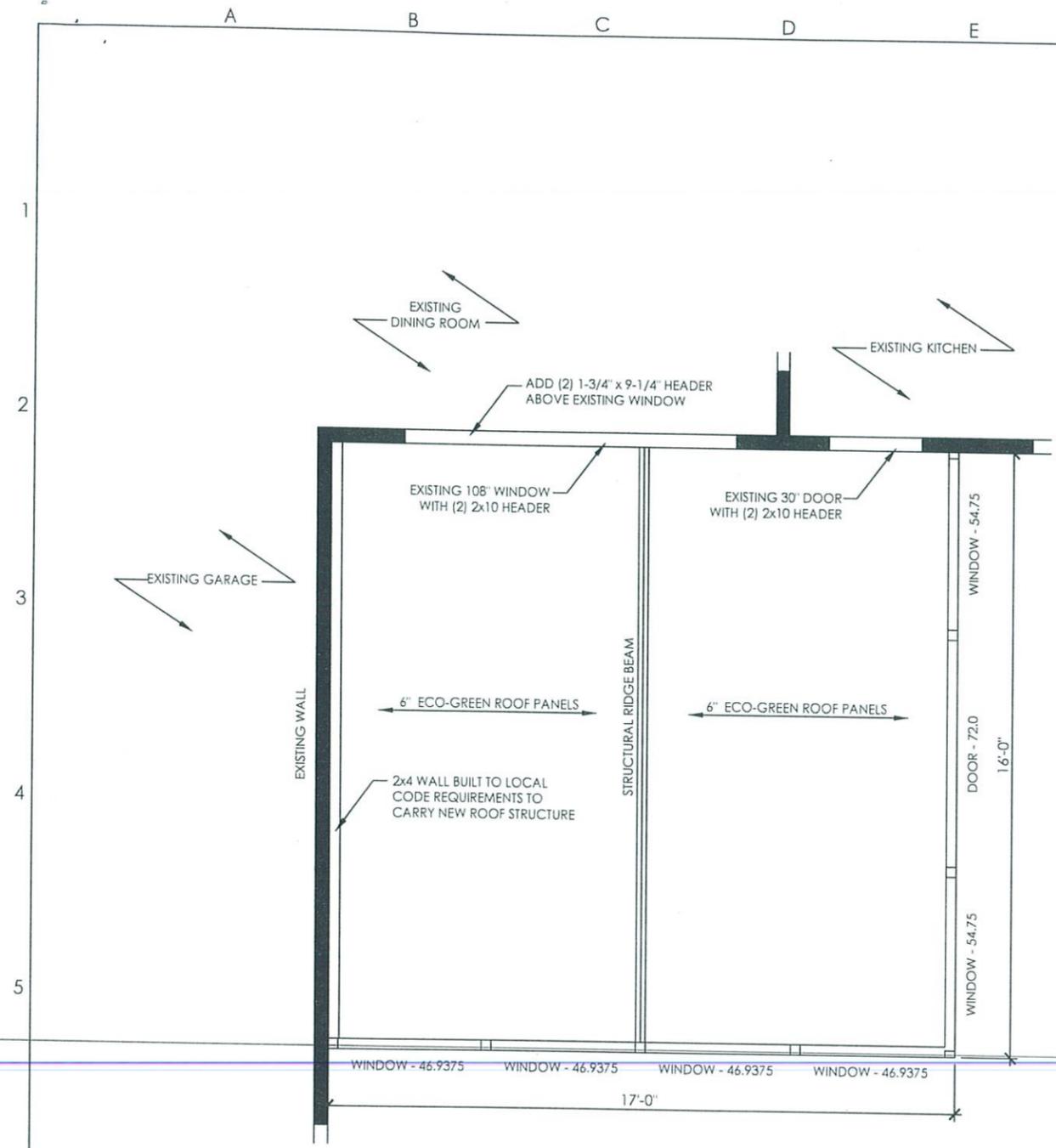
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job information:

STAUDT RESIDENCE
4 DOWNEY LANE
OLIVETTE, MO 63132



DATE: 3.18.16
REV:
DRAWN: TJL
CHECKED:
LIVINGSPACE NO: #4072
SHEET TITLE:
ELEVATIONS

SHEET
2



conn engineering consultants, inc.
commercial and institutional structural engineering
107 n. bridge st.
indianapolis, in 46204
p. 810.455.4350
f. 810.455.4392
www.connengineering.com

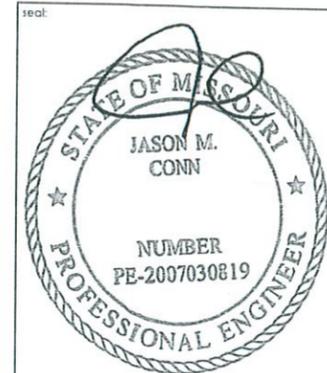


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job information:

STAUDT RESIDENCE
4 DOWNEY LANE
OLIVETTE, MO 63132



DATE:	3.18.16
REV:	
DRAWN:	TJL
CHECKED:	
LIVINGSPACE NO:	#4072
SHEET TITLE:	PLAN VIEWS

SHEET
1



City of Olivette Public Services
Department of Planning and Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: APRIL 21, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 4 DOWNEY LANE
PETITION FOR COMMUNITY DESIGN REVIEW

PETITIONER/ARCHITECT Dave Williams Chesterfield Fence & Deck	PROPERTY OWNER Ceci Staudt
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SUMMARY OF PETITION:

- Petition for a residential addition with the following improvements:
 - 272-square foot rear sunroom addition
- Zoning: Legal lot of recorded located in the SR Single Family Residential District. The proposed sunroom is subject to Community Design Review. The sunroom and site plan improvements are in compliance with the City's Zoning Regulations.
- Community Design Review: Staff finds the petition plans for the sunroom consistent with the design parameters found in the Olivette Residential Redevelopment and Design Guidelines.
- Stormwater Review: Staff notes the sunroom will be placed over an existing rear concrete pad.
- Should the Commission consider action on the petition, staff recommends Community Design Review approval as submitted subject to conditions noted herein this report.

ATTACHMENTS:

- Staff Report
- Petition Application

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review for a residential addition at 4 Downey Lane as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review.

STAFF REPORT: 4 DOWNEY LANE

Initial Submission

The petition application was submitted on April 4, 2016, for the April 21, 2016, Commission meeting. Additional information requested included an email to verify the material on April 21, 2016.

Zoning

The lot size is found compliant with Section 400.235 of Article IV "SR" Single-Family Residential District. The proposed home and site improvements are in compliance with the City's Zoning Regulations.

Community Design Review

The design of the addition incorporates significant window breaks with vinyl siding. In review of Section 425.050 Review Procedures, staff finds the petition plans for the addition consistent with the materials, elevation articulation and massing principles of the Guidelines.

Stormwater Review

The improvements will be placed over an existing concrete patio. The residential addition approved by the Commission on October 15, 2015, incorporated improvements to the off-street turnaround area to manage Stormwater patterns. Staff finds Stormwater management to be adequately addressed for the proposed improvements.

STAFF RECOMMENDATION

Staff recommends approval of the Community Design Review for the noted improvements at 4 Downey Lane subject to the following conditions:

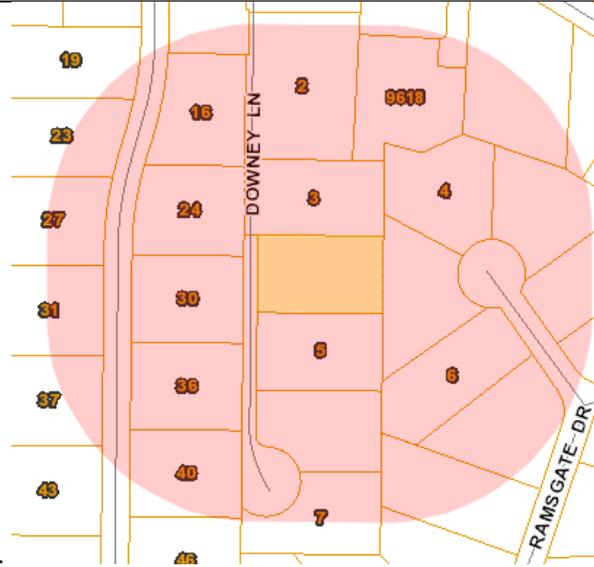
1. The plans submitted for Building Permit review and construction shall be in conformance with the design, details, and dimensions illustrated in the plans and elevations outlined in the petition application, appearing before the Commission on April 21, 2016, containing a Site Plan and architectural drawings prepared by Conn Engineering Consultants, Inc., dated March 18, 2016.
2. Staff be provided an opportunity to require additional grading changes to the site if necessary to control/limit stormwater runoff on the site and on to adjacent properties.

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review and Site Plan Review for a residential addition at 4 Downey Lane, as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review.

LOCATION MAP



PROPERTY AERIAL



\$100⁰⁰
\$185⁰⁰



CITY OF OLIVETTE

PETITION FOR COMMUNITY DESIGN REVIEW (RESIDENTIAL)

City of Olivette Public Services
Department of Planning &
Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252 (Office)
www.olivettemo.com

Carlos Trejo, AICP
Director

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: DAVE WILLIAMS
Company Name: Chesterfield Fence And Deck
Address: 620 Spirit East Drive City: Chesterfield Zip Code: 63005
E-mail Address: Dave.williams@chesterfieldfence.com Phone Number: (636) 532-4054

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction
- Major Residential Addition and/or exterior modification
- Accessory Structure
- Other (Site Plan Review) Addendum to apvd CDR

PROPERTY INFORMATION

Address of Property: 4 Downey Ln
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: Ceci Staudt
Mailing Address: 4 Downey Ln City: Olivette Zip Code: 63132
Phone Number: (314) 993-8808 E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Name of applicant

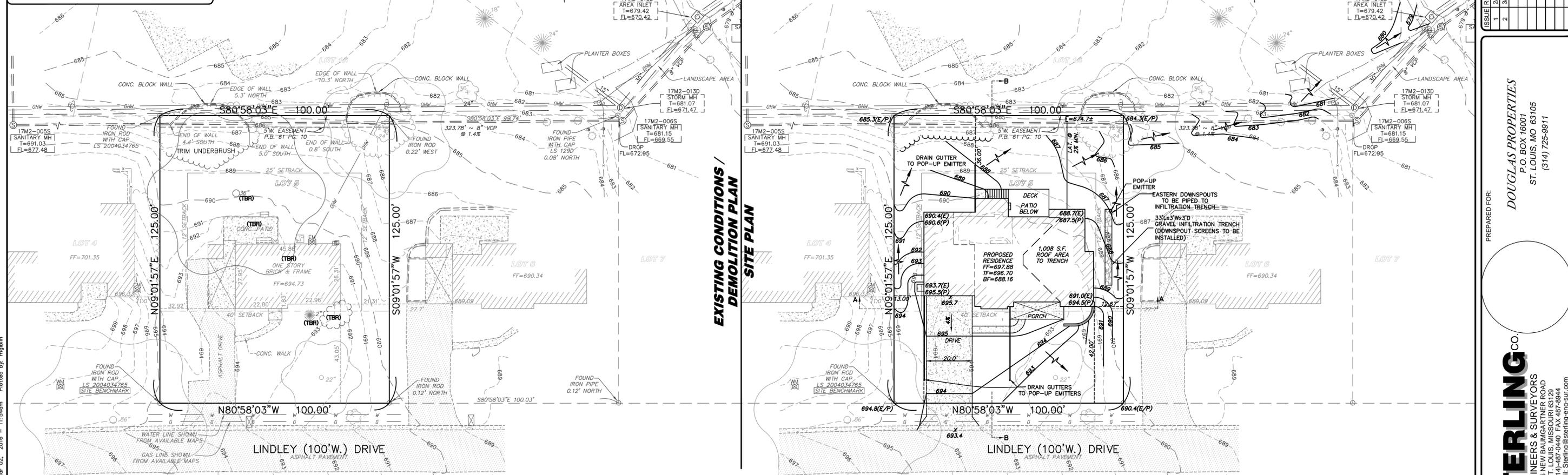
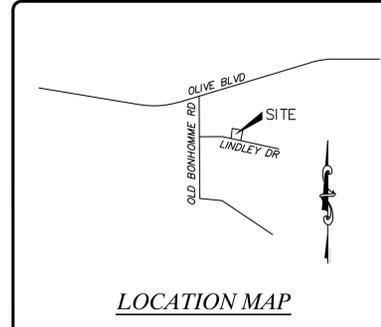
4-4-16
Date

**A TRACT OF LAND BEING LOT 5 IN BLOCK 5 OF OAK ESTATES (P.B. 61 PG. 10)
LOCATED IN SECTION 6, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI**

SITE INFO:
N/F WILLIAM D. REISSE JR
D.B. 9393 PG. 1651
LOC# 17M62-0183
#9761 LINDLEY DRIVE
12,500 SQ. FT. / 0.287 Ac.

ZONING INFO:
SR SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK=40' PER PLAT
SIDE YARD SETBACK=12% OF LOT WIDTH
REAR YARD SETBACK=20% OF LOT DEPTH
HEIGHT RESTRICTIONS=35'

LOCATION MAP



LOT COVERAGE

HOUSE = 2908 Sq. Ft.
2908 Sq. Ft. < 3125 Sq. Ft. MAX. COVERAGE

RESIDENTIAL HOUSE RATIO

1ST FLOOR = 2238 Sq. Ft.
2ND FLOOR = 1190 Sq. Ft.
TOTAL FLOOR = 3388 Sq. Ft.
TOTAL FLOOR / 12500 Sq. Ft. = 0.27 < 0.30 MAX. RATIO

EXISTING SITE COVERAGE

RESIDENCE / CARPORT = 1590 Sq. Ft.
PATIO = 279 Sq. Ft.
PORCH = 29 Sq. Ft.
DRIVEWAY = 882 Sq. Ft.
TOTAL = 2770 Sq. Ft.

PROPOSED SITE COVERAGE

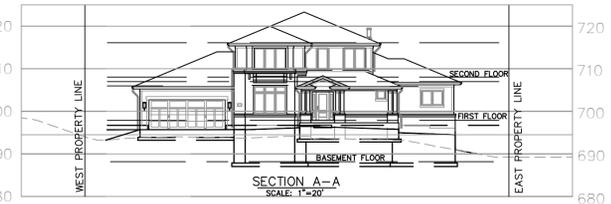
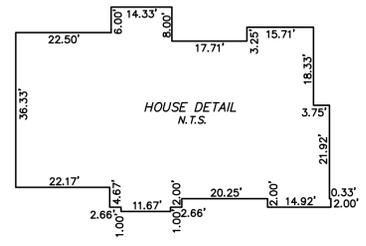
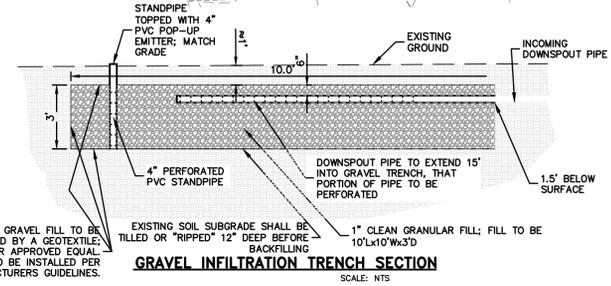
RESIDENCE (INCLUDING GARAGE) = 2908 Sq. Ft.
DRIVEWAY / SIDEWALKS / PORCH = 1175 Sq. Ft.
PATIO = 213 Sq. Ft.
TOTAL = 4296 Sq. Ft.

DIFFERENTIAL RUNOFF CALCULATIONS

Category	Area	Runoff
PREDEVELOPED IMPERVIOUS AREA	2,770 SF	0.064 Ac. X 3.54 = 0.227cfs
PERVIOUS AREA	9,730 SF	0.223 Ac. X 1.70 = 0.379cfs
TOTAL		0.606cfs
POSTDEVELOPED IMPERVIOUS AREA	4,296 SF	0.099 Ac. X 3.54 = 0.350cfs
PERVIOUS AREA	8,204 SF	0.188 Ac. X 1.70 = 0.320cfs
TOTAL		0.670cfs

CONCLUSION FOR PROPOSED DEVELOPMENT

DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)
DIFFERENTIAL RUNOFF - PROPOSED RUNOFF - EXISTING RUNOFF
= 0.670 CFS - 0.606 CFS
= 0.064 CFS (INCREASE IN IMPERVIOUS AREA)
VOLUME TO BE ATTENUATED FOR = 0.064 X 1800 = 115.2 C.F.
A 33' L x 3' W x 3' D GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE ATTENUATION. ASSUMING 40% VOIDS IN THE GRAVEL 118.8 C.F. OF VOLUME IS PROVIDED



SITE NOTES

- PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
- CONTRACTOR TO LOCATE THE EXISTING LATERAL PRIOR TO CONSTRUCTION TO VERIFY THE FLOW LINE WILL BE CONDUITE TO THE NEW RESIDENCE
- DOWNSPOUTS TO DISCHARGE AT SPLASH BLOCKS UNLESS NOTED OTHERWISE.

Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440

Notes:

- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
- All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
- Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
- Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
- This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
- Elevation Examples: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (10 CSR 30-2 AND 20 CSR 2030-16 EFFECTIVE DATE AUGUST 28, 2006).

THE STERLING COMPANY
MO. REG. L.S. 307-D

JAMEY A. HENSON, P.L.S.
MO. REG. L.S. #2007017963

SURVEYOR'S NOTES

- THIS TRACT CONTAINS 12,500 SQUARE FEET OR 0.287 ACRES, MORE OR LESS.
- BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "OAK ESTATES" SUBDIVISION AS RECORDED IN PLAT BOOK 61 PAGE 10 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- SOURCE OF RECORD TITLE: WILLIAM D. REISSE JR IS DESCRIBED AS THE OWNER AS RECORDED IN DEED BOOK 9393, PAGE 1651 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 (RSMO)) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

BENCHMARK:
ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 14526 ELEVATION 711.66 (NAVD 88)
CUT "L" ON THE NORTHEAST CORNER OF THE CONCRETE BASE FOR A TRAFFIC SIGNAL CONTROL BOX NEAR THE NORTHEAST CORNER OF CITY OF ST. LOUIS WATER WORKS PROPERTY ADDRESSED AS #9750 OLIVE BOULEVARD FOR STACY PARK RESERVOIR, AND LOCATED SOUTH OF THE WESTERN END OF THE RIGHT TURN LANE FROM EASTBOUND OLIVE BOULEVARD ONTO SOUTHBOUND OLD BONHOMME ROAD; ROUGHLY 45 FEET SOUTH OF THE CENTERLINE OF OLIVE BOULEVARD AND 65 FEET WEST OF THE CENTERLINE OF OLD BONHOMME ROAD.

SITE BENCHMARK:
IRON ROD WITH CAP: ELEVATION 694.78 (NAVD 88)
IRON ROD WITH CAP FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT BEING ON THE NORTH RIGHT OF WAY LINE OF LINDLEY DRIVE AS SHOWN HEREON.

