



AGENDA
FOR THE CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN COMMISSION
MEETING OF MAY 26, 2016
AT 7:00 PM
IN THE OLIVETTE CITY COUNCIL CHAMBERS
AT CITY HALL GOVERNMENT CENTER
LOCATED AT 9473 OLIVE BOULEVARD

1. Roll Call

2. Review Of Commission Procedures

3. Consent Business

A. 11 Heather Hill Lane

Amendment to Active Community Design Review for:
Proposed Rear Porch Addition to an active building permit for a new single family residence
Petitioner: Doug Cohen, Douglas Properties
Owner: Douglas-Rosenblum, LLC
Documents:

[HEATHER HILL LN NO 11 CDR ADDENDUM PLANS.PDF](#)
[HEATHER HILL LN NO 11 ADDENDUM SR ATTACHMENTS 2016 05 20.PDF](#)

B. 9601 Ashmont Drive

Site Plan, Community Design, and Concept Stormwater Management Review
Proposed 2-Level New Single Family Residence
Petitioner: Doug Cohen, Douglas Properties
Owner: Doug Cohen Real Estate
Documents:

[ASHMONT DR NO 9601 SR ATTACHMENTS 2016 05 20.PDF](#)
[ASHMONT DR NO 9601 PLANS 2016 05 17.PDF](#)

C. 642 Radford Drive

Site Plan, Community Design, and Concept Stormwater Management Review
Proposed 2-Level New Single Family Residence
Petitioner: Doug Cohen, Douglas Properties
Owner: Doug Cohen Real Estate
Documents:

[RADFORD DR NO 642 PLANS 2016 04 27.PDF](#)
[RADFORD DR NO 642 SR ATTACHMENTS 2016 05 20.PDF](#)

4. Old Business

5. New Business

A. 9617 Ashmont Drive

Site Plan Review for:
Fence variance to install privacy fence along the northern front yard setback.
Petitioner proposes to install a 6-foot, white vinyl fence along the front yard setback of Engel Lane for a lot with 3-front yards.
Petitioner: Cory Block, 9617 Ashmont LLC
Property Owner: 9617 Ashmont LLC

Documents:

[ASHMONT DR NO 9617 FENCE VARIANCE PLANS SR.PDF](#)

B. 9321 Old Bonhomme Road

Site Plan Review for:
Fence variance to reinstall privacy fence along the western front yard setback
Petitioner proposes to install a 6-foot, wooden fence along the front yard setback of Sleep Hollow Lane for a lot with 3-front yards.
Petitioner: STL Fence Works
Property Owner: Pam Taylor

Documents:

OLD BONHOMME RD-NO 9321 SR AND ATTACHMENTS.PDF

- C. Text Amendment Chapter 400 Zoning Regulations, Article IX "LID" Light Industrial District
Amend Section 400.840 Special Permit Uses to permit by Special Permit Use Adult Entertainment Businesses or Establishments within the "LID"
Petitioner: City of Olivette
Documents:

DM-TA TO LID DISTRICT REGARDING ADULT ESTABLISHMENTS.PDF

- D. Text Amendment For Review Procedures For Site Plan, Community Design, And Stormwater Management Under Title IV Land Use Of The Olivette Municipal Code
Description: Amend Review Procedures for Site Plan Review under Chapter 400 Zoning Regulations, Community Design Review under Chapter 425, and Concept Stormwater Management Plan under Chapter 422 Stormwater Management
Petitioner: City of Olivette

6. Other Business

- A. Meeting Minutes

7. Discussion Items

- A. Stormwater Management
Regulations pertaining to Chapter 422 Stormwater Management

8. Reports

- A. Planning And Community Development Report
B. City Council Report

9. Adjournment

AGENDA ITEMS WILL NOT NECESSARILY BE DISCUSSED IN ORDER. IF YOU HAVE ANY QUESTIONS, PLEASE CALL CITY HALL AT (314) 923-0444.