ABBREVIATIONS:

CONC. - CONCRETE
N/F - NOW OR FORMERLY
P.B. - PLAT BOOK
D.B. - DEED BOOK
PG. - PAGE
SQ. FT. - SQUARE FEET
(R) - RECORD
(S) - SURVEY

LEGEND:

- TREE LINE
- FENCE LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- OVERHEAD WIRE
- UNDERGROUND SEWER LINE
- BUILDING
- UTILITY POLE
- UTILITY POLE W/ TRANSFORMER
- ELECTRIC METER
- WATER METER
- GAS METER
- CABLE TV BOX
- TELEPHONE BOX
- MAIL BOX
- A/C UNIT
- SANITARY MANHOLE
- TREE
- DENOTES SEMI-PERMANENT MONUMENT.
- FOUND IRON PIPE

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND UTILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

ISSUE REMARKS/DATE

1	2/16/16 ORIGINAL ISSUE
2	3/2/16 ADDITION OF OFF-SITE CONDITIONS

PREPARED FOR:
DOUGLAS PROPERTIES
P.O. BOX 16001
ST. LOUIS, MO 63105
(314) 725-9911

PREPARED BY:
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 NEW BAUMGARTNER ROAD
ST. LOUIS, MISSOURI 63129
E-Mail: Sterling@sterling-eng-survey.com

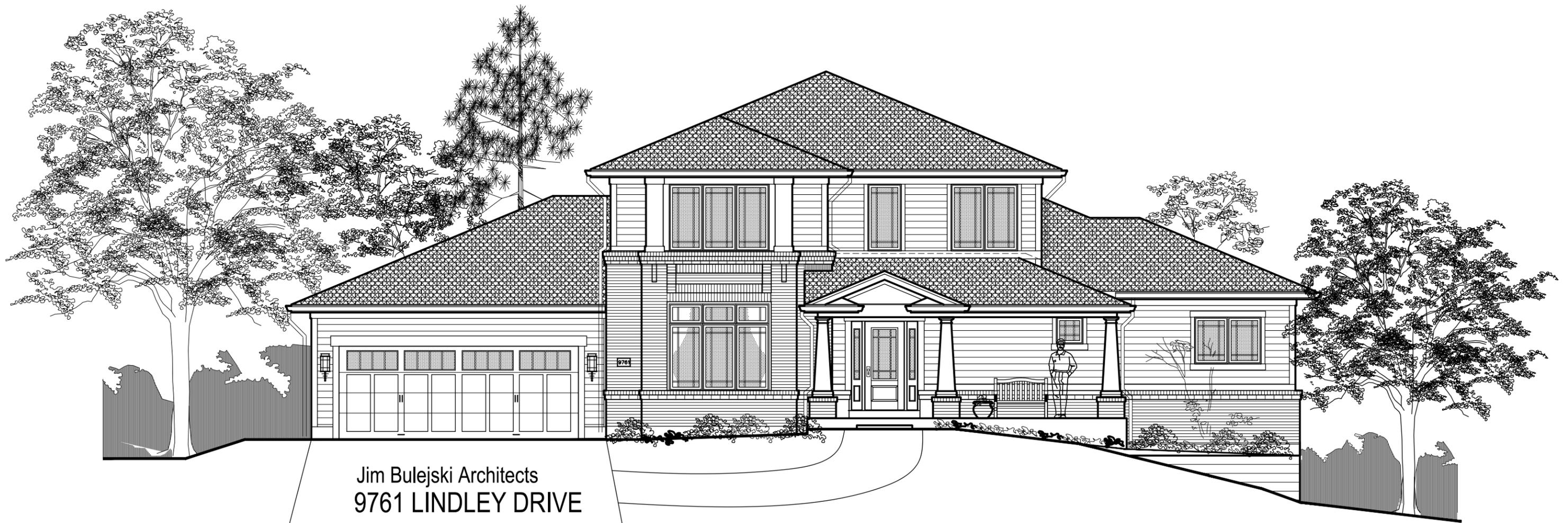
PROJECT: #9761 LINDLEY DRIVE

DRAWN: MTG
DESIGNED:
CHECKED: JAH

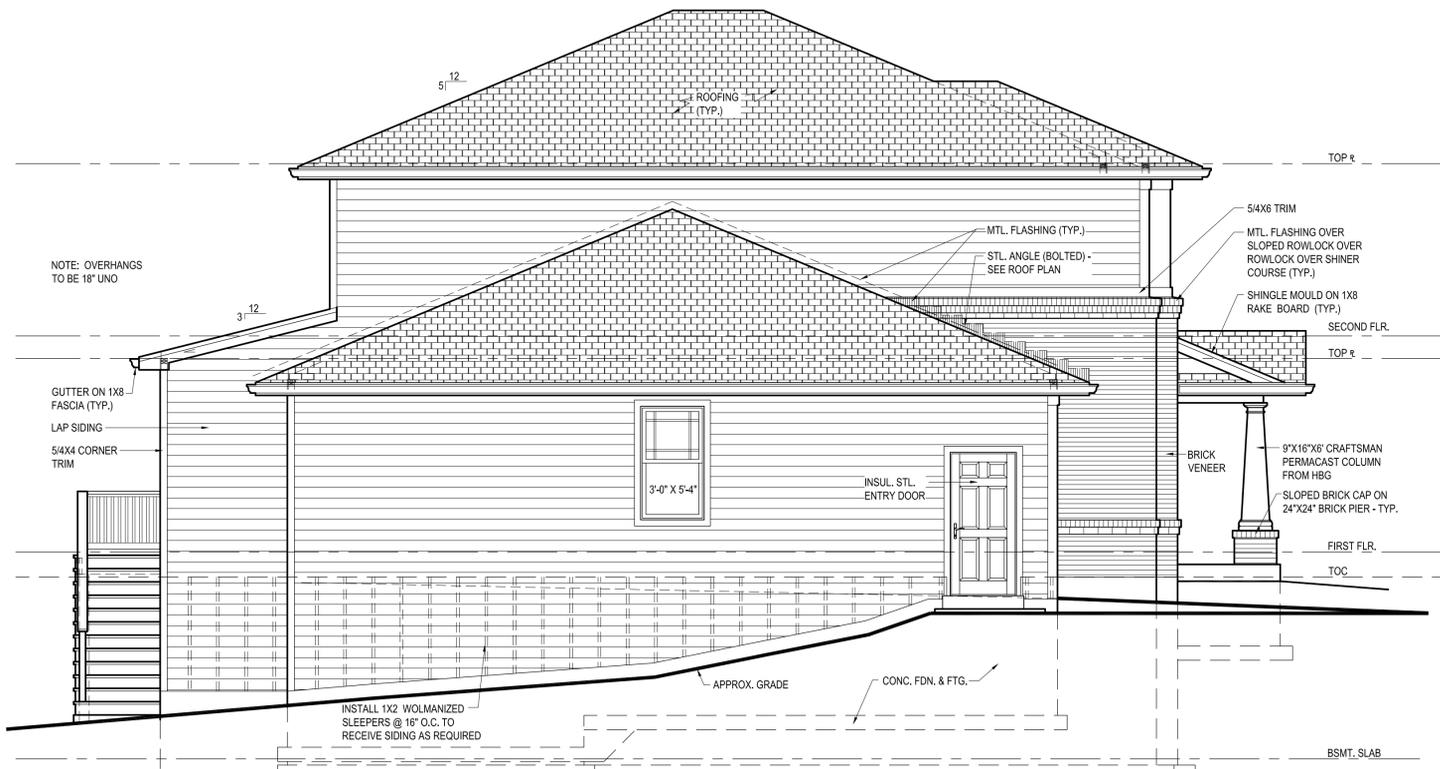
SHEET TITLE: SITE PLAN

NO.	16	01	006
M.S.D.	P#		SHEET
DIGITAL FILE LOCATION: SERVER=STERLING-2 ENTER DRAWING NAME.DWG	1		OF

Drawing name: V:\1601006 Oak Estates Block 5 Lot 5 Drawings\Surveying\Plot Plan\16-01-006 Site Plan.dwg Plotted on: Mar 02, 2016 - 11:54am Plotted by: mgblin



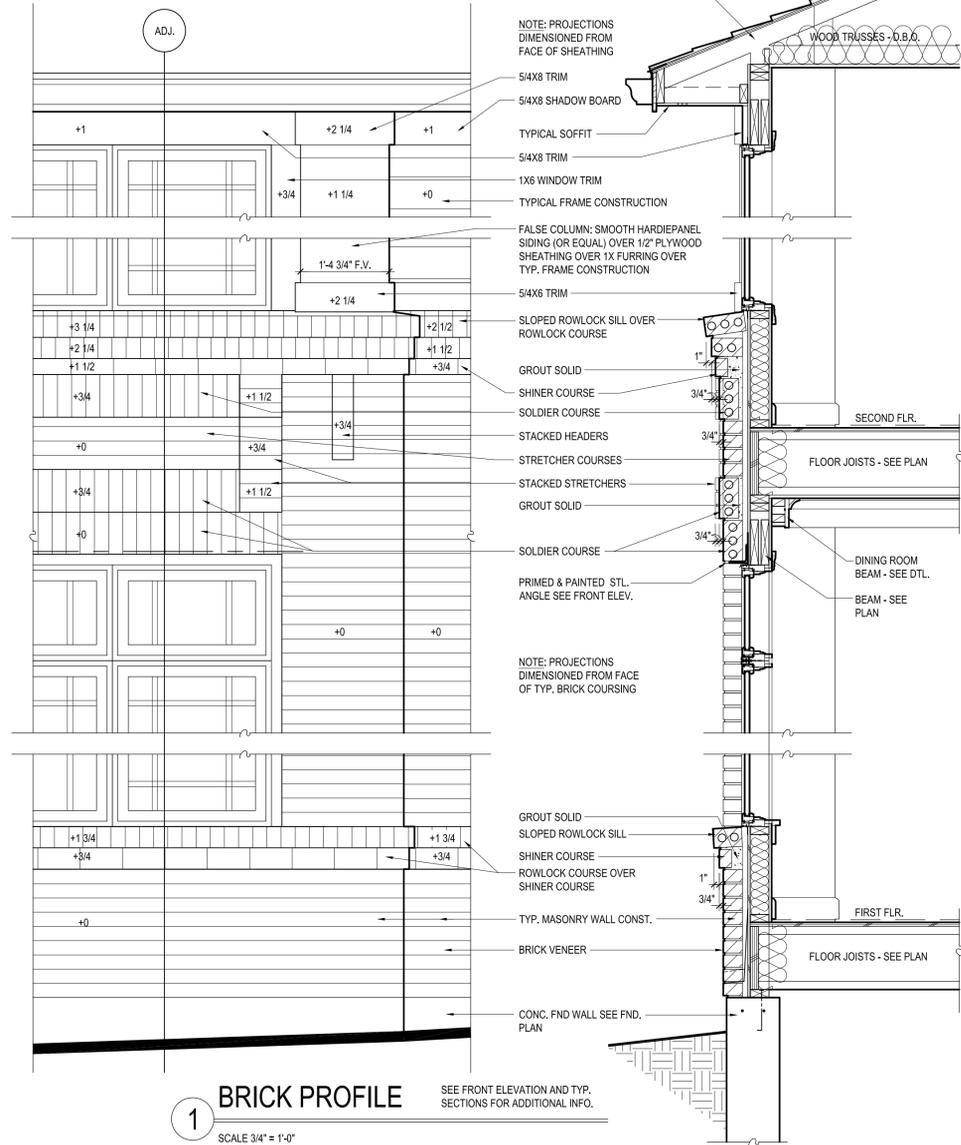
Jim Bulejski Architects
9761 LINDLEY DRIVE



LEFT SIDE ELEVATION

CONTRACTOR TO FIELD VERIFY DEPTH REQUIRED TO SET FOOTINGS. SEE FOUNDATION PLAN.
FOOTINGS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL AND SHALL BE MINIMUM 30" BELOW GRADE.

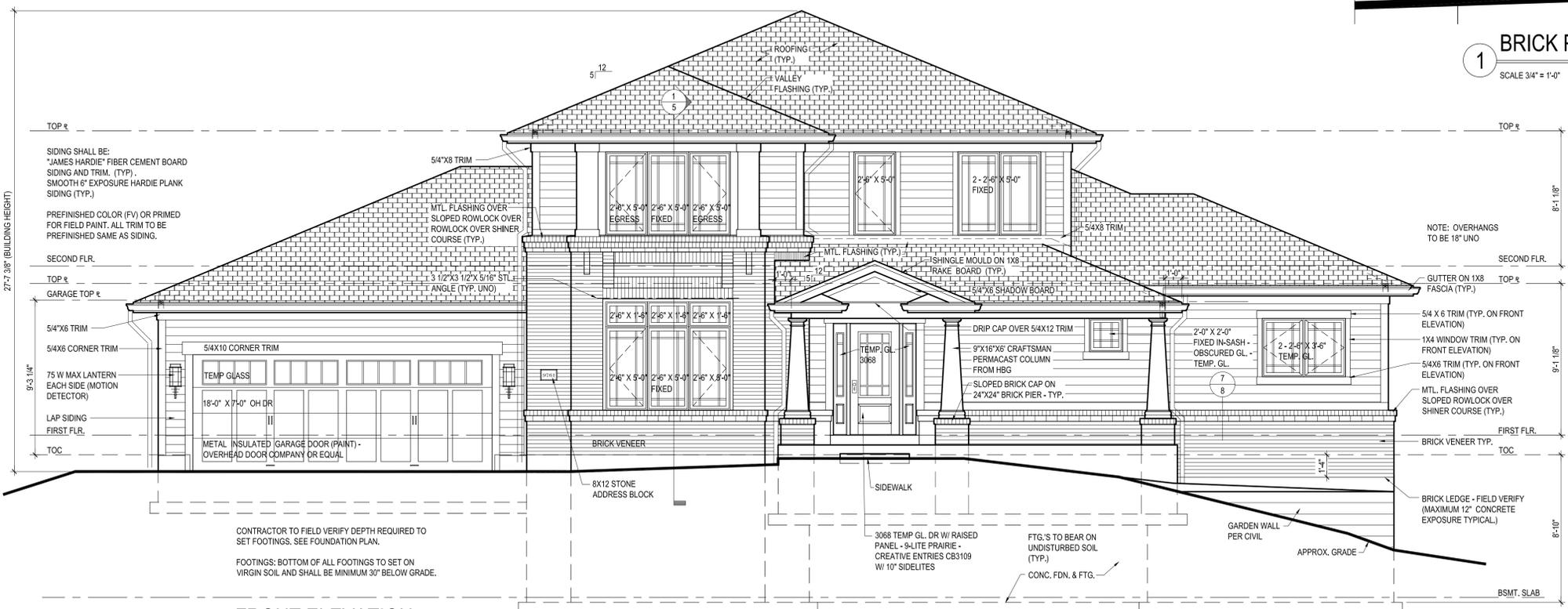
1/4" = 1'-0"



BRICK PROFILE

SCALE 3/4" = 1'-0"

SEE FRONT ELEVATION AND TYP. SECTIONS FOR ADDITIONAL INFO.



FRONT ELEVATION

1/4" = 1'-0"

ELEVATION DRAWING NOTES

- SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
- ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
- GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- WINDOW DESIGNATIONS ARE THOSE OF: JELD-WEN - VINYL DOUBLE HUNG & CASEMENT WINDOWS

- EGRESS WINDOW REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R310)
- 44" MAX SILL HT AFF AT BASEMENT WINDOWS
 - MIN. NET CLEAR OPENING OF 5.7 SF (5 SF ALLOWED AT GRADE FLOOR OPENINGS)
 - MIN. OPENING HEIGHT = 24" NET CLEAR
 - MIN. OPENING WIDTH = 20" NET CLEAR

CONTRACTOR SHALL SUBMIT MFR'S DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.

- WINDOW OPENING REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R612)
- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE

date: 2/16/16
SUBMITTAL: PGDC

JIM BULEJSKI ARCHITECTS
345 MARSHALL AVE. SUITE 100A ST. LOUIS, MO 63119
PHONE: 314-662-6700 • FACSIMILE: 314-662-6702
EMAIL: JIM@BARCHITECT.COM •

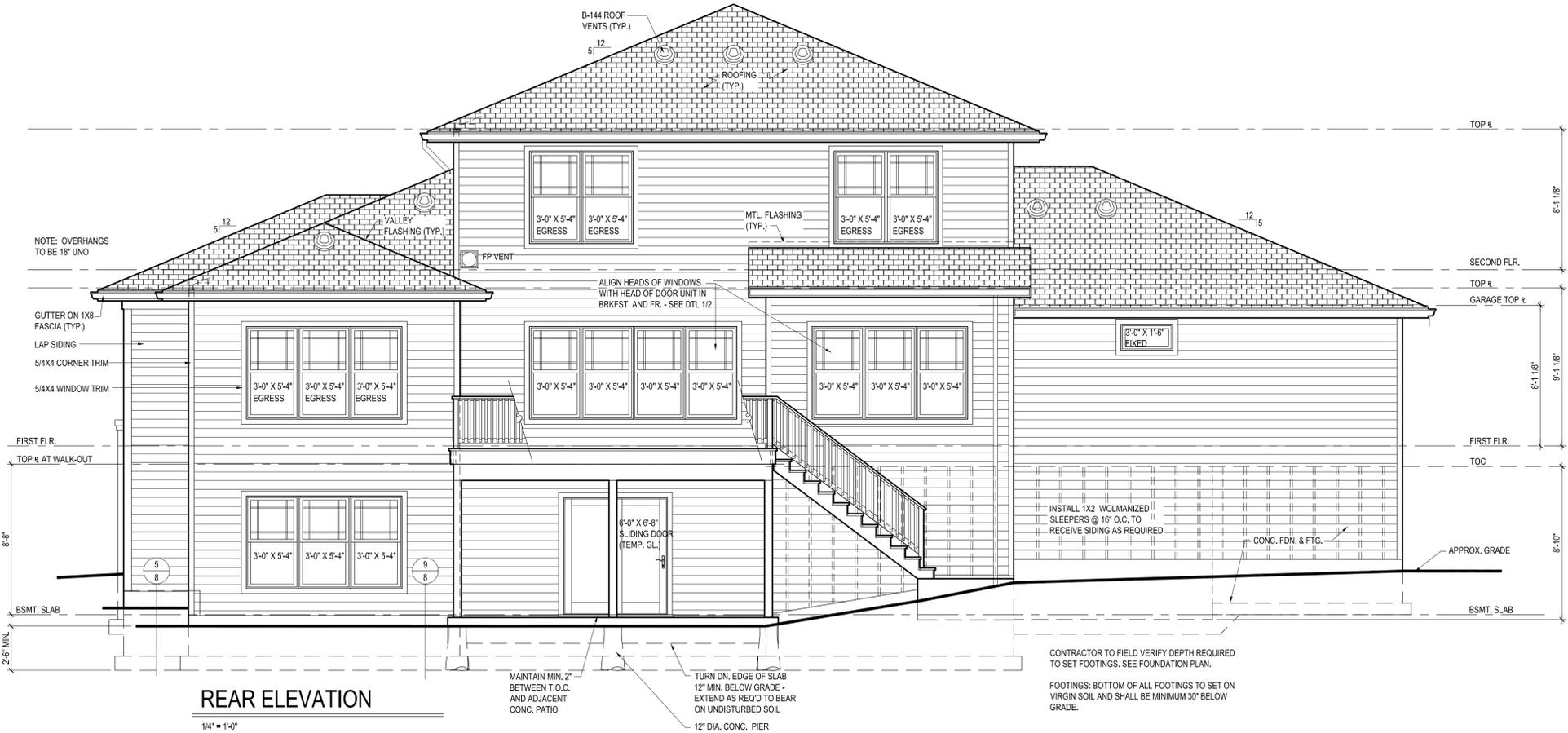
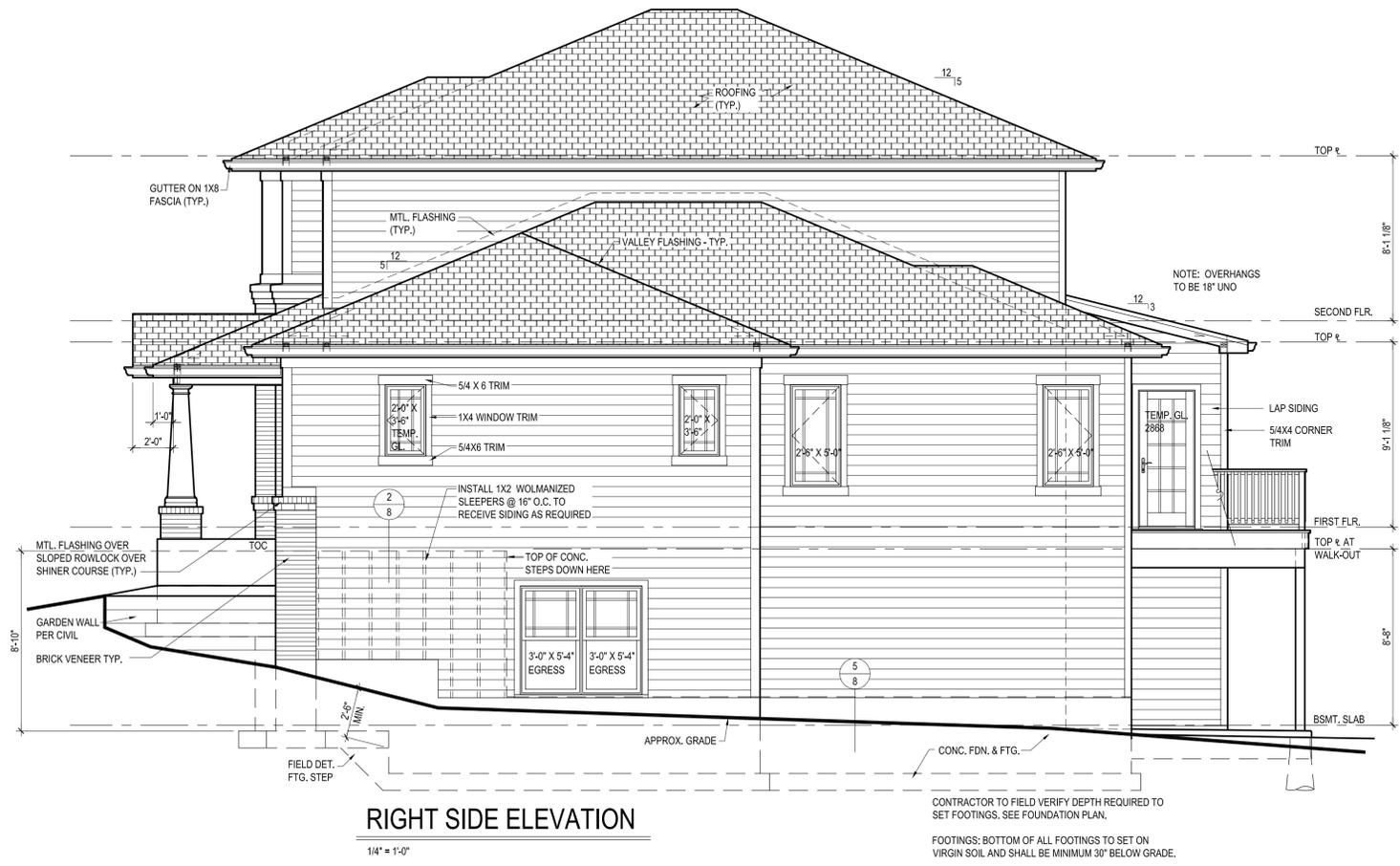
Douglas Properties

NEW RESIDENCE AT:
9761 Lindley Drive
Olivette, MO 63132

FRONT AND LEFT ELEVATIONS

sheet: **5** of 11

TRUSTEE REV: 3/7/16



ELEVATION DRAWING NOTES

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
 2. FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
 3. BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
 4. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
 5. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
 6. WINDOW DESIGNATIONS ARE THOSE OF: JELD-WEN - VINYL DOUBLE HUNG & CASEMENT WINDOWS
- EGRESS WINDOW REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R310)
- 44" MAX SILL HT AFF AT BASEMENT WINDOWS
 - MIN. NET CLEAR OPENING OF 5.7 SF (5 SF ALLOWED AT GRADE FLOOR OPENINGS)
 - MIN. OPENING HEIGHT = 24" NET CLEAR
 - MIN. OPENING WIDTH = 20" NET CLEAR
- CONTRACTOR SHALL SUBMIT MFR'S DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.
- WINDOW OPENING REQUIREMENTS:
(COMPLY WITH IRC 2009 SECTION R612)
- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE

date: 2/16/16
PCDC SUBMITTAL:

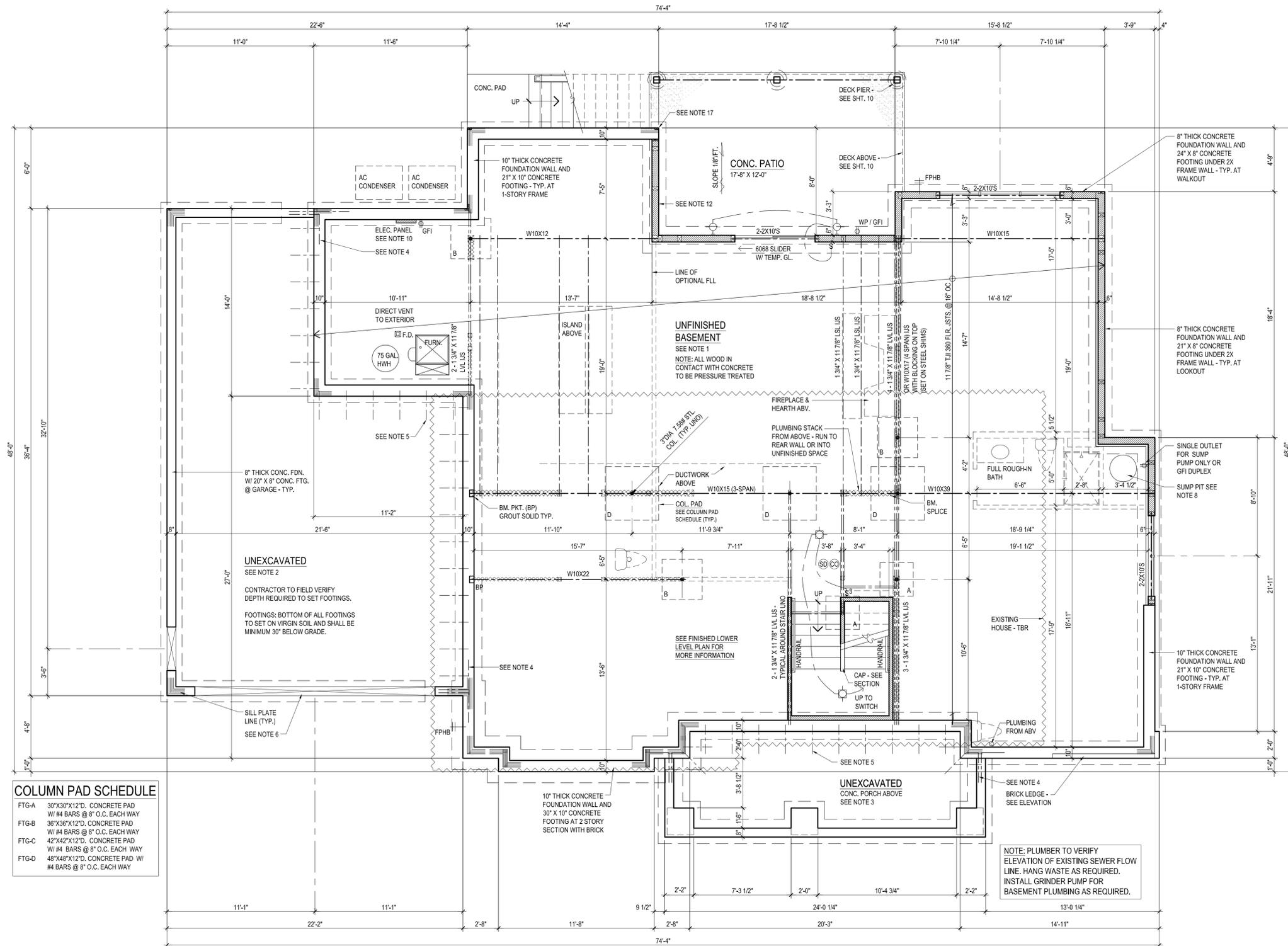
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Douglas Properties

NEW RESIDENCE AT:
9761 Lindley Drive
Olivette, MO 63132

REAR AND RIGHT ELEVATIONS

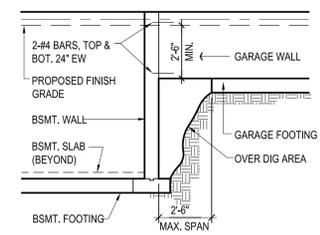
sheet: **6** of 11



COLUMN PAD SCHEDULE

FTG-A	30"x30"x12" D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-B	36"x36"x12" D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-C	42"x42"x12" D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-D	48"x48"x12" D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY

ELECTRIC FOUNDATION PLAN
1/4" = 1'-0"



GARAGE FTG. IN RELATION TO BASEMENT FOOTING

FOUNDATION DRAWING NOTES

- BASEMENT SLAB: 3-1/2" CONCRETE SLAB OVER 6 MIL. VB. (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO FLOOR DRAIN).
- GARAGE SLAB: 4" CONCRETE SLAB WITH FIBERMESH REINFORCING OVER 6 MIL. VB. (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO GARAGE DOOR MINIMUM 4" UNO.)
- EXTERIOR PORCH SLABS: 4" CONCRETE SLAB WITH 6"x6" W1.4XW1.4 WWF OVER MIN. 4" GRAVEL OR CRUSHED STONE. SLOPE AWAY FROM FOUNDATION WITH EDGES TURNED DOWN BELOW GRADE MINIMUM 1/2" OR TO TOP OF FOUNDATION WALL.
- (2) #4 BARS TOP, MIDDLE AND BOTTOM, 24" EW. TYPICAL AT ALL INTERSECTING WALLS.
- #4 BARS @ 24" O.C. DOVEL INTO FOUNDATION WALL AND BEND 24" INTO CONCRETE SLAB. TYPICAL AT EXTERIOR PORCH SLABS AND GARAGE SLAB (ADJACENT TO BASEMENT FOUNDATION WALL).
- HOLD DOWN TOP OF FOUNDATION WALL @ DOOR TO RECEIVE CONCRETE SLAB.
- FOOTINGS & PIERS: BOTTOM OF FOOTINGS TO BE MINIMUM 30" BELOW GRADE. PIERS TO EXTEND MIN. 24" INTO SOLID, UNDISTURBED SOIL AND MIN. 30" BELOW GRADE.
- DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (MIN. 24" IN DIAMETER OR 20 INCHES SQUARE AND SHALL EXTEND MIN. 24 INCHES BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP SHALL HAVE A FITTED COVER.) PROVIDE PUMP IF DRAINAGE SYSTEM IS CONNECTED TO SUMP PIT. DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
- CLASS "B" UL APPROVED HVAC FLUE (SIZED BY HVAC CONTRACTOR) @ GAS FURNACE AND HWH. PROVIDE MINIMUM 2" CLEARANCE.
- ELECTRICAL PANEL: (200 AMP. MINIMUM / 600 AMP. MAXIMUM) TO BE SIZED AND LOCATED BY ELECTRICAL CONTRACTOR.
- STEEL COLUMNS SHALL BE SCHEDULE-40 SIZED PER PLAN. ALL COLUMNS SHALL HAVE A CAP AND BASE. ADJUSTABLE COLUMNS PERMITTED UNLESS NOTED TO BE FIXED.
- FRAME WALL WALKOUT AT BASEMENT: MAINTAIN CONTINUITY OF ALL POSTS FROM ABOVE CONTINUOUSLY TO CONCRETE FOUNDATION BELOW. COORDINATE OTHER SPECIAL CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
- MINIMUM OF (2)#5 REINFORCING BARS SHALL BE PROVIDED AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
- CONTRACTOR SHALL NOT BACKFILL UNTIL CONCRETE FOUNDATION HAS CURED FOR A MINIMUM OF 7 DAYS.
- UNFINISHED BASEMENTS SHALL BE INSULATED TO MIN. R-5. SEE GENERAL NOTES.
- I-JOIST FLOOR SYSTEM DESIGNATIONS ARE THOSE OF: J/I TRUSS JOIST. COMPLY WITH MANUFACTURERS DETAILS INCLUDING BUT NOT LIMITED TO BEARING, BLOCKING, RIM BOARDS, BRACING AND METAL HANGERS ETC. INCLUDING BLOCKING BETWEEN JOIST AT BEARING WALLS OVER STEEL BEAMS PER MANUFACTURE.
- CONCRETE CONTRACTOR TO INCLUDE P.T. NAILER WHERE REQUIRED FOR SIDING - SEE ELEVATIONS.

MECHANICAL: GAS APPLIANCES LOCATED IN SPACES WHERE THE VOLUME IS LESS THAN 50 CUBIC FEET PER 1,000 BTU/HR. INPUT RATING. SHALL HAVE COMBUSTION AIR PROVIDED. MECHANICAL CONTRACTOR SHALL CALCULATE, SPECIFY AND COORDINATE WITH GC ALL ADDITIONAL COMBUSTION AIR AS REQUIRED BY THE MECHANICAL CODE AND LOCAL JURISDICTIONS. LOUVERED DOORS SHALL BE PERMITTED BY THE ARCHITECT IF CALLED OUT ON THE PLANS. VERIFY WITH OWNER. IF ADDITIONAL COMBUSTION AIR IS REQUIRED MC SHALL PROVIDE THE FOLLOWING:
 USING INSIDE AIR: PROVIDE 1 SQ. IN. PER 1000BTU/HR. IN HIGH AND LOW OPENINGS. MIN. OPENING SIZE 100 SQ. IN.
 USING OUTSIDE AIR: PROVIDE 1 SQ. IN. PER 4,000 BTU/HR. (1 SQ. IN. PER 2,000 BTU/HR. IF DUCTED HORIZONTAL OPENING)

HIGH CEILINGS ARE IMPORTANT TO THE OWNER. COORDINATE DUCTWORK ARRANGEMENTS WITH OWNER BEFORE INSTALLING. RUN DW DIRECTLY BELOW STEEL BEAM AND DO NOT DROP DOWN LOWER THAN THIS POINT.

VENTILATION: UNFINISHED BASEMENTS AND UTILITY ROOMS REQUIRE VENTILATION IN THE AMOUNT OF .05 CFM/SQ.FT. OF AREA. NATURAL VENTILATION (NET OPERABLE AREA) MAY BE SUBSTITUTED AT THE RATIO OF 1% OF THE FLOOR AREA SERVED.

PLUMBING CONTRACTOR TO LOCATE PLUMBING PIPING AND PLUMBING STACKS TO AVOID CONFLICT WITH FINISH BASEMENT PLAN AND TO AVOID CONFLICT WITH FUTURE FINISH WORK THAT MAY OCCUR IN UNFINISHED BASEMENT AREAS. REVIEW LOCATION OF PLUMBING STACKS W/ OWNER

LIST OF SHEETS

- FOUNDATION PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN & STAIR SECTION
- ROOF PLAN
- FRONT AND LEFT ELEVATION
- REAR AND RIGHT SIDE ELEVATION
- ELECTRIC PLANS
- SECTIONS & DETAILS
- WALL BRACING & DETAILS
- OPTIONAL FLL
- GENERAL NOTES

LEGEND

	WALL FILL / BRICK
	BRG. WALL
	BRG. FROM ABV.
	WALL BRACING
	POST & HEADER
	GIRDER TRUSS
	MTL. HANGER
	POST

BUILDING CODE INFORMATION:

OLIVETTE, MISSOURI
 BUILDING: 2006 INTERNATIONAL RESIDENTIAL CODE
 PLUMBING: 2009 UNIFORM PLUMBING CODE
 MECHANICAL: 2009 INTERNATIONAL MECHANICAL CODE
 ELECTRICAL: 2008 NATIONAL ELECTRIC CODE



Jim Bulejski Architects
9761 LINDLEY DRIVE

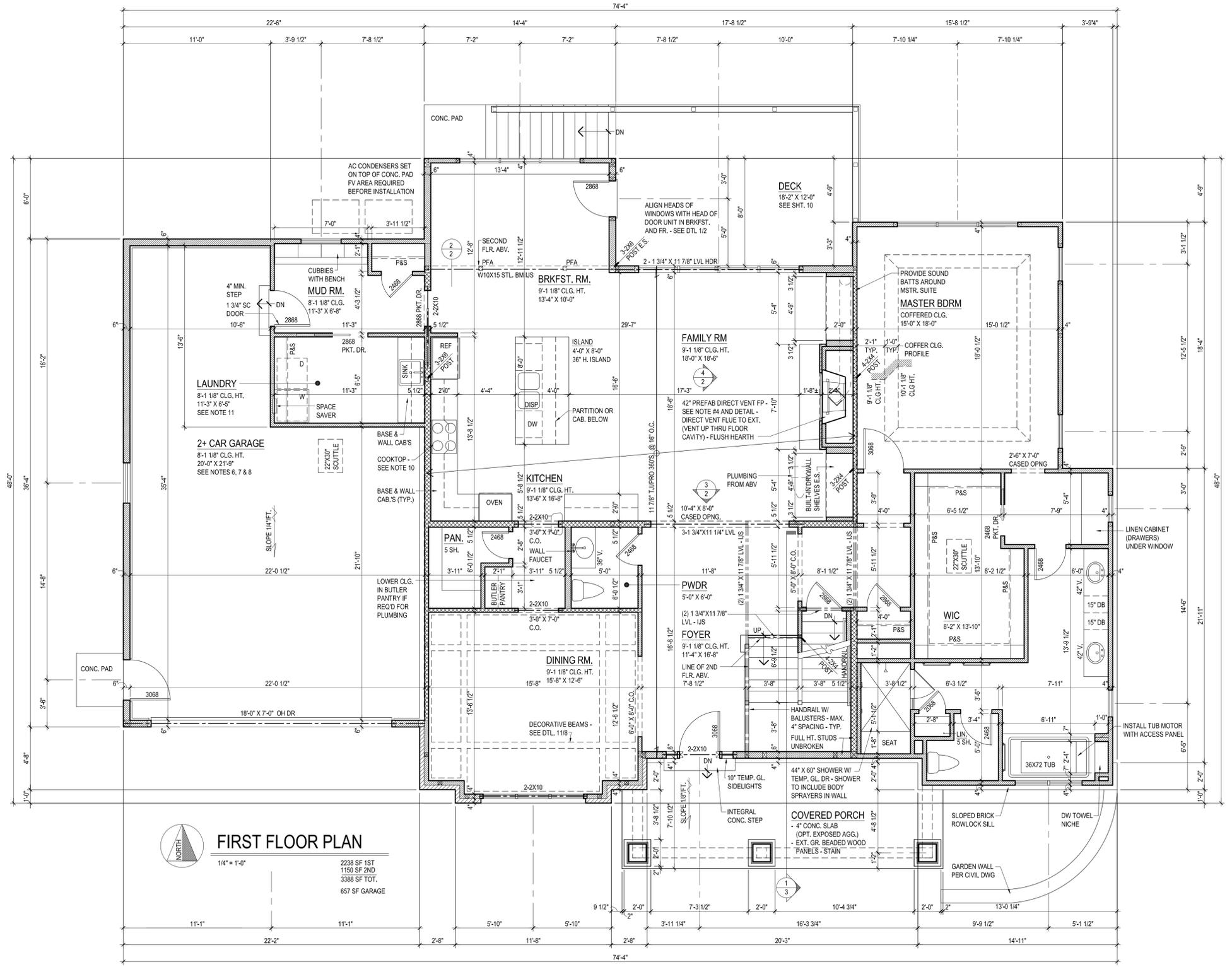
date: 2/16/16
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Douglas Properties

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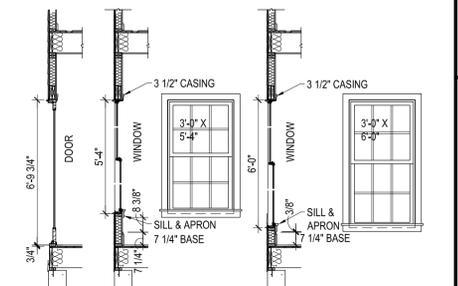
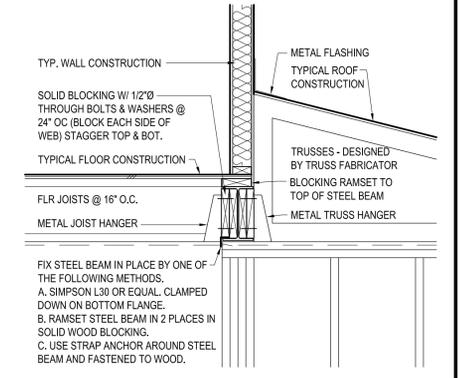
FOUNDATION PLAN