THE NEXT SCHEDULED MEETING IS JUNE 2, 2016

The City of Olivette hereby advises the public, employees and qualified job applicants that they are afforded an equal opportunity to participate in the programs and service of the City regardless of race, color, religion, sex, age, disability, familial status, national origin or political affiliation. If you are a person with a disability and have special needs, please call Barbara Sondiq, City Manager at 314.923.0444 as soon as possible but no later than one day prior to the event or call 314.923.3610 VOICE TDD, 1.800.735.2486 RELAY MISSOURI. Thank you.

Posted this 20th day of May, 2016 at 11:30 AM.

Myra Bennett

Myra G. Bennett, CIM/MPCC

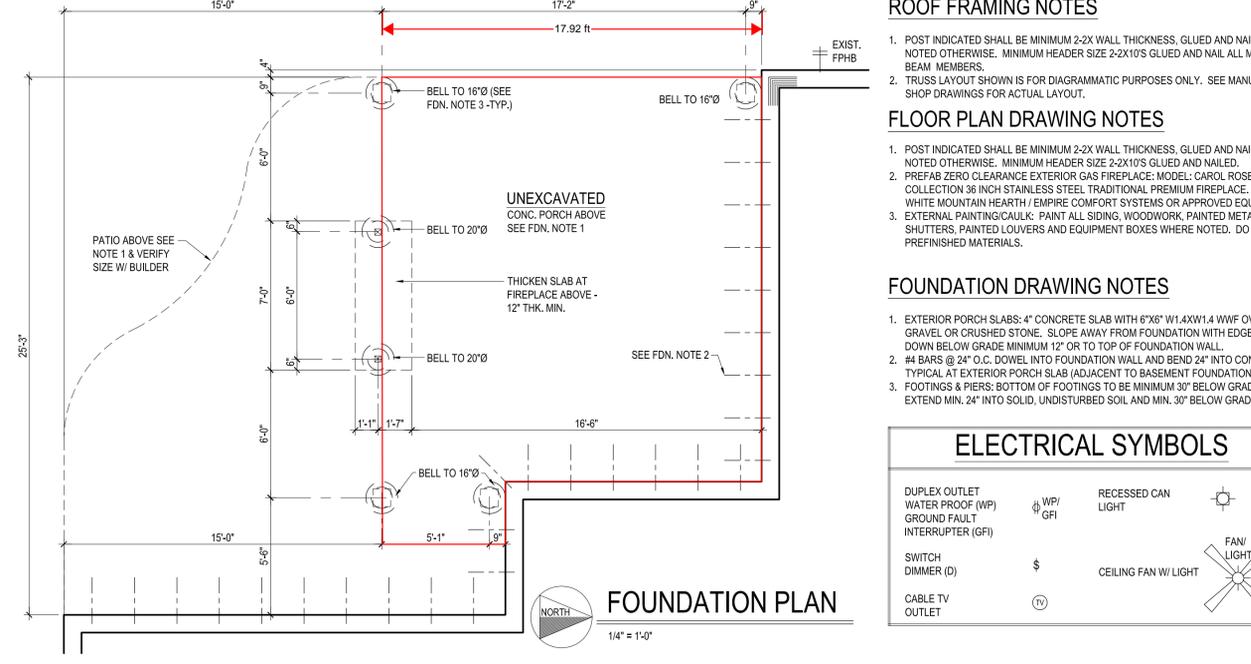
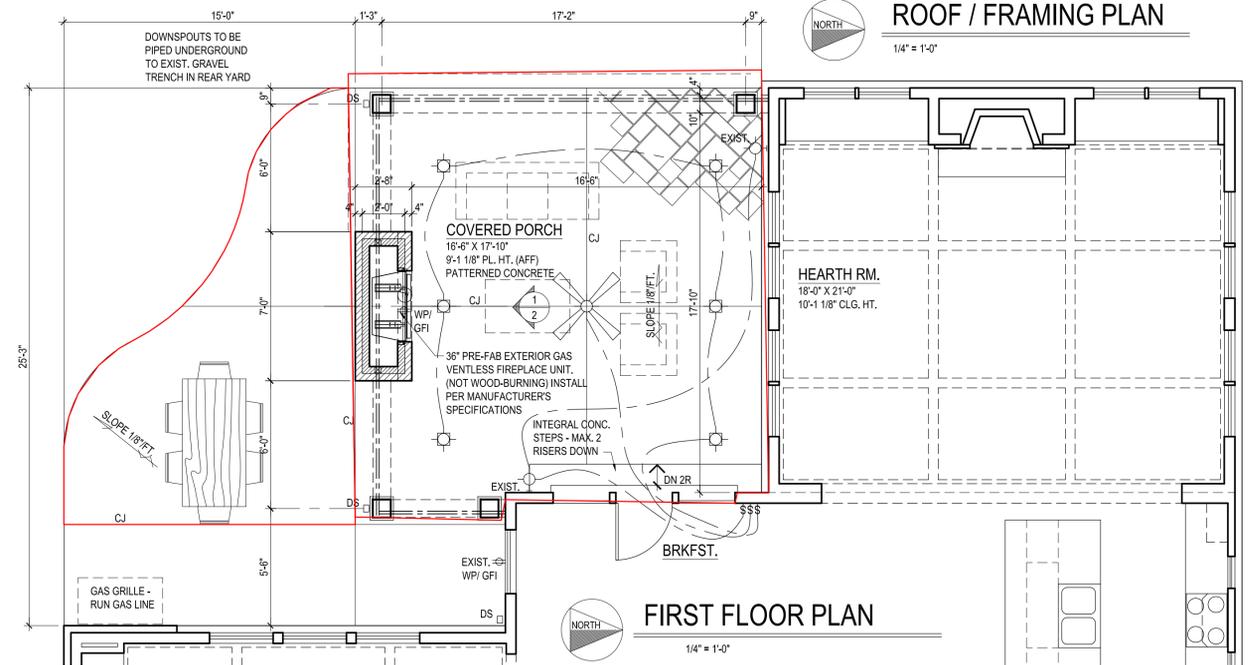
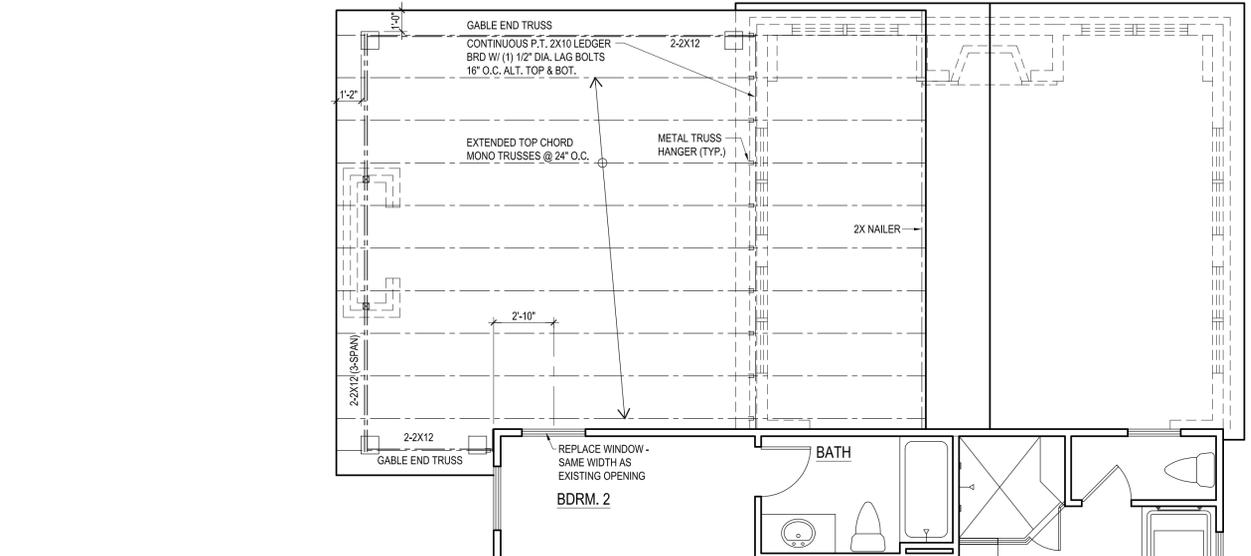
City Clerk