sheet: 1 of 11

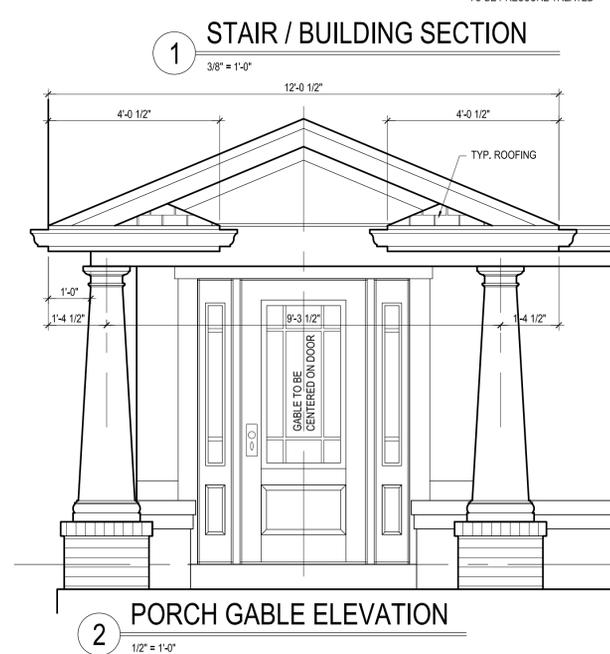
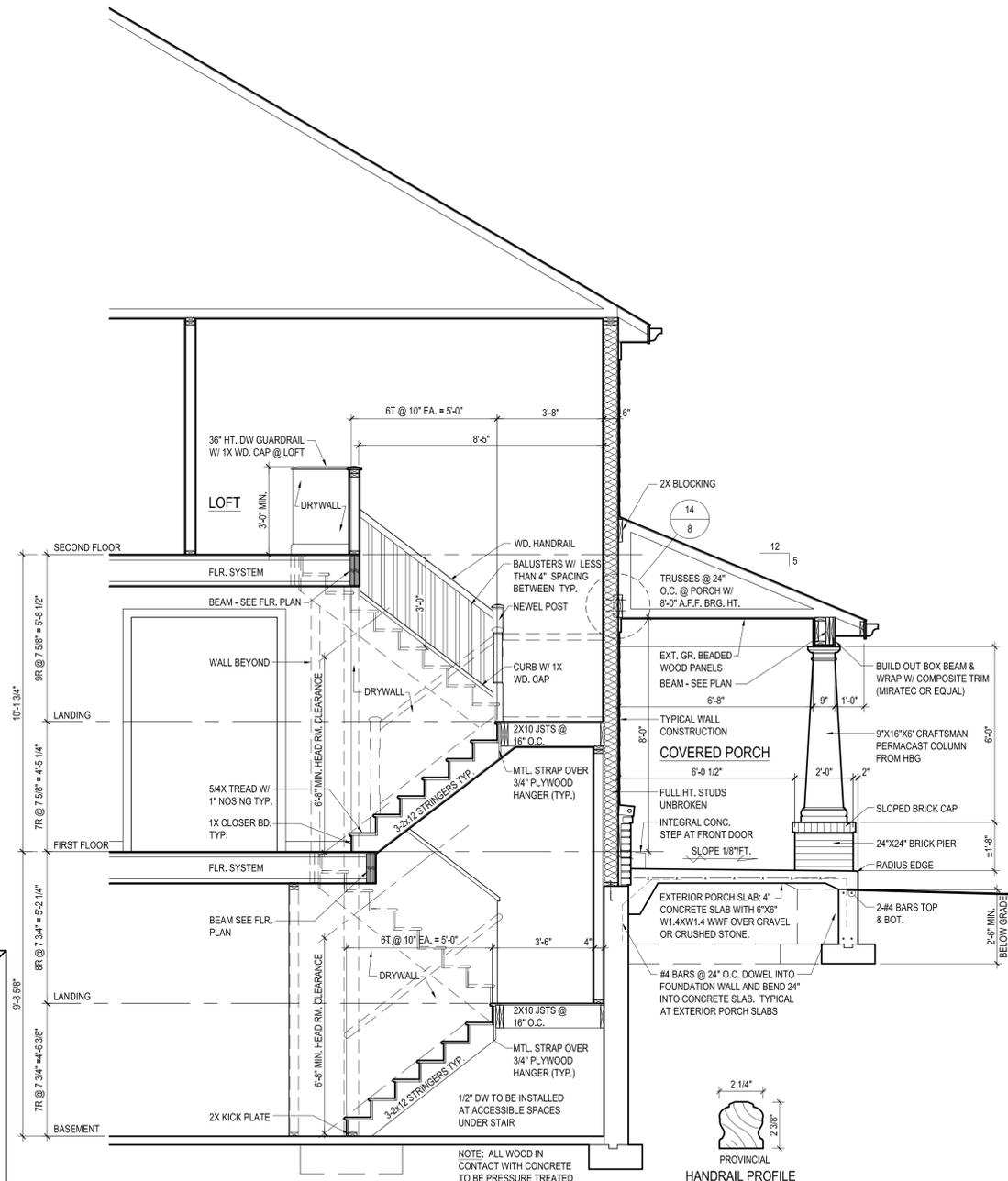
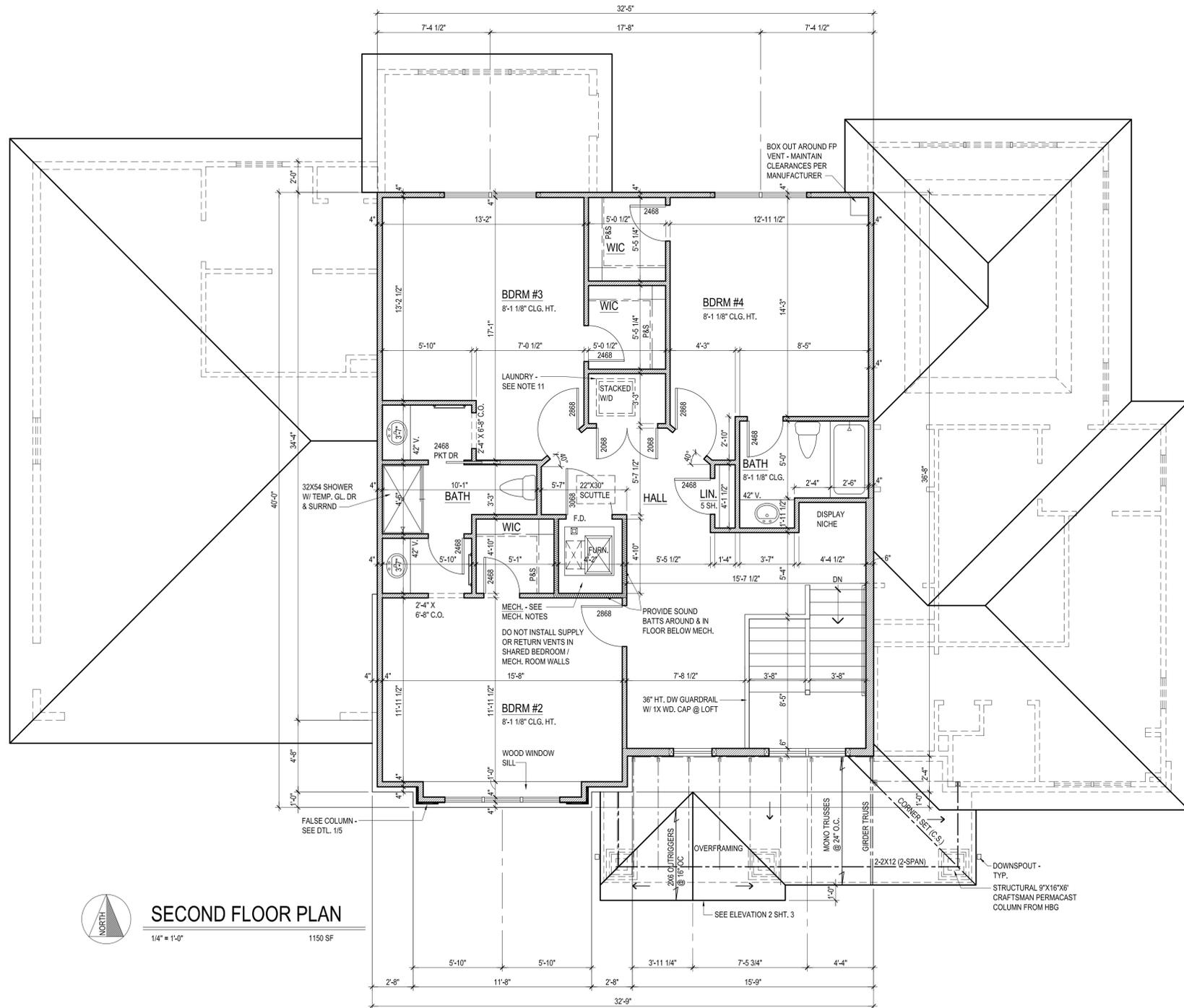


4 ELEV. @ FAMILY ROOM
1/4" = 1'-0"

3 ELEV. @ OPENING TO FOYER
1/4" = 1'-0"



- FLOOR PLAN DRAWING NOTES**
- ALL INTERIOR WALLS TO BE 3 1/2" (2X STUDS), UNLESS NOTED OTHERWISE (UNO).
 - POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
 - MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAILED.
 - PREFAB DIRECT VENT GAS FIREPLACE: MODEL: CALIBER DIRECT VENT CD482 MANUF.: HEATLATOR OR APPROVED EQUAL.
 - PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
 - GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
 - GARAGE-ATTACHED: 1/2" DRYWALL ON GARAGE SIDE OF WALL UP TO 5/8" DRYWALL CEILING.
 - DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
 - SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
 - COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
 - LAUNDRY: WASHER TO BE PLACED IN A FLOOD SAVER W/ DRAIN. PROVIDE IN-WALL WASHER OUTLET BOX. DRYER TO VENT TO EXTERIOR.
 - INTERIOR DOOR TRIM: 4 1/4" CASING WITH 4 3/4" PLINTHS. PROVIDE MIN. 5 1/2" (7" PREFERRED) FROM PERPENDICULAR FRAME WALL TO FINISH DOOR OPENING. TYP. UNO



- FLOOR PLAN DRAWING NOTES**
- ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
 - POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
 - MINIMUM HEADER SIZE: 2-2X10S GLUED AND NAILED.
 - PREFAB DIRECT VENT GAS FIREPLACE: MODEL: CALIBER DIRECT VENT CD4842 MANUF.: HEATILATOR OR APPROVED EQUAL.
 - PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
 - GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
 - GARAGE-ATTACHED: 1/2" DRYWALL ON GARAGE SIDE OF WALL UP TO 5/8" DRYWALL CEILING.
 - DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
 - SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
 - COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
 - LAUNDRY: WASHER TO BE PLACED IN A FLOOD SAVER W/ DRAIN. PROVIDE IN-WALL WASHER OUTLET BOX. DRYER TO VENT TO EXTERIOR.
 - INTERIOR DOOR TRIM: 4 1/4" CASING WITH 4 3/4" PLINTHS. PROVIDE MIN. 5 1/2" (7" PREFERRED) FROM PERPENDICULAR FRAME WALL TO FINISH DOOR OPENING. TYP. UNO.
- MECH. NOTES**
- SECOND FLR. FURNACE SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATTS AROUND & IN FLOOR BELOW FURN. ROOM. INSTALL 1/2" HOMESITE SOUND BRD. UNDER DW AND WEATHER STRIP DR FOR SOUND CONTROL. MECH. CONTRACTOR TO SUPPLY COMBUSTION AIR, (NO LOUVER)
- ENERGY CONSERVATION REQUIRED WITH COMBUSTION / VENTILATION OUTSIDE AIR:
- SOLID, SELF-CLOSING WEATHERSTRIPPED DOOR
 - R-13 INSULATION AT INTERIOR WALLS
 - R-19 INSULATION AT FLOOR/CEILING
 - WRAPPED, INSULATED DUCTS
 - STOPPED WALL PENETRATIONS

date: 2/16/16
PCDC SUBMITTAL:

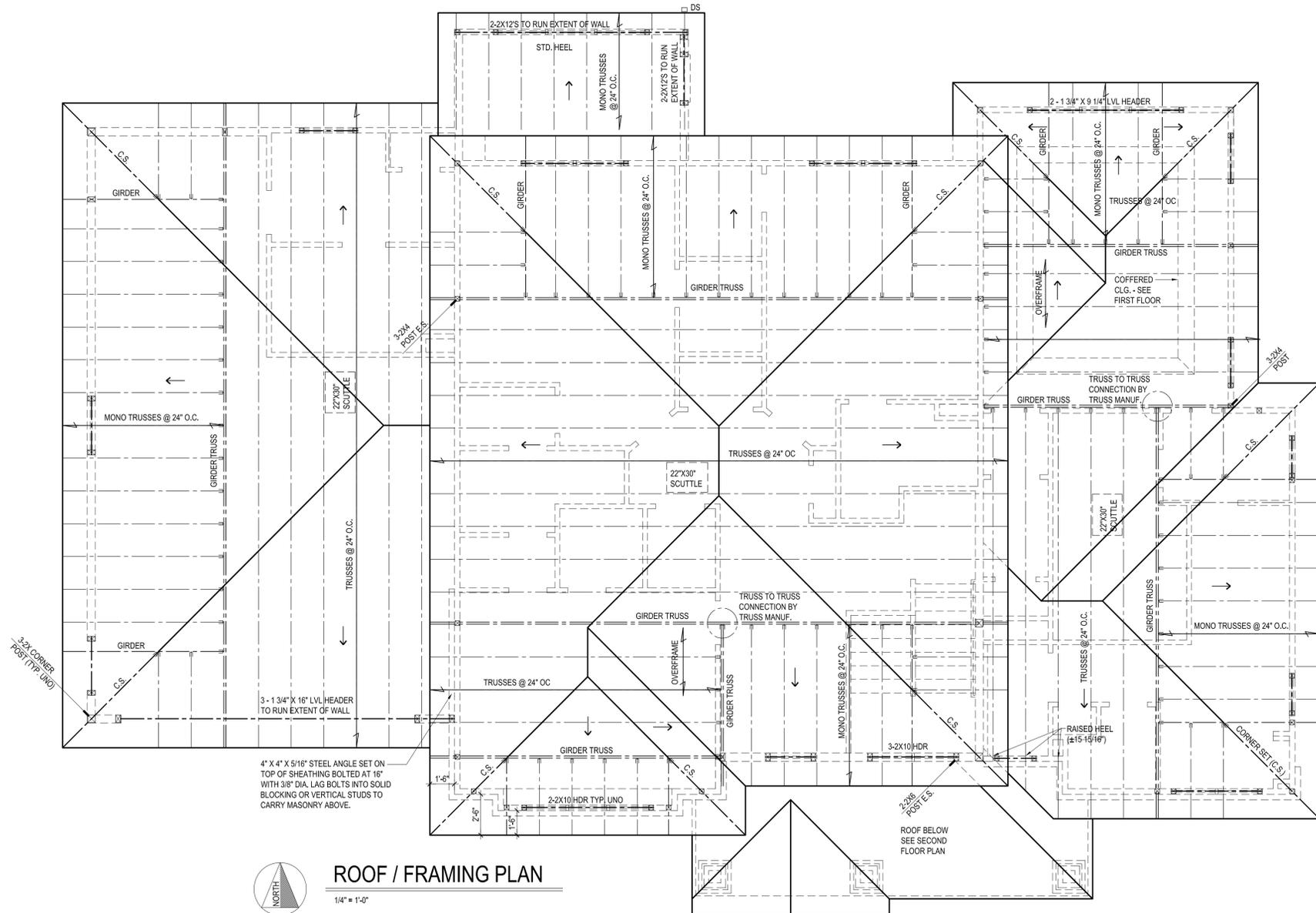
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Douglas Properties

NEW RESIDENCE AT:
9761 Lindley Drive
Olivette, MO 63132

SECOND FLOOR PLAN

sheet: 3 of 11



4" X 4" X 5/16" STEEL ANGLE SET ON TOP OF SHEATHING BOLTED AT 18" WITH 3/8" DIA. LAG BOLTS INTO SOLID BLOCKING OR VERTICAL STUDS TO CARRY MASONRY ABOVE.



ROOF / FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING NOTES

1. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS. GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAIL ALL MULTIPLE BEAM MEMBERS.
EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
2. SEE FIRST AND SECOND FLOOR PLANS FOR INTERIOR CEILING CONDITIONS.
3. TRUSS LAYOUT SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE MANUFACTURERS SHOP DRAWINGS FOR ACTUAL LAYOUT. ALL TRUSS HANGERS PER TRUSS MANUFACTURER.
4. TRUSSES TO HAVE 6" HEEL HEIGHT UNLESS NOTED OTHERWISE.

<p>sheet: 4</p>	<p>ROOF / FRAMING PLAN</p>	<p>NEW RESIDENCE AT: 9761 Lindley Drive Olivette, MO 63132</p>
<p>Douglas Properties</p>		
<p>JIM BULEJSKI ARCHITECTS 345 MARSHALL AVE. SUITE 100 • ST. LOUIS, MO 63119 PHONE: 314-662-8700 • FACSIMILE: 314-662-6702 EMAIL: JIM@JBARCHITECT.COM</p>		
<p>date: PGDC SUBMITTAL: 2/16/16</p>		



City of Olivette Public Services
 Department of Planning and Community Development
 1200 North Price Road
 Olivette, MO 63132
 (314) 993-0252 (Office)
 (314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: APRIL 21, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
 DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 9761 LINDLEY DRIVE
 PETITION FOR COMMUNITY DESIGN REVIEW & SITE PLAN REVIEW

PETITIONER: Doug Cohen Douglas Properties	ENGINEER: The Sterling Company	ARCHITECT: Jim Bulejski Architects
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SUMMARY OF PETITION:

1. Introduced at the April 7, 2016, Commission meeting. Commission deferred action on the Item due to outstanding Stormwater management issues.
2. The following actions have been taken since April 7th Commission meeting:
 - Staff reviewed City's Stormwater Consultant recommendations, April 21, 2016.
 - Staff met with City's Stormwater Consultant, April 13, 2016.
3. Zoning: The lot is a legal nonconforming property in the SR Single Family Residential District. The construction of a new home is subject to both Site Plan Review and Community Design Review. The proposed site improvements appear to comply with the dimensional and bulk regulations of the SR zoning district.
4. Site Plan Review: The site plan review procedure is intended to ensure the adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities. This includes reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself. Staff has concerns regarding stormwater.
5. Community Design Review: The proposed home includes a front entry garage, but efforts have been made to mitigate the appearance on the front building elevation. As noted above, staff is concerned about stormwater.
6. Staff asks the Commission to consider an underground detention system to address Stormwater concerns, an easement, and additional inspections provided by a private firm, paid for by the developer, for the implementation of the Stormwater unit.
7. Should the Commission consider action on the petition, staff recommends the motion contain the four (4) traditional recommended conditions outlined within this report **AND** the condition noted regarding underground detention area and additional inspections at cost to the developer as outlined within this report.

ATTACHMENTS:

- Staff Report.
- Petition Application.

SUGGESTED MOTION: Commission has 46 days to consider action on the request (June 6, 2016). The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review and Site Plan Review for a New Single Family Home at 9761 Lindley Drive, as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

STAFF REPORT: 9761 LINDLEY DRIVE

Updates

Staff met with the City's Stormwater consultant on Thursday, April 21, 2016, and Wednesday, April 13, 2016. The status of a final site plan with Stormwater management considerations is pending.

The City's consultant recommended a one lot solution that would allow for an underground storage area to capture sheet flow directed at the rear of the lot and significant portions of runoff generated on the roof. Implementation of systems with underground detention require additional inspections. As many of the inspections for Stormwater units were inspected by staff, there are a few items that would be handled more effectively by a Stormwater consultant. The following are examples steps necessary in implementation of a Stormwater system:

- Test percolation of the soil conditions to note the efficiency of ground water drainage
- Calculate size modifications to the amount of runoff captured
- Instillation of materials utilized for the system to ensure proper assemblage

Stormwater management is an important issue and problems have been identified. Staff ask the Commission to consider the following conditions regarding the implementation of the Stormwater unit:

1. Staff have the authority to assist the petitioner in site grading and Stormwater management for an underground detention system.
2. Additional two inspections during the building permit phase at cost to the Petitioner.
3. Provide an easement for future grading and to protect the Stormwater detention area.

Initial Submission

The petition application was submitted on February 16, 2016, for the April 7, 2016, Commission meeting. Upon review, staff requested to meet onsite with the Petitioner and Engineer to discuss Stormwater. Staff met with the Petitioner, Engineer, and neighbors on February 29, 2016, to discuss Stormwater issues with the adjoining properties.

Staff met with neighbors on April 7, 2016, to discuss Stormwater management solutions.

STAFF RECOMMENDATIONS

ISSUE TO VOTE UPON. The petition for new single family construction at 9761 Lindley Drive is being submitted for Community Design Review and Site Plan Review in accordance with Chapter 425 and Chapter 400 of the Olivette Municipal Code.

STAFF RECOMMENDATIONS. Should the Commission consider approving the petition as submitted, staff recommends that at a minimum the Commission consider the following conditions as part of any action for approval:

1. Staff have the authority to assist the petitioner in site grading and Stormwater management for an underground detention system.
2. Additional two inspections during the building permit phase at cost to the Petitioner.
3. Provide an easement for future grading and to protect the Stormwater detention area.
4. The top of foundation elevation be limited to no more than 696.70 and the site be graded as illustrated in the site plan appearing before the Commission on April 21, 2016, with a revised date of March 2, 2016, as provided by The Sterling Company. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation, as necessary to control/limit stormwater runoff on the site and to adjacent properties.
5. Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of architectural plans provided by Jim Bulejski Architects, dated March 7, 2016, and site improvement plans provided by The Sterling Company, with a revised date of March 2, 2016, subject to required modifications noted herein.
6. Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.

7. Any exposed portions of the foundation wall along Lindley Drive and the site elevation along the east and west in which the foundation wall exceeds a height of one foot (1') above the approved finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review and Site Plan Review for a New Single Family Home at 9761 Lindley Drive, as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

BUILDING AREA AND COVERAGE

PROPOSED BUILDING			SITE COVERAGE		
First Floor Habitable	2,245	sf.	Lot Area	12,500	sf.
Attached Garage	677	sf.			
Total Building Footprint	2,922	sf.	Existing Site Coverage		Percent
			Building Footprint	1,580	sf. 12.6%
Second Floor	1,150	sf.	All other areas	1,190	sf. 9.5%
TOTAL	4,072	sf.	TOTAL EXISTING	2,770	sf. 22.2%
w/o garage	3,395	sf.			
			Proposed site coverage		Percent
Maximum Code Allowed			Building Footprint	2,922	23.4%
Resd. FAR @ 0.30 or 3,500	3,750	sf.	All other areas	1,388	11.1%
Site Coverage @ 25% or 2,500 sf.	3,125	sf.	TOTAL PROPOSED	4,310	34.5%
	50	1	Change	Numerical	Percent
			Building Footprint	1,342	sf. 20.1%
			All other areas	198	sf. 16.6%
			TOTAL	1,540	sf. 55.6%

BUILDING SETBACKS, existing and proposed

	Code	Building Setbacks		Distance from Neighbor		
		Rqd.	Existing	Proposed	Existing	Proposed
Front yard	Lindley Dr south)	40.0 ft.	41.0 ft.	41.0 ft.	not applic.	not applic.
Side yard	(Left- west)	12.0 ft.	21.0 ft.	13.0 ft.	32.0	24.0 ft.
Side yard	Right- east)	12.0 ft.	21.3 ft.	12.7 ft.	37.0	28.4 ft.
Rear yard	(Rear- north)	25.0 ft.	55.0 ft.	31.0 ft.	not applic.	not applic.

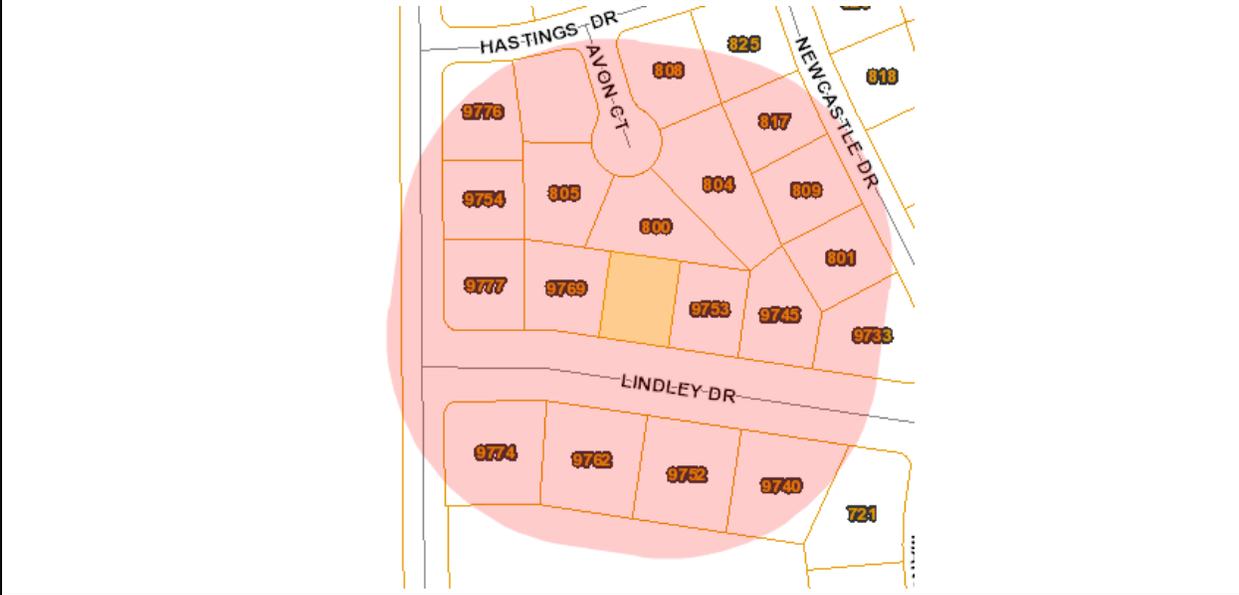
FOUNDATION WALL EXPOSURE-per building corner

Corner Grades		Existing	Proposed	T.O. F.	Wall Exposure
SW	Lindley Dr left	693.7	695.5	696.7	1.2
SE	Lindley Dr right	691.0	694.5	696.7	2.2
NW	Rear- left	690.4	690.6	696.7	6.1
NE	Rear- right	688.7	687.5	696.7	9.2

RESIDENTIAL BUILDING HEIGHT-per building elevation

Lindley Drive Street Building Elevation-South	Left	Right	Average Grades	T.O.F.	Bldg. Height	Overall Bldg. Height
Existing	693.7	691.0	692.4	696.7	26.6	31.0
Proposed	695.5	694.5	695.0	696.7	26.6	28.3
Left side building elevation-West						
Existing	693.7	690.4	692.1	696.7	26.6	31.3
Proposed	695.5	690.6	693.1	696.7	26.6	30.3
Right side building elevation-East						
Existing	691.0	688.7	689.9	696.7	26.6	33.5
Proposed	695.5	687.5	691.5	696.7	26.6	31.8
Rear Building Elevation-North						
Existing	690.4	688.7	689.6	696.7	26.6	33.8
Proposed	690.6	687.5	689.1	696.7	26.6	34.3
* All grades and heights are measured in feet.						

LOCATION MAP



AERIAL



pd 2-16-2016 CR # 3968-150.00



CITY OF OLIVETTE

PETITION FOR COMMUNITY DESIGN REVIEW

(RESIDENTIAL)

Department of Public Services
1200 North Price Road
Olivette, MO 63132
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

Michael W. Gartenberg, MCM
Director

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Doug Cohen - Owner
Company Name: Douglas Properties
Address: 1 Peicement City: _____ Zip Code: 63132
E-mail Address: Douglasprop@gmail.com Phone Number: (314) 725-9911

As the applicant, which of the following apply:

- Developer Contractor Owner
 Registered Engineer Registered Architect Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction Major Residential Addition and/or exterior modification
 Accessory Structure Other (Site Plan Review)

PROPERTY INFORMATION

Address of Property: 9761 Lindley
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: Doug Cohen Real Estate
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

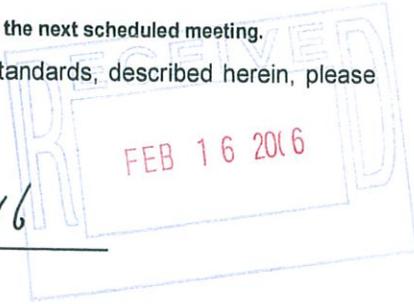
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Name of applicant

2-16-16
Date



February 16, 2016

Project Report

Prepared for City of Olivette

Builder: Douglas Properties
Re: 9761 Lindley Dr.

Question 1:

An explanation on how the mass, size and bulk of the new home is compatible with the prevailing mass, size and bulk of adjacent and surround detached residences.

Answer:

The proposed house is a 1 1/2 story structure with the roof stepping down to the adjacent houses. The sides of the house appear more like a one story because much of the second floor mass is in the center of the structure.

Question 2:

An explanation on how the height of the new home is compatible with the prevailing height of adjacent and surrounding detached residences.

Answer 2:

The ground falls off to the rear of the property. The height of this design is 27'-7" to the highest ridge on the front. The manner in which the sides of the façade step back allowing the roof ridge to step down on each side softens the transition to the adjacent homes.

Question 3:

An explanation on what architectural features of the new home are intended to compliment the architectural characteristics of adjacent and surround detached residences.

Answer 3:

The use of Brick along with siding and a variety of one and two story features are intended to compliment the surrounding houses. The variation of depth on the front elevation along with some low wall features and High features will stimulate visual interest.

Question 4:

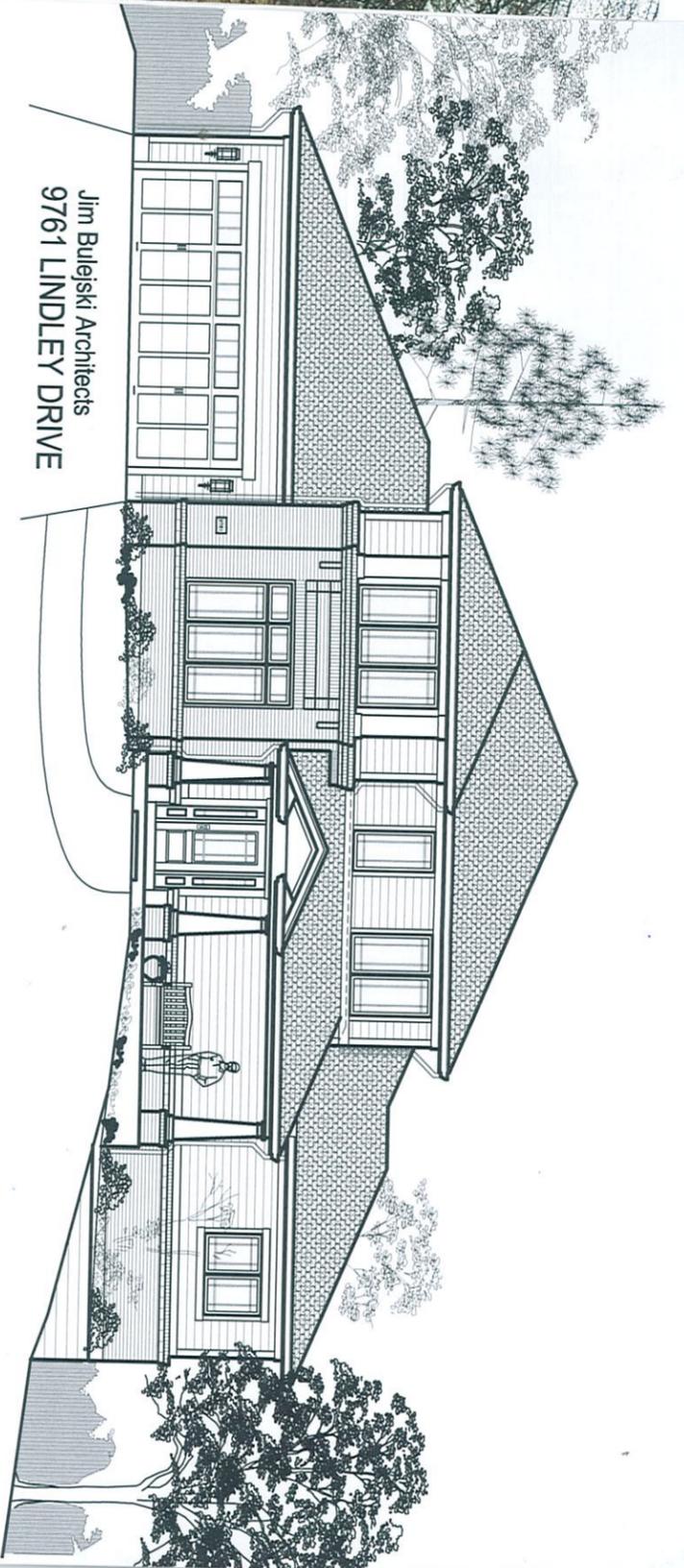
An explanation on the efforts that will be incorporated on the site development to eliminate any adverse affect on grading and storm water drainage on the adjacent and surrounding properties.

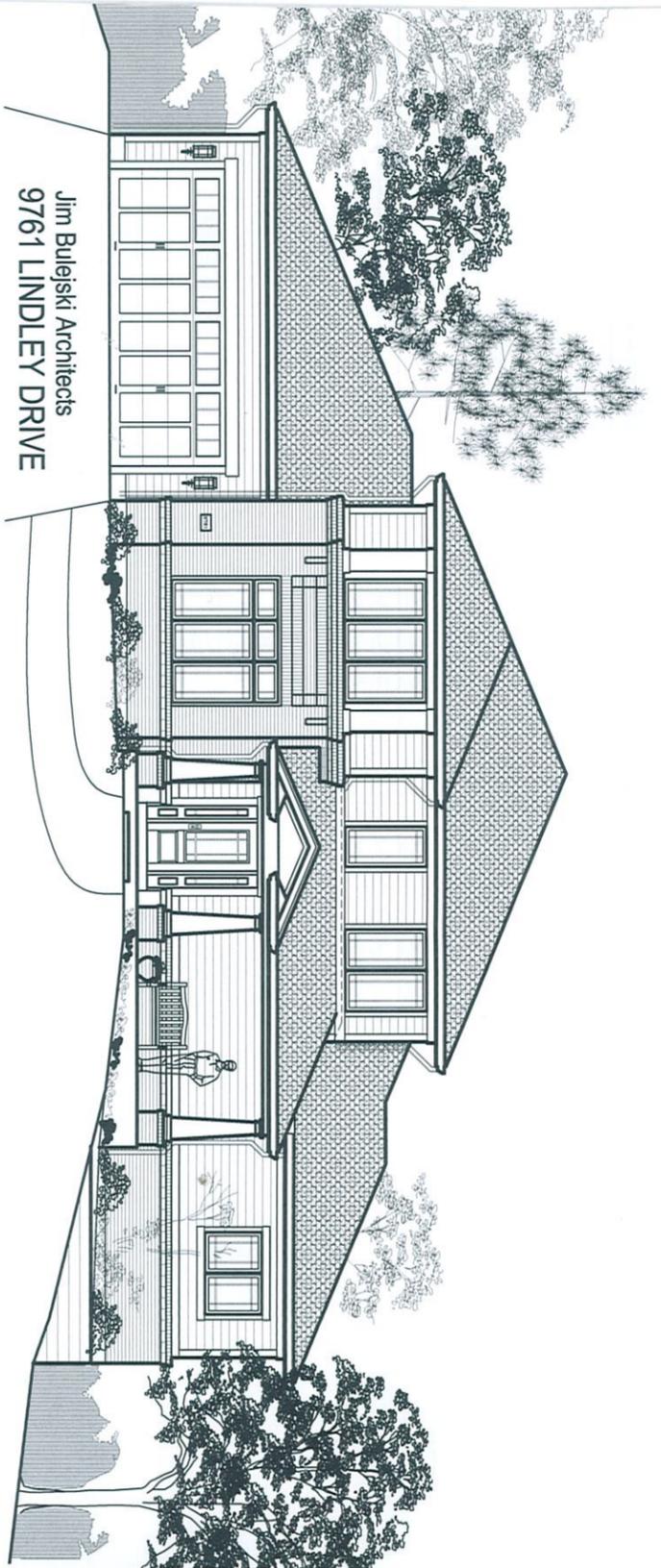
Answer 4:

Since we currently have a house on this lot we will be maintaining the existing drainage patterns as much as possible. Where the improvements do occur we will direct our runoff toward the street and into local storm water facilities.



Jim Bulejski Architects
9761 LINDLEY DRIVE

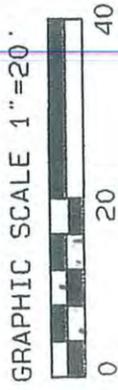




Jim Bulejski Architects
9761 LINDLEY DRIVE



CHEVY CHASE



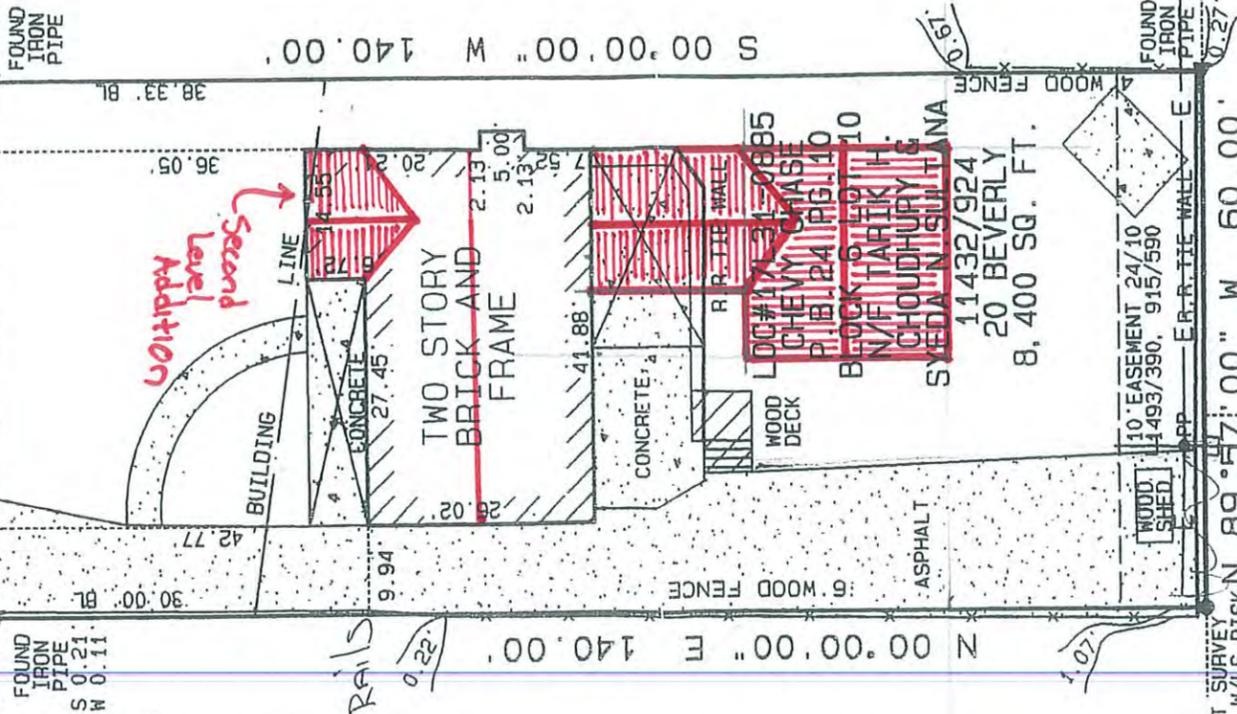
(ASSUMED)



BEVERLY (50' W) DRIVE

(EASEMENT IN R/W 952/19, 915/590, 882/538)

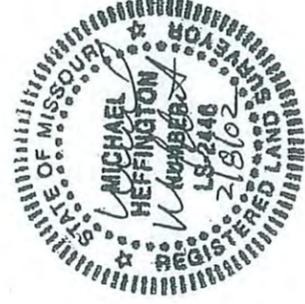
S 89°57'00" E 60.00'



Treated
 *40" tall fence
 dog eared
 *4x4 @ 8' apart
 *2 - 2x4 cross rails
 *4x4 @ 4" deep

LOT 11

LOT 9



SET SURVEY
 NAIL W/LS DISK N 89°57'00" W 60.00'

LOT 13

PRICE LANE
 P.B.36 PG.58
 LOT 6

THIS IS TO CERTIFY TO COMMONWEALTH LAND TITLE INSURANCE COMPANY THAT AT THEIR REQUEST, WE HAVE ON FEBRUARY 8, 2002 EXECUTED A SURVEY AS PER THE RECORD PLAT, TO RESET THE MONUMENTATION AND LOCATE THE IMPROVEMENTS ON BLOCK 6 LOT 10, OF CHEVY CHASE, AS RECORDED IN PLAT BOOK 24 PAGE 10, OF THE ST. LOUIS COUNTY, MO. RECORDS, SUBJECT TO ALL EASEMENTS OF RECORD. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEYS AND THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND LAND SURVEYORS. NOTES: EASEMENTS PER COMMONWEALTH FILE #469387, DATED DECEMBER 9, 2001, SCHEDULE B.II, ITEM #5 EASEMENT PER DEED BOOK 882 PAGE 538, BOOK 952 PAGE 19, BOOK 915 PAGE 590, ARE DEPICTED HEREON. ITEM #9 EASEMENT PER DEED BOOK 1493 PAGE 390, IS DEPICTED HEREON. TRACT IS "URBAN" CLASS PROPERTY.