City of Olivette

GENERAL NOTES

- DIVISION 1 - GENERAL REQUIREMENTS**
- Examination of Documents and Project Site:** Contractors warrant they have carefully examined the drawings, read the specifications and visited the site to verify, topography, site restrictions existing conditions and that his bid includes all items necessary to perform the work. Prior to beginning the work, promptly notify the architect of any discrepancies or errors discovered in the documents. Do not scale drawings. Follow written dimensions only. Only written interpretations or documented changes from the architect are binding. Architect will not be responsible for oral instruction.
- Codes & Permits:** All work shall be done in accordance with all applicable local codes, ordinances, state and federal codes. Notify architect immediately of any inconsistencies. Contractor shall bear correction cost if he knowingly performs any work contrary to the regulations. Building and fire district permit approval must be obtained before construction starts.
- Copyright:** These plans are the sole and absolute property of the Architects. Any use, copying or reproducing of these plans without the express written consent of Jim Bulejski Architects is illegal. The architect takes no responsibility for work that does not bear his seal and signature.
- Substitutions of materials and equipment:** Certain materials and equipment are specified by manufacturer or trade name to establish minimum standards of quality and performance and not for the purpose of limiting competition. Material suppliers or phone numbers may be included as a convenience and purchase may be made through any competent source. Base bid shall include products specified unless the owner or architect approves the proposed substitution. Contractor suggesting substitutions shall include cost differences. Contractor shall take full responsibility and bear all cost associated with any effect these substitutions have on other trades or on construction in general. Contractor shall strictly adhere to manufacturer's installation instructions.
- Indemnities:** The Contractors shall indemnify, protect, defend and save, and hold harmless the Owner and Architect from and against any and all claims, demands, liability, and costs, including attorney's fee, arising from injury to persons during the life of this contract.
- Notification in Event of Liability or Damage:** In the event of the happening of anything, liability for which is herein assumed by either the contractor or the owner or the architect, the contractors agree to notify the architect and owner in writing which notice shall forthwith give the details as to the happening.
- Guarantees:** General contractor shall provide owner with post construction walk through at approximately eleven months after construction is complete to review the work performed in this contract. The contractor shall, include in this contract, provisions to correct "within reason" any defects (settlement, shrinkage, door or window adjustments needed) in the work which may appear within twelve months after the date of Final Payment to the contractor or within such longer period of time as may be prescribed by law. The contractor shall not be responsible for general maintenance or to compensate for homeowners neglect. The contractor and his subcontractor's warrant that all materials and equipment shall be new, unless otherwise specified, and that work shall be of good quality and free of defects. In addition, the contractor shall assume full responsibility for any damage to the building and its contents caused by defects or improper installation of equipment or materials. Provide owner with receipts and warranty information on all items that carry a manufacturer's warranty.
- Acceptance of Previous Work:** Commencement of work by any trade indicates acceptance of previous work by others to be suitable for proper application of a subcontractor's work unless the owner is given a written notice of damage or defective workmanship and the possible effects upon the succeeding work. It is the responsibility of each subcontractor to notify the general contractor and architect of any problem before beginning construction.
- Hazardous Materials:** The architect and the architect's employees and consultants shall have no responsibility for the discovery, presence, handling, removal, or disposal of, or exposure of persons to hazardous materials in any form at the project site, including, but not limited to asbestos, asbestos products, polychlorinated biphenyl (PCB) or other toxic substances.