JOB NUMBER 02-019

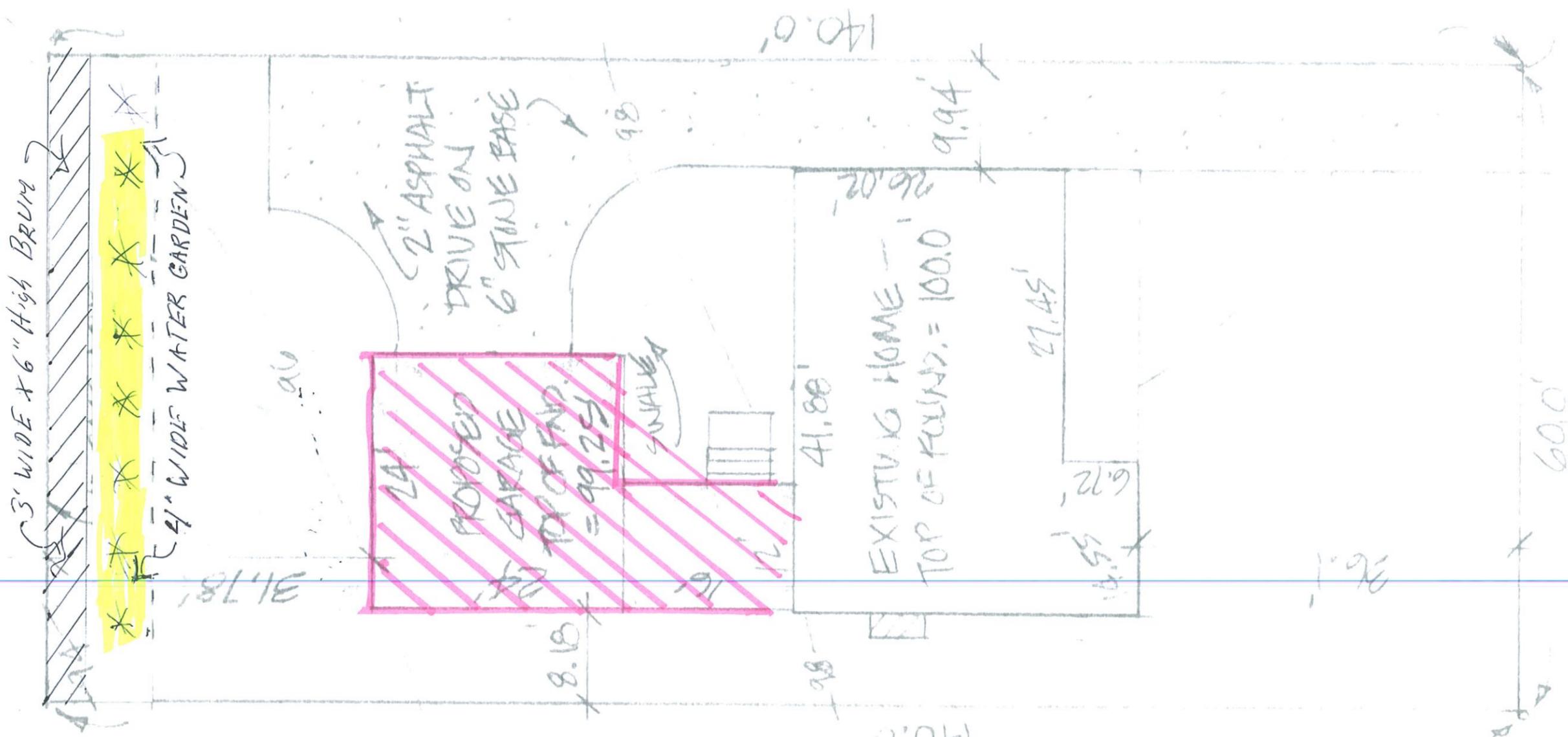
DRAWN BY T.E.B.

CHECKED BY J.M.H.

CORNERSTONE LAND SURVEYING

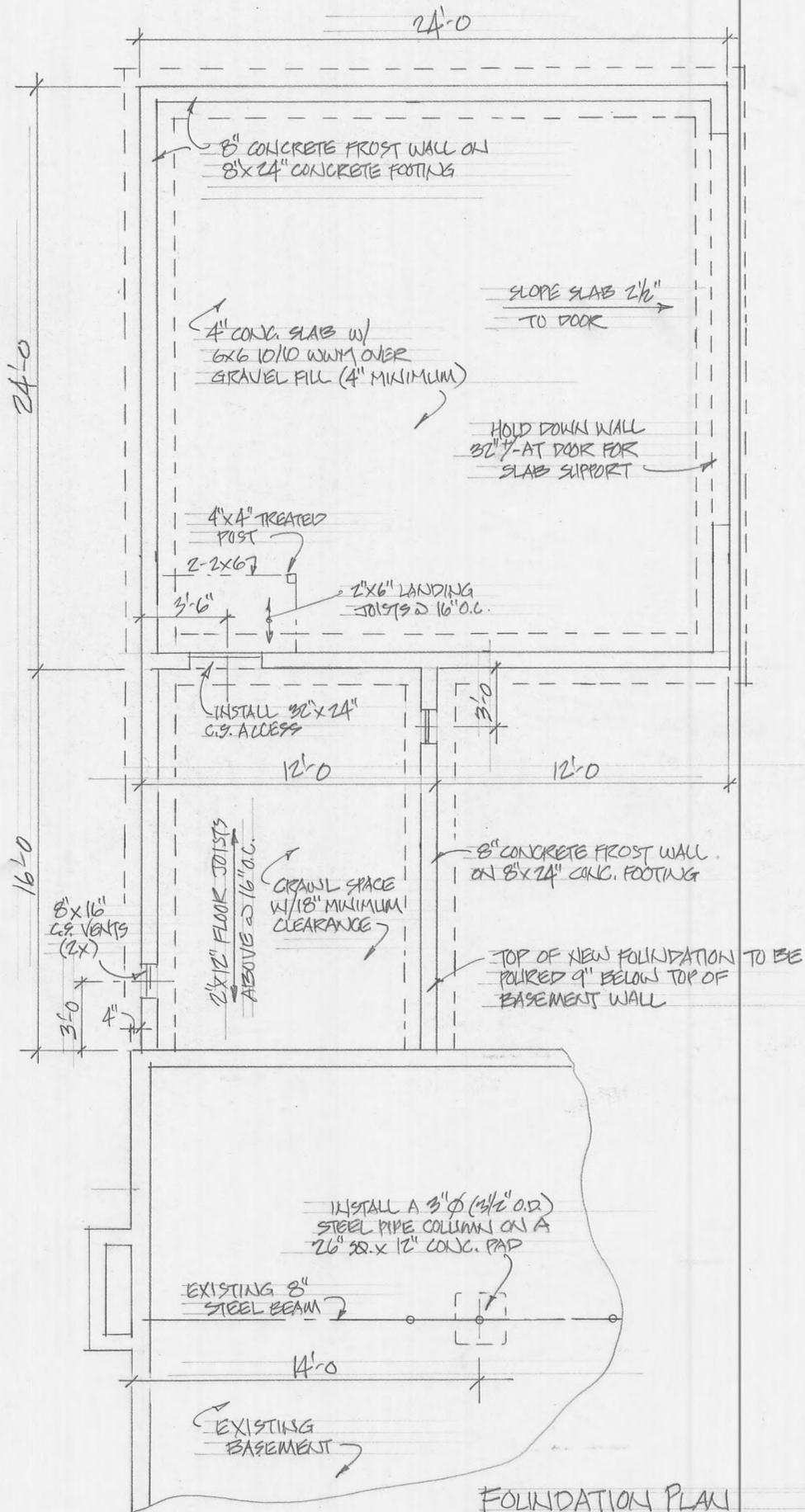
2708 BARRETT MEADOWS COURT

BALLWIN, MO. 63021 (314) 966-9987 (314) 966-0329 (FAX)

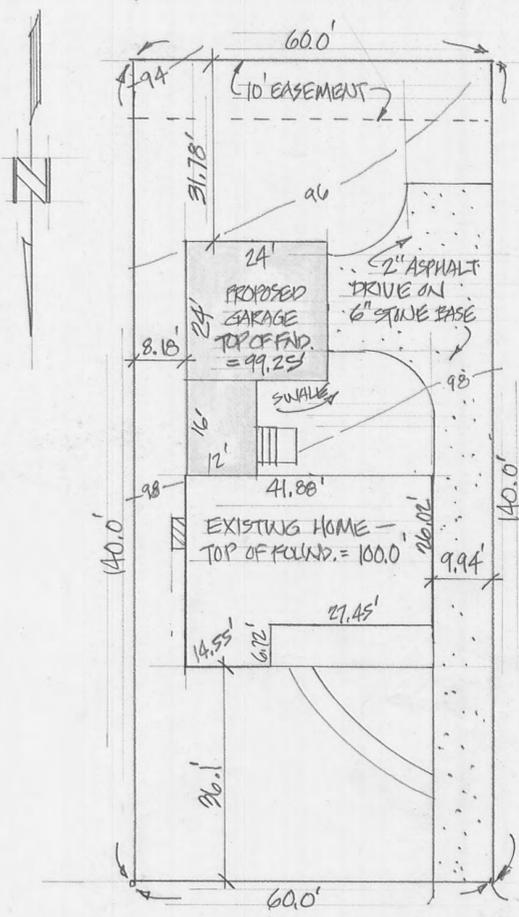


BEVERLY (S/N)

11-17-11



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

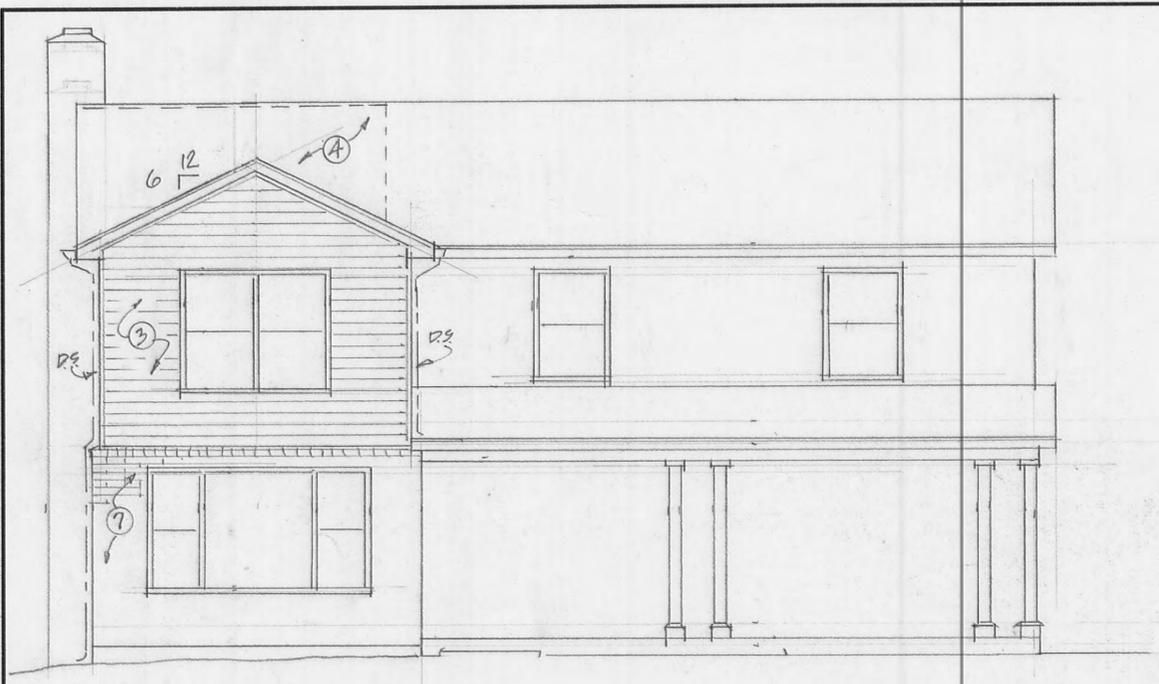


SITE PLAN
SCALE: 1" = 20'

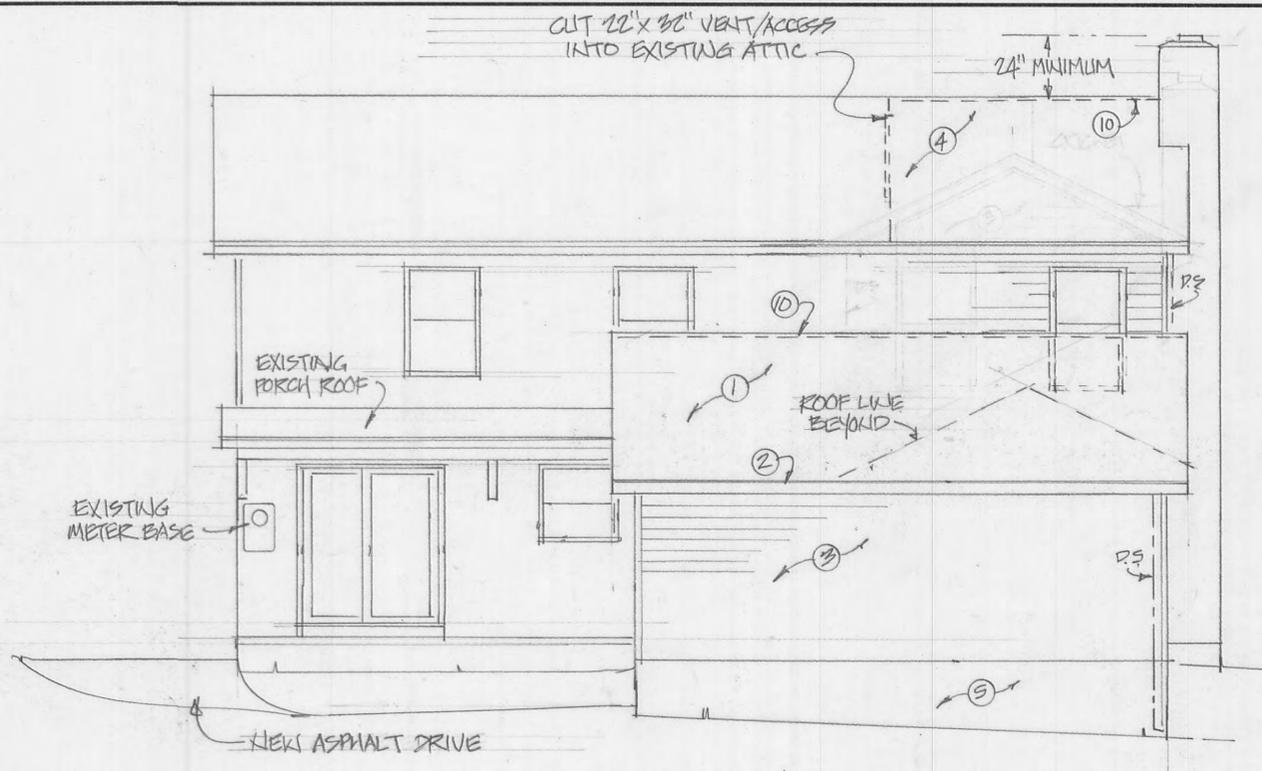
NOTE:

- This addition to be constructed using the Simplified Bracing Method. See Sheet 4 for Corner Framing Details and Sheet 2 for location of Narrow-wall panels.
- The interior and exterior wall configuration braces the structure in accordance with or equivalent to the lateral bracing provisions of Section R602.10 of the 2006 Edition of the International Residential Code or Section 2305 of the 2006 Edition of the IBC.
- A Carbon Monoxide alarm complying with UL2034-2008 shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached or basement garages.

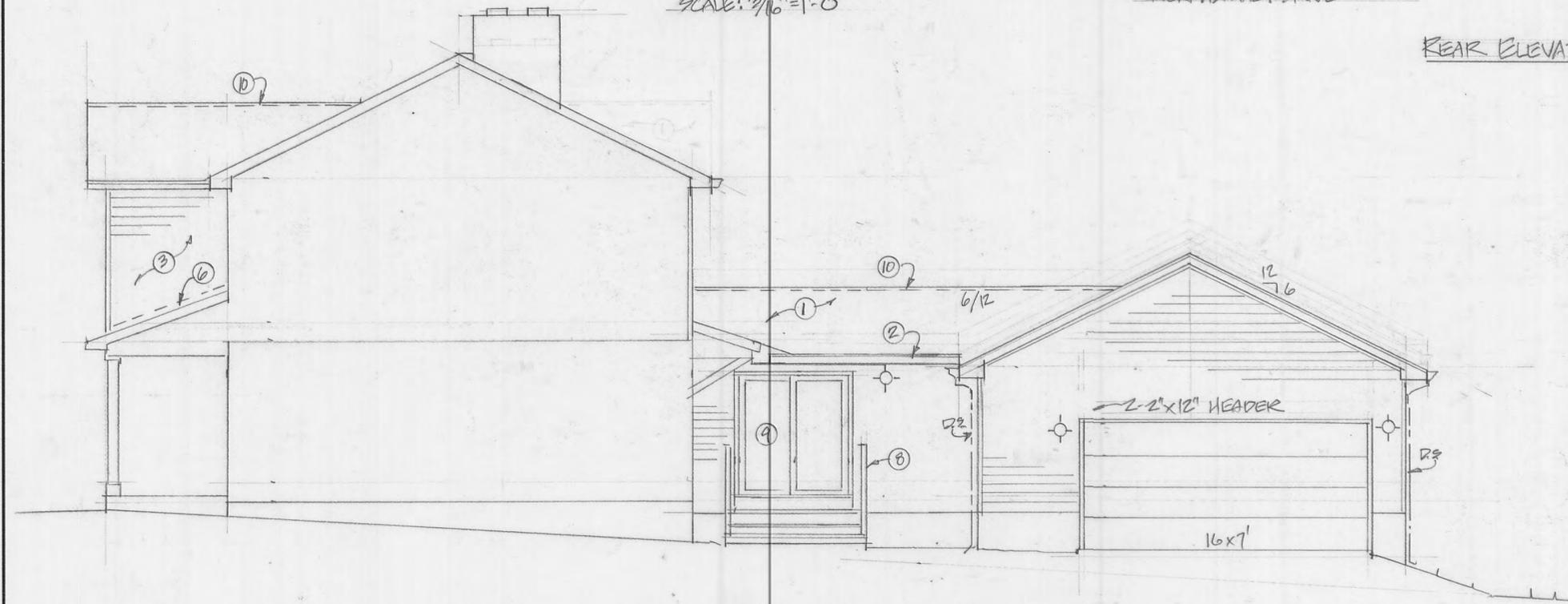
MARTIN DESIGNS		314-799-7610	
HERMANN, MO.		jfmartin1@sbcglobal.net	
SCALE: VARIES	APPROVED BY:	DRAWN BY	
DATE: 2/23/2016		REVISED 2/29/2016	
Plans for an addition at #20 Beverly, Olivette			
Engineer: Michael E. Dace, PE 573-468-6068		DRAWING NUMBER	
400 Timberlane Dr., Sullivan, Mo.		1 OF 5	



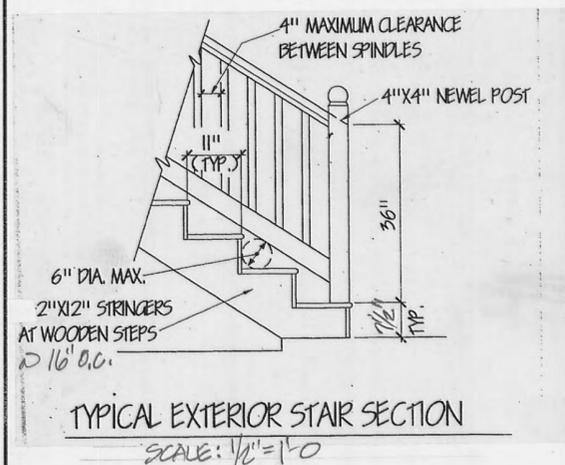
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION



RIGHT SIDE ELEVATION



TYPICAL EXTERIOR STAIR SECTION
SCALE: 1/2" = 1'-0"

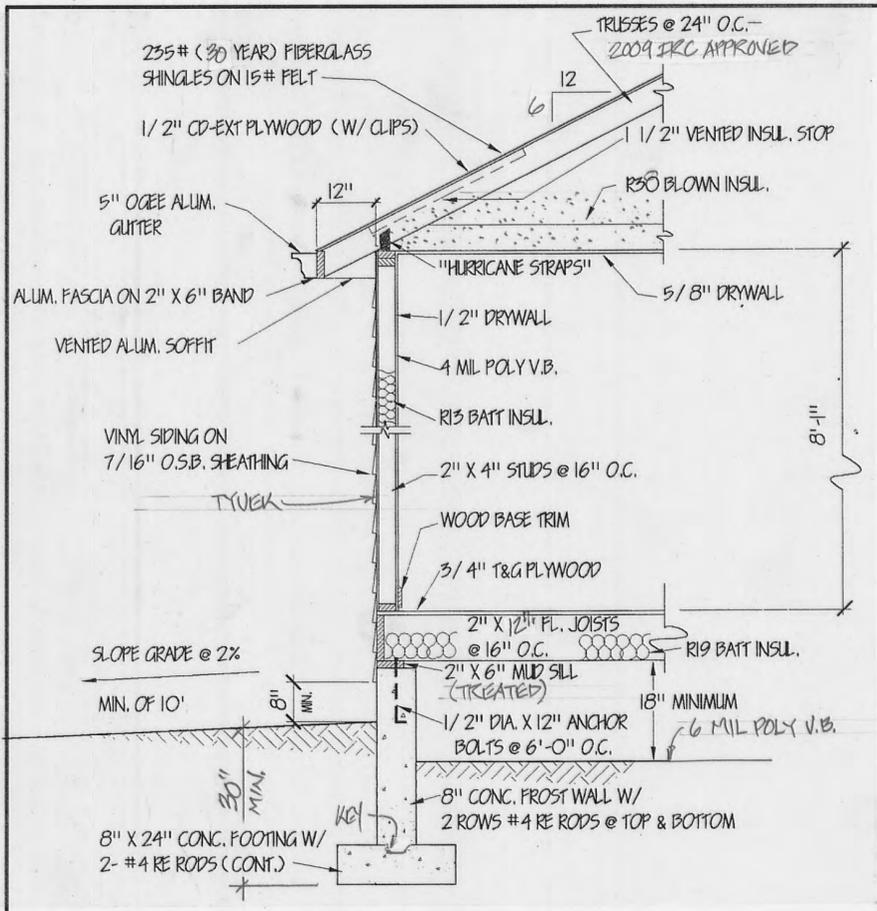
LEGEND:

- 1 235# (30 year) fiberglass shingles on 15# felt
- 2 5" ogee aluminum gutter w/ 4" dia. Downspouts
- 3 Vinyl Siding (to match existing)
- 4 2x6 overframing at 16" oc
- 5 8" concrete frost wall
- 6 Aluminum flashing
- 7 Existing brick veneer
- 8 Steps as required by grade with 36" wood railing, 11" treads, 7 1/2" max. risers
- 9 Type II Tempered Glass
- 10 Cor-a-vent ridge vent

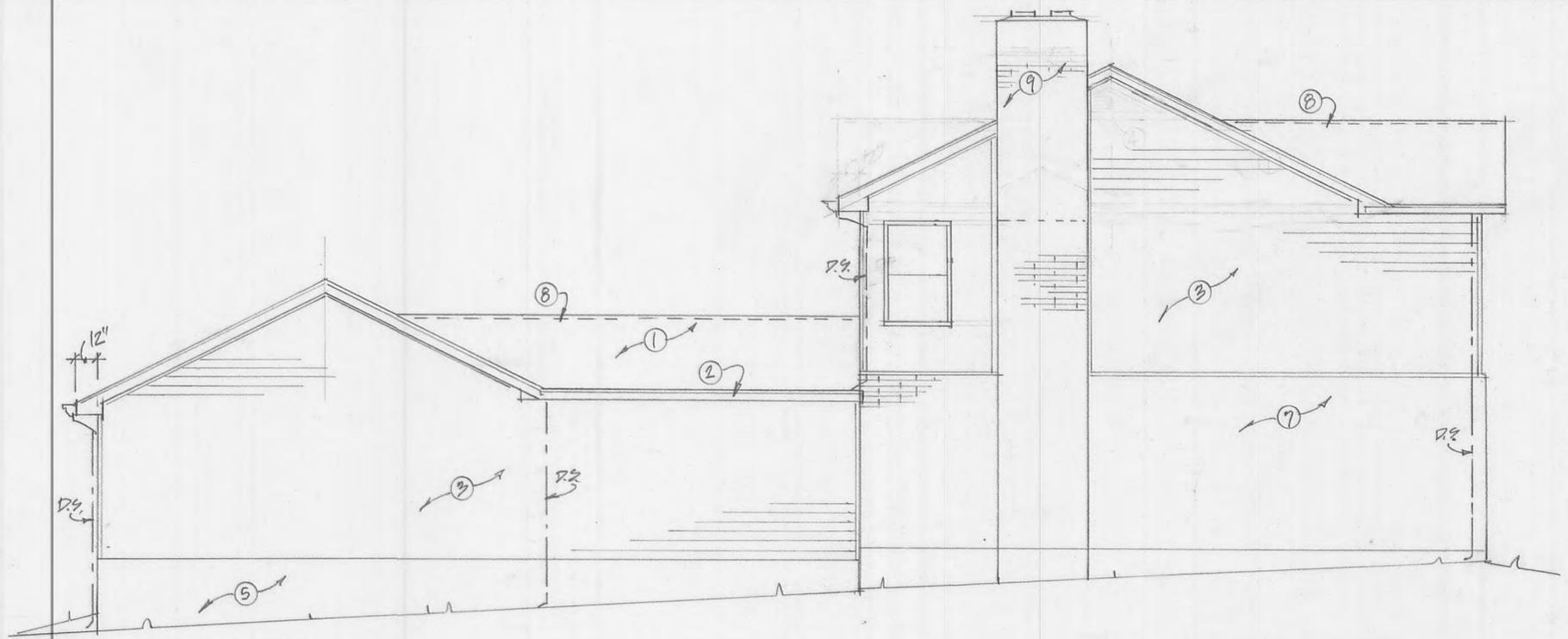
NOTE:

1. Windows taken from Quaker "Manchester" series unless otherwise noted. See floor plan for window sizes.
2. Install aluminum flashing at all roof-to-roof and all roof-to-wall intersections.
3. Finish grade to be a minimum of 8" below the top of the foundation and must slope away from the building a minimum of 1"/ft. for a minimum of 8 ft. Verify site conditions before establishing footing level.
4. Footings piers shall be poured on undisturbed soil and shall be a minimum of 30" below finished grade.
5. Install splash blocks on all downspouts. Do NOT connect to the sanitary sewer.
6. Install aluminum drip edge at all eave and rake edges.

MARTIN DESIGNS		314-799-7610	
HERMANN, MO.		jfmartin1@sbcglobal.net	
SCALE: 3/16" = 1'-0"	APPROVED BY:	DRAWN BY	
DATE: 2/23/2016		REVISED 2/29/2016	
Plans for an addition at #20 Beverly, Olivette			
Engineer: Michael E. Dace, PE 573-468-6068			DRAWING NUMBER
400 Timberlane Dr., Sullivan, Mo.			3 OF 5



CRAWL SPACE SECTION
 SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

- LEGEND:**
- 235# (30 year) fiberglass shingles on 15# felt
 - 5" ogee aluminum gutter w/ 4" dia. Downspouts
 - Vinyl Siding (to match existing)
 - 36" triangular aluminum screened attic vent
 - 8" concrete frost wall
 - Aluminum flashing
 - Existing brick veneer
 - Cor-a-vent ridge vent
 - Extend brick chimney so that top of flues are a minimum of 24" above any surface within 10 ft.

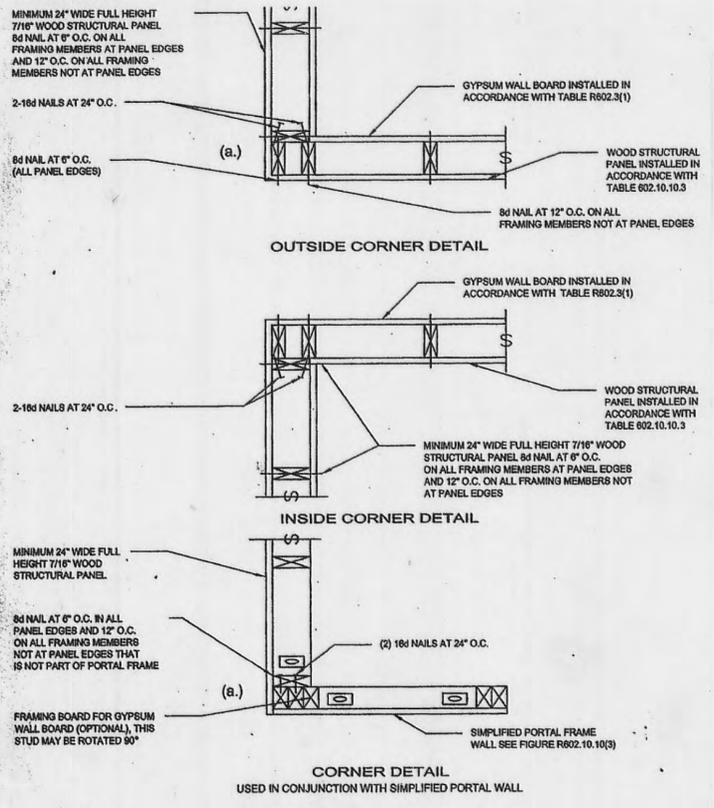
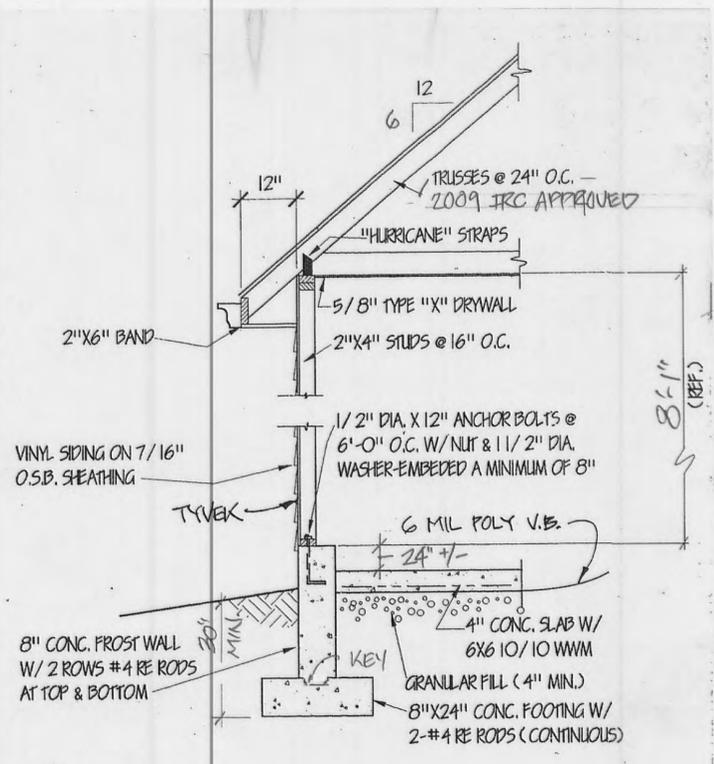
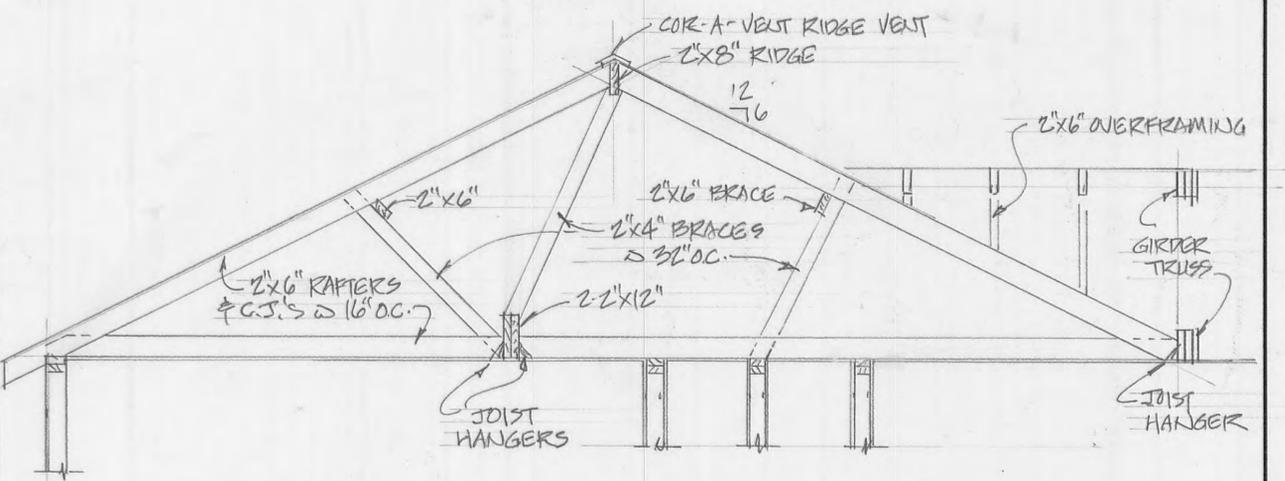


FIGURE R602.10.10.4
SIMPLIFIED BRACING EXTERIOR CORNER FRAMING

END STUD INDICATED ON THE ABOVE DETAILS MAY BE SHIFTED 7/16" TO ALLOW STUD FACE TO BE ALIGNED WITH SHEATHING, OR AN OPTIONAL NON-STRUCTURAL FILLER PANEL MAY BE USED.



TYPICAL GARAGE SECTION
 SCALE: 1/2" = 1'-0"



ROOF FRAMING SECTION
 SCALE: 3/8" = 1'-0"

MARTIN DESIGNS 314-799-7610
 HERMANN, MO. jfmartin1@sbcglobal.net

SCALE: VARIES APPROVED BY: DRAWN BY:
 DATE: 2/29/2016 REVISED 2/29/2016

Plans for an addition at #20 Beverly, Olivette

Engineer: Michael E. Dace, PE 573-468-6068 400 Timbertane Dr., Sullivan, Mo. DRAWING NUMBER: 4 OF 5



City of Olivette Public Services
Department of Planning and Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: APRIL 21, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 20 BEVERLY DRIVE
PETITION FOR COMMUNITY DESIGN REVIEW & SITE PLAN REVIEW

PETITIONER Ron Keeven Keeven Design Build	PROPERTY OWNER Andrew & Karen Loiterstein
--	---

SUMMARY OF PETITION:

1. New Business Item due to the elevation articulation and the 1-foot encroachment granted by the Board of Adjustment.
2. Petition for a residential addition with the following improvements:
 - 2-story addition to the front of the home
 - 768-sf rear side entry garage and mudroom addition
3. Zoning: The portion of the existing footprint encroaches 1-ft into the required front yard. Expansion of the 2nd story in the encroachment area has been approved by the Board on Adjustment, (April 14, 2016), in accordance with Article XVII Board of Adjustment.
4. Zoning: The lot is a legal nonconforming property in the SR Single Family Residential District. The construction of a residential addition is subject to both Site Plan Review and Community Design Review. The proposed site improvements appear to comply with the dimensional and bulk regulations of the SR zoning district.
5. Site Plan Review: Many homes including the home to the immediate east contain 2-story homes with rear garages located on similar lot sizes. Improvements include a Stormwater retention area. Staff finds the improvements consistent with the intent of Site Plan Review.
6. Community Design Review: Staff finds the design of the east elevation inconsistent with elevation articulation and massing principles of the Guidelines.
7. Stormwater Review: Plans include a slight reduction in the impervious footprint and a Stormwater retention feature at the rear of the property.
8. Conditions: For staff have the authority to work with the Petitioner for the design of the Stormwater retention area and to report the final design to the Commission within 90-days of Commission approval.
9. Should the Commission consider action on the petition, staff recommends Community Design Review and Site Plan Review approval as submitted subject to conditions noted herein this report.

ATTACHMENTS:

1. Staff Report
2. Stormwater Calculation Summary Sheet
3. Board of Adjustment Approval Letter & Neighbor Letter
4. Staff Review Letter (March 8, 2016)
5. Petition Application

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review and Site Plan Review for a residential addition at 20 Beverly Lane as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

STAFF REPORT: 20 BEVERLY DRIVE

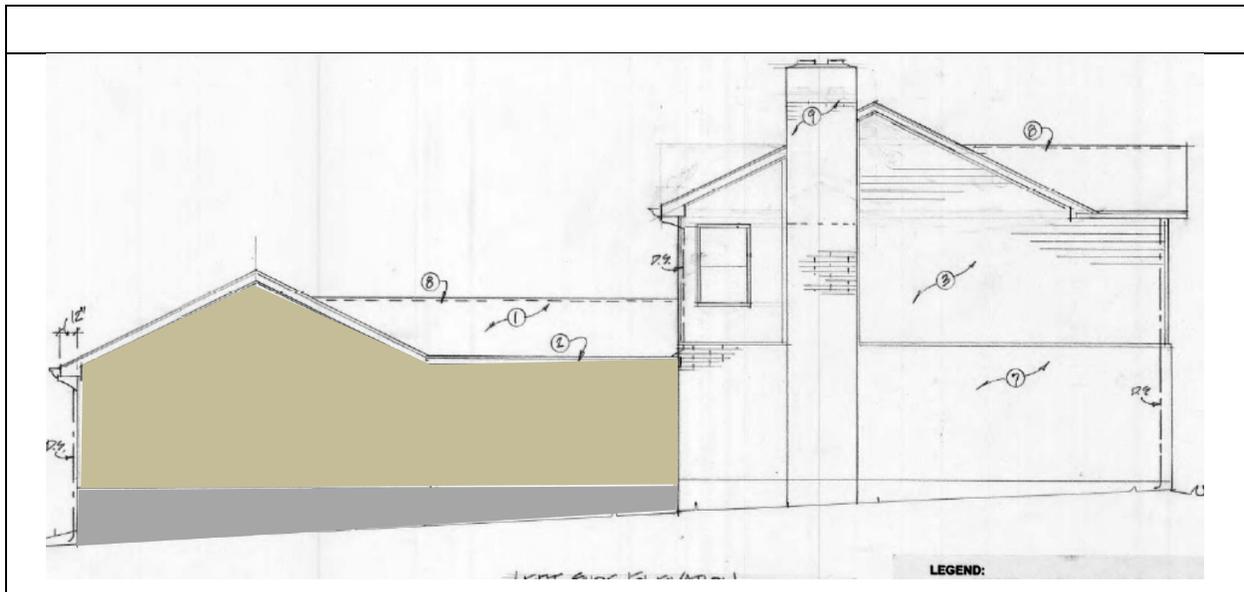
The Petition Application was submitted on March 3, 2016, for the April 7, 2016, Commission meeting. The review of the Petition found the 2nd story addition encroached into the front yard setback (Staff Review Letter dated March 8, 2016). The Petitioner submitted for the Board of Adjustment on March 7, 2016, to allow the second story to encroach 1-foot over the front building line. The Board of Adjustment granted the 1-foot variance on April 14, 2016.

Zoning

The Board of Adjustment granted a 1-foot front yard variance to the required front building line as set forth in Section 400.260.A. Minimum Front Yard Setback. The lot is zoned SR Single Family and located within the Chevy Chase Subdivision. The lot measures 60-feet in width, 140-feet in depth, and 8,400 square feet. Site Plan Review is required as stated under Section 400.220 Permitted Uses under Article IV SR Single-Family Residential District.

Community Design Review

The improvements indicate vinyl siding as the finishing material. The second story improvements match the existing second story vinyl siding material finish. Vinyl siding is an acceptable finish as stated in the Guidelines. Staff finds the design of the east elevation wall inconsistent with the Guidelines. The plans propose roughly 380 sf. of vinyl wall siding with no significant architectural features or breaks in the massing. The drawings note 8-inches of exposed foundation.



Site Plan Review

The site plan review procedure is intended to ensure the adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities. This includes reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself.

Staff considered the proposed impacts of the 2nd story addition to the front of the home. Many other homes in the Chevy Chase Neighborhood contain similar lot sizes with full 2-story improvements. Many other homes contain rear entry and detached garages to the rear of the lot. The garage improvements fall within the buildable area. The home to the immediate east contains an attached rear entry side garage. Staff finds the improvements consistent with Intent and Purpose of Article XI Site Plan Review.

Stormwater Review

Staff has calculated the impervious area will be reduced by approximately 130 sf. Runoff will no longer sheet flow over the rear lawn as the garage will be placed within the buildable area of the rear yard. The driveway will no longer extend to the rear property line. As Stormwater generation areas are proposed to be modified, Stormwater drainage will continue to move to the rear of the property and will exit beneath the existing fence.

The Petitioner has noted the following Stormwater conceptual plan:

- Shallow water garden feature 4-feet wide. The depth has not yet been provided.
- Berm in front of the fence placed along the rear property line, 3-feet wide by 6-inches in height.
- Plant specifications have not been provided at this time.

From an MSD Stormwater Annual Runoff Volume table, staff calculated with a 4-foot by 40-foot water detention area, the total annual runoff will be reduced by 272 cubic feet. Staff believes the design will help reduce erosion on the property directly to the rear of the subject lot.

Staff would like to ask the Commission to consider the following conditions be placed upon approval for Stormwater management:

- Staff assist the Petitioner in the development of the site grading to implement the Stormwater detention area at the subject property
- Report the final design to the Commission within 90-days from Commission approval.

STAFF RECOMMENDATION

Staff recommends approval of the Community Design Review and Site Plan Review for the noted improvements at 20 Beverly Drive subject to the following conditions:

1. Staff assist the Petitioner in the development of the site grading to implement the Stormwater detention area at the subject property
2. Report the final design to the Commission within 90-days from Commission approval.
3. The plans submitted for Building Permit review and construction shall be in conformance with the design, details, and dimensions illustrated in the plans and elevations outlined in the petition application, appearing before the Commission on April 21, 2016, containing a Site Plan and architectural drawings prepared by Martin Designs, with a revised date of February 29, 2016.

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

Motion to approve the Petition for Community Design Review and Site Plan Review for a residential addition at 20 Beverly Drive, as presented in the Memorandum from the Department of Planning and Community Development dated April 21, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

Pre-Construction Development Input

Total Drainage Area (A) =	0.14	Ac.
Impervious Area =	0.08	Ac.
Vegetated Area =	0.06	Ac.

THIS IS A REDEVELOPMENT SITE. USE WATER QUALITY STRATEGIES TO MAXIMUM EXTENT PRACTICABLE.

$V_{A,Pre} = 14,375$ CF

Post-Construction Dev. Input

Total Drainage Area (A) =	0.14	Ac.
Impervious Area =	0.08	Ac.
Vegetated Area =	0.00	Ac.

$V_{A,Post} = 14,375$ CF

Runoff Reduction

BMP Group	Volume (RR_v , cf)	Depth (RR_d , in.) *
Volume Reduction, BMP 1	272	0
Volume Reduction, BMP 2	0	0
Volume Reduction, BMP 3	0	0
RR=Total BMP Volume Reduction Provided=	272	CF
	0	in*
$V_{A,Post} - V_{A,Pre} - RR =$	-272	CF
Total Additional Volume Reduction Needed=	0	CF

* For use in curve number modification spreadsheets, for sizing downstream detention basins.



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252

April 21, 2016

Andrew Loiterstein
20 Beverly Drive
Olivette, MO 63132

RE: 20 BEVERLY DRIVE
PETITION FOR VARIANCE

Dear Mr. Loiterstein:

At the April 14, 2016, meeting of the City of Olivette Board of Adjustment, the Board of Adjustment reviewed and acted on a Petition for a variance at the above referenced address. The Board granted the following:

A variance from the required 37-foot Front Yard Setback on the north property line as required under Section 400.260.A Minimum Front Yard Setback, being part of Article IV. "SR" Single-Family Residential District, Chapter 400 Zoning Regulations of Title IV. Land Use of the Olivette Municipal Code to allow a 1-foot encroachment as illustrated in the plans provided by Martin Designs, dated February 29, 2016, and as presented, including all evidence recorded on April 14, 2016.

The next step in the development process is to continue review for Site Plan Review and Community Design Review. The next scheduled meeting for the Planning and Community Design Commission (Commission) is April 21, 2016. The Commission may consider the Petition at the following meeting.

Should you have any questions regarding the contents of this letter, please contact me at (314) 993-0252.

Respectfully,

Jonathan Roper
Planner/GIS Coordinator

Olivette Board of Adjustment
c/o Carlos Trejo, Director of Planning and Community Development
9473 Olive Blvd.
Olivette, MO 63132

April 11, 2016

To whom it may concern:

I am writing to support allowing the homeowners at 20 Beverly Drive in the Chevy Chase subdivision to have a variance for the build line. Our property line faces this home and we see absolutely no reason not to support the variance.

My husband, Thom Wham, and I are aware of the setback issue. We wholeheartedly support the Loiterstein appeal to build on top of the existing footprint of the house.

I thank you in advance for any consideration that you can afford our request.

Respectfully submitted,

A handwritten signature in black ink that reads "Tracy McCreery". The signature is written in a cursive, flowing style.

Tracy McCreery
Neighbor, 41 Rye Lane



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252

March 8, 2016

Ron Keeven
Keeven Design Build
105 Bon Chateau Drive
Saint Louis, MO 63141

RE: 20 BEVERLY ROAD
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN REVIEW

Dear Mr. Keeven:

A petition for Community Design Review of a residential addition for the above referenced address was submitted for the April 7, 2016, meeting of the City of Olivette Planning and Community Design Commission (Commission). Upon the initial review of the petition application and the accompanying site plan and architectural building plans, the petition plans submitted fail to meet minimum Zoning regulations. That being said, the City's Planning and Community Design Commission (Commission) cannot review the petition as submitted. The Commission has no authority to review and act on a petition which fails to comply with the City's Zoning Regulations.

Furthermore, staff has reviewed the petition plans for compliance with:

- the minimum petition submission standards,
- the City's Zoning Regulations, including Section 400.250 Height and Bulk Standards and Section 400.260 Yard and Setback Requirements,
- the City's Off-Street Parking and Loading Regulations, including Section 400.1410 Minimum Standards for Off-Street Parking Areas,
- the City's Stormwater Management regulations under Chapter 422 of the Olivette Municipal Code.

Zoning Designation.

The property grounds are zoned SR Single Family Residential District. The subject property is a legal lot of record, and the current use of the property grounds (single family home) complies with the permitted uses of the SR District. The lot, however, fails to meet the ideal dimensional parameters of the SR District. Lots in the SR District should be 100 feet in width, 150 feet in depth, and contain 15,000 square feet.

The subject property is 140 feet in depth, 60 feet in width, and 8,400 square feet in land area.

Zoning Compliance.

The minimum front yard setback is established under Section 400.260 Yard and Setback Requirements. Section 400.260 states the following:

- A. *Minimum Front Yard Setback. The minimum front yard setback shall equal the front yard setback of the legal lot of record as set out on the plat thereof. In no event shall the front yard setback be less than twenty-five (25) feet.*

According to Chevy Chase Survey provided by staff, the front northeast corner of the home is 36.05' from the front property line. Staff measured the slanted building line, 37' from the front property line. Under these measurements, a portion of the existing home encroaches into the front yard setback area.

The proposed improvements noted a second story addition over the existing one-story portion of the home. A portion of the existing one-story residence encroaches 1-foot into the front yard setback. The second story addition proposes to sit directly over the first story, which encroaches into the front yard setback. Please refer to Exhibit 2 'Encroachment' for an illustration from the staff survey.

Variance.

Given the encroachment and the proposed improvements as noted above, the plans may not be forwarded to the Planning and Community Design Community for review. If it is the intent to pursue a variance for the addition, under Section 400.1640 of the Olivette Zoning Regulations, the Board of Adjustment has jurisdiction to authorize a variance where, by reason of:

- exceptional narrowness, shallowness or shape of a specific piece of property of record, or
- by reason of exceptional topographical conditions, or
- other extraordinary or exceptional situation or condition of a specific piece of property,

the strict application of any zoning provision would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of such property and amount to a practical confiscation of such property as distinguished from a mere inconvenience to such owner, provided such relief can be granted without substantial detriment to the public good and without substantially impairing the general purpose and intent of the Comprehensive Plan as established by the regulations and provisions contained in Olivette's Zoning Regulations.

It is staff's position that under the current SR District zoning regulations, the proposed design fails to take the City's and the SR Districts regulations into account. This is a buildable lot, in which the property has been improved. There is buildable area behind the home. If there are unique characteristics to lot, whether in dimension, shape or topography, these need to be specifically noted and addressed.

Submission Requirements.

Please refer to Exhibit "Submission Requirements" for outstanding data required for the Lot Data and Zoning Regulations Table and the Stormwater management plan.

SUMMARY AND CONCLUSION

The Petition for Community Design Review for a residential addition at 20 Beverly Road has been reviewed and found to be noncompliant with the minimum front yard setback. This letter will serve as the formal denial if you wish to appeal to the Board of Adjustment.

The Petition for Community Design Review will remain on a 90-day hold, until the aforementioned issues are resolved. If a variance is granted for the petition, the next step in the process would be to revise the petition with the data being requesting in the exhibit below.

Should you have any additional questions, please feel free to contact me at (314) 993-0252 or via e-mail at jroper@olivettemo.com

Respectfully,



Jonathan Roper
Planner/GIS Coordinator

Missing Submission Requirements

LOT DATA AND ZONING REGULATIONS	
Lot Area:	XX,XXX sf.
Permitted Site Coverage:	XX,XXX sf.
Permitted Residential Floor Area:	XX,XXX sf.
Lot Width	XX ft.
Lot Depth	XX ft.
Front Yard Setback (per subdivision plat)	XX ft.
Side Yard Setback (as per XX% of Lot Width)	XX ft.
Rear Yard Setback (as per 20% of Lot Depth)	XX ft.
building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL EXISTING IMPERVIOUS AREAS	X,XXX sf.
building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL PROPOSED IMPERVIOUS AREAS	X,XXX sf.

Stormwater Management Plan

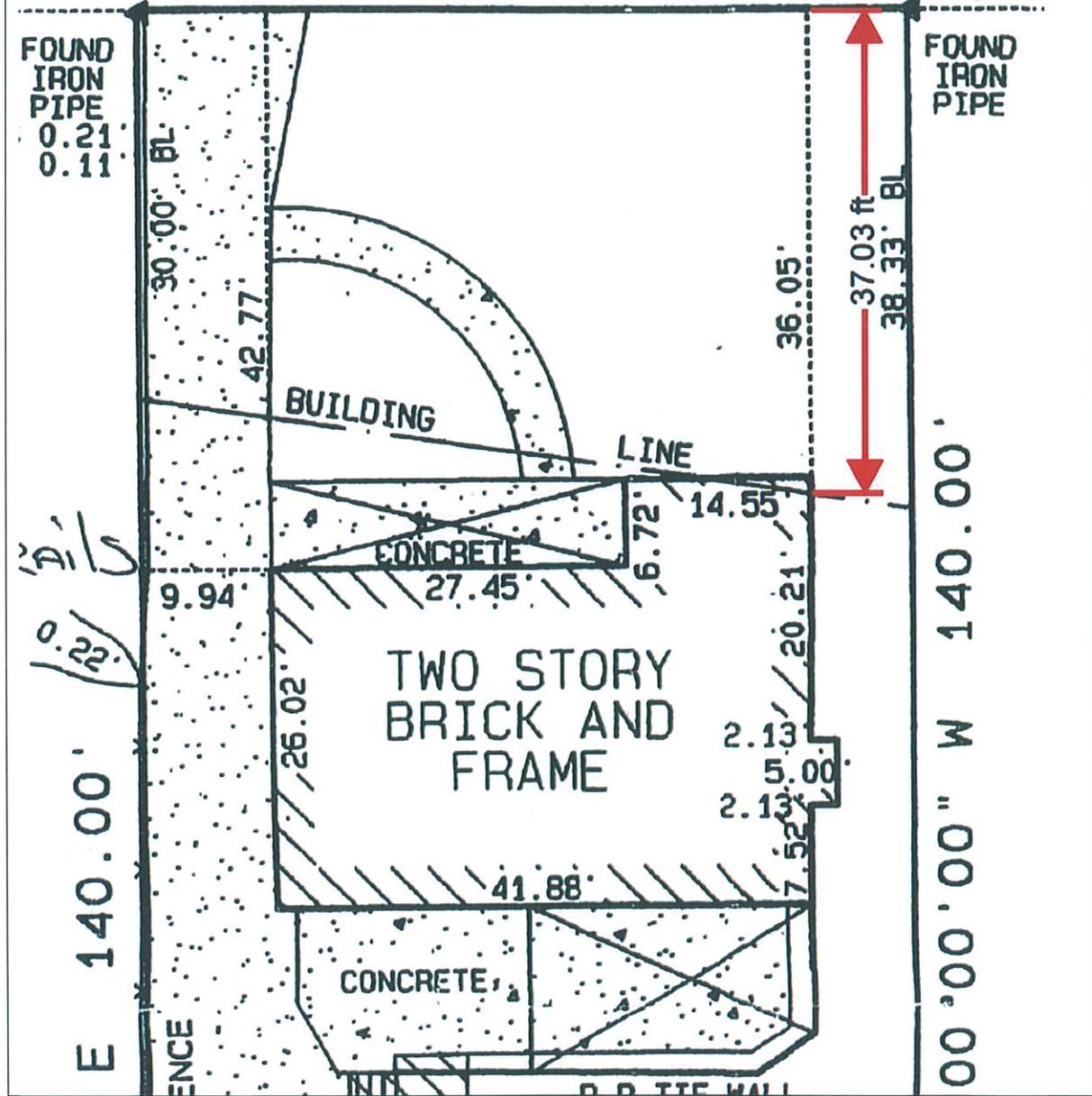
- Provide an illustration of the lot grounds showing the lot zoned into drainage areas. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.
- For each drainage area zone, note the land area within the zone.
- For each drainage area zone, note the amount of existing impervious area within the zone.
- For each drainage area zone, note the amount of proposed impervious area within the zone.
- Provide both the existing and proposed site conditions identified in the Site Plan.
- For each drainage area zone, provide differential run-off calculations of each drainage area based on a 15-year 20-minute storm.
- Provide details and specifications of all proposed acceptable Urban post-construction stormwater BMPs.

Encroachment

BEVERLY (50' W) DRIVE

(EASEMENT IN R/W 952/19, 915/590, 882/538)

S 89°57'00" E 60.00'





...in the center of it all

City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Ron Keever (owner)
Company Name: Keever Design Build
Address: 105 Bon Chateau City: St Louis Zip Code: 63141
E-mail Address: RKeever@sbcglobal.net Phone Number: 314, 795-0233

As the applicant, which of the following apply:

- Developer, Contractor (checked), Owner, Registered Engineer, Registered Architect, Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction, Major Residential Addition and/or exterior modification (checked), Accessory Structure, Other (Site Plan Review)

PROPERTY INFORMATION

Address of Property: #20 Beverly
St. Louis County Tax ID No.
Legal Description of Property:

OWNERSHIP (If applicant is not the owner):

Name of Owner: Andrew & Karen Loiterstein
Mailing Address: 20 Beverly City: Olivette Zip Code: 63132
Phone Number: 314, 993-4357 E-mail:

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

Signature: Ron Keever
Date: 3-3-16

**CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN COMMISSION
MEETING MINUTES
APRIL 7, 2016**

The City of Olivette Planning and Community Design Commission met on April 7, 2016, at 7:00 PM in the City Council Chambers of the Olivette Government Center addressed as 9473 Olive Boulevard, Olivette, Missouri. Carol Waggoner presiding as Acting Chair called the meeting to order. Commission Member Nathan Gould served as the acting secretary.

1. ROLL CALL:

On roll call, the following members were present: Larry Gerstein, Nathan Gould, Rob Jurgiel, Jodie Rich, and Carol Waggoner.

Also in attendance were: City Council Member Missy Waldman and Director of Planning and Community Development Carlos Trejo.

A quorum being present, Ms. Waggoner declared the meeting in session for the transaction of business.

2. REVIEW OF COMMISSION PROCEDURES:

Ms. Waggoner noted the meeting procedures, the types of actions taken by the Commission, and opportunities for public comment.

3. CONSENT BUSINESS:

- A. 43 Enfield Road, Petition for Community Design Review and Site Plan Review**
Description: 303 sf. Addition & 153 sf. 2-Story Front Addition
Petitioner: Mike Dinzebach, M. Dinzebach Construction, Inc.
Property Owner: Rebecca & Joseph Schulz

Mr. Trejo summarized the review process for the petition noted above

Acting Chair Waggoner asked if there were any questions from the public regarding the petition.

Mike Dinzebach, M. Dinzebach Construction, Inc. spoke in favor of the process.

Mr. Gould motioned to approve the Petition for Community Design Review and Site Plan Review for a residential addition at 43 Enfield Road, as presented in the Memorandum from the Department of Planning and Community Development dated April 7, 2016, subject to any staff conditions noted therein. Motioned seconded by Mr. Jurgiel. On a voice vote, the motion passed unanimously, 5-0.

4. OLD BUSINESS:

None

5. NEW BUSINESS:

- A. 9761 Lindley Drive, Petition for Community Design Review & Site Plan Review**
Description: New Single Family Residence
Petitioner: Doug Cohen, Douglas Properties
Property Owner: Doug Cohen Real Estate

Mr. Trejo summarized the Petition. He noted Stormwater issues regarding the neighborhood, meeting with neighbors of adjacent properties, and working on comprehensive Stormwater management solution.

Acting Chair Waggoner asked if there were any questions from the public regarding the petition.

Doug Cohen, Douglas Properties, spoke about Stormwater issues.

Ted Corrigan, 9733 Lindley Drive, spoke about Stormwater issues.

Commission deferred action on this petition to allow staff, the petitioner, and neighbors an opportunity to resolve Stormwater management plans.

6. OTHER BUSINESS:

A. Meeting Minutes

Mr. Jurgiel motioned to acknowledge the meeting minutes for March 10, 2016. Motioned seconded by Mr. Gould. On a voice vote, motioned passed 5-0.

7. DISCUSSION ITEMS:

- A. Olivette Strategic Plan: Dynamic Sense of Place, as adopted August 2006**

This item has been deferred.

8. REPORTS:

A. Planning and Community Development Report

Mr. Trejo noted new business activity, update on the RFP for I-170 Interchange Area.

B. City Council Liaison Report

City Council Member Waldman provided an update on City Council activities.

C. Commissioner Reports

There was no Commission report.

10. ADJOURNMENT:

Ms. Waggoner asked if there were any further questions or comments. Being none, the meeting adjourned at 8:00 PM.

Acting Secretary Nathan Gould

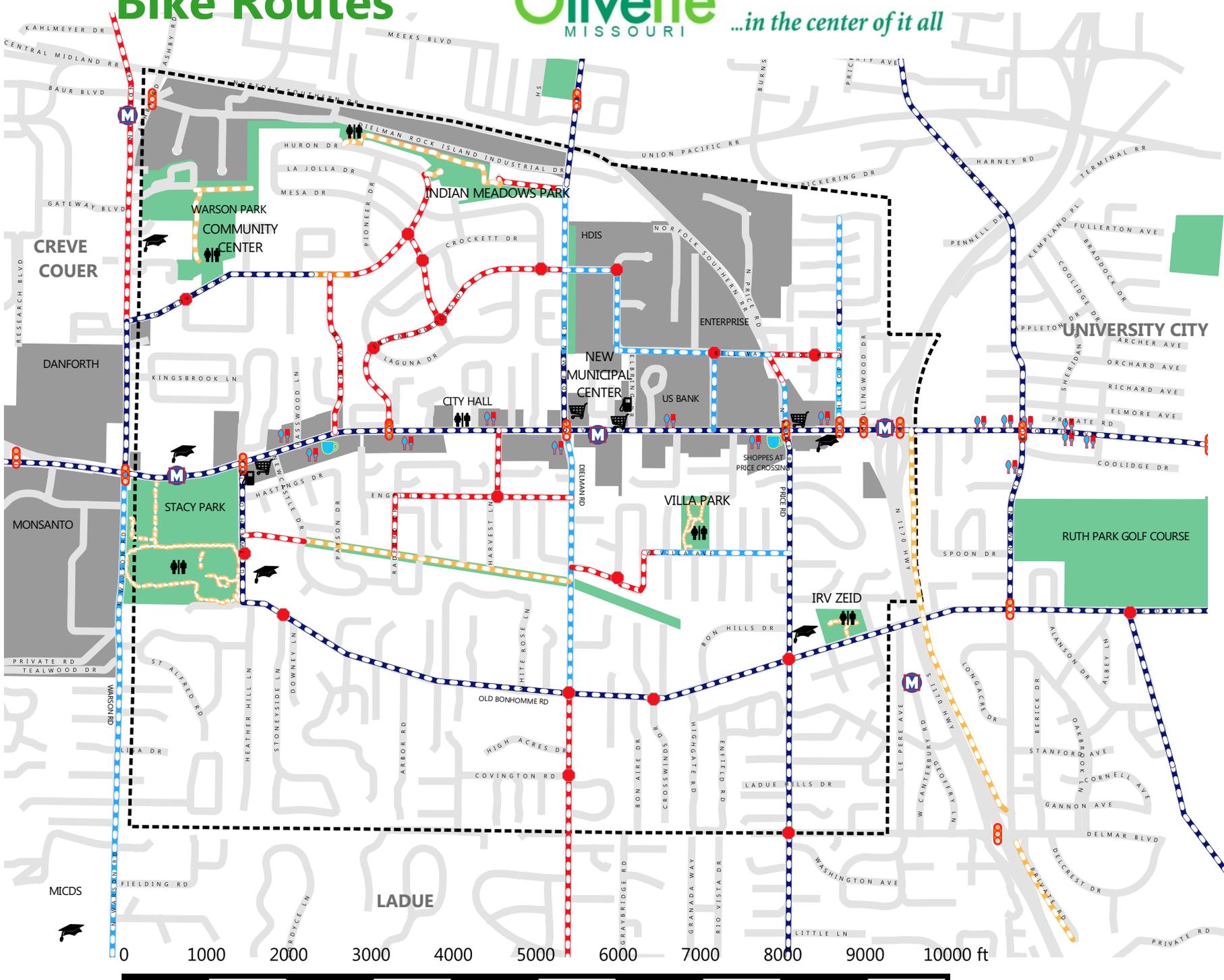
Acting Chair Carol Waggoner

Adopted: 2016 xx-xx

Bike Routes

Olivette
MISSOURI

...in the center of it all



- Municipal Boundary
- Park
- Employment Area
- Traffic Signal
- Stop Sign
- Bus Stop
- Air
- Coffee
- Convenience Store
- Restaurant
- Restroom & Water
- School

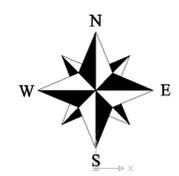
Share the roadway with motor vehicles.

Share the roadway with motor vehicles. Sidewalk is available on both sides of the street.

Share the roadway with motor vehicles. Sidewalk is available on one side of the street

Paved trail open to bicyclist and pedestrians

91 Olive & 97 Delmar



City of Olivette Public Services
Department of Planning & Community Development
April 2016