- General contractor responsibility includes and is not limited to the following:** Verify and coordinate all openings & inserts for mechanical, plumbing and electrical work as required for their installation and per drawings. Provide all necessary temporary bracing, shoring, guying, or other means to avoid excessive stresses and to hold structural elements in place. Shall be responsible for damage to owner's or other's property done by him or individuals in the contractor's employ, or through negligence.
- DIVISION 2 - SITE WORK**
- 2.1 **Flood plain:** Basement floor elevation must be above 100 year flood plain. low sill must be minimum 2 feet above flood plain elevation.
- 2.2 **Soil bearing capacity:** General Contractor to hire a soils engineer licensed in the state of Missouri for soil testing, the owner shall be required to pick up the cost of these services. The architect shall be informed of the engineer's written recommendations and shall review prior to the work proceeding. If less than 1500 psf. soil bearing capacity, redesign may be required. All footings and column pads shall bear a virgin soil. The architect and owner shall be notified during excavation if additional excavation is required.
- 2.3 **Finish Grading:** Finished grades of the bldg. to be a min. of 6" below top of foundation for wood frame and 4" below for wood frame with brick veneer. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated. Grade shall slope away from foundation a minimum of a 6" drop within the first 10' or to a swale.
- 2.4 **Existing Topsoil:** Carefully scrape up an area of new construction only. Stockpile topsoil on site in area that does not disturb any existing trees, and redistribute on site during finish grading.
- 2.7 **Backfill and fill:** Backfill shall be free of all free roots, large rocks construction debris.
- 2.14 **Concrete Patio or Walkway:** 4" concrete walk with 6" x 6" W14 x @ 14. WWF over minimum 4" crushed stone. Slope to drain water.
- 2.15 **Concrete Expansion/Control Joints:** At drives and walks 1/2" expansion joints with premoled filler at maximum 15 ft OC. and at building junctures. Control joints to be 1/4" wide at least 1" deep at maximum 6 feet OC.
- DIVISION 3 - CONCRETE**
- 3.1 **Compressive strength of concrete at 28 days shall be minimum:**
- a. 2500 psi - basement slabs.
 - b. 3000 psi - foundation, basement walls, footings, and piers.
 - c. 3500 psi - porches, walks, patios, garage slabs, and driveways.
- 3.2 All concrete shall be air-entrained in accordance with IRC.
- 3.3 **Admixtures used** must conform with IRC and be approved by the architect.
- 3.4 **Footings & piers:** must be a minimum of 2'-6" below finished grade and bear on undisturbed soil or prepared fill.
- 3.5 **Exterior footings & piers** shall extend a minimum of 12" into undisturbed soil and at least 30" below finished grade.
- 3.6 **Horizontal Reinforcing:** per 2009 IRC table GC-1201.
- 3.8 **Protect concrete, isolation, and control joints** as indicated or required. Locate joints so as to not impair strength or appearance of structure.
- 3.9 **Provide concrete** from weather extremes during mixing, placing and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.
- DIVISION 4 - MASONRY**
- 4.1 **General Masonry:** 1" min. air space between veneer and sheathing. Brick veneer shall be anchored to the supporting wall with corrosion resistant corrugated sheet metal wall ties with min. 22 gage by 7/8" ties (or 2 piece hot dipped galvanized placed not more than 24" on center horizontally and vertically and shall support no more than 2.67 square feet of wall area. Construct a sample panel at the job site for owner's approval before ordering. Mortar: ASTM C 270.
- Provide flashing and weeps at least 3/16" in diameter spaced less than 24" apart over all wall openings and at foundations, typical.
- Provide ASPHALT COATED COPPER FLASHING (min. 16" wide sheets) and weeps (min. 3/16" x at max. 24" OC over all wall openings and at foundations typical. Provide Tyvek House Wrap over sheathing, behind veneer.
- DIVISION 5 - STRUCTURAL STEEL**
- 5.1 **Steel to be minimum A36 grade steel.** All steel beams minimum 3" bearing to be grouted solid into beam pockets with "non-shrink" grout. All steel beams, columns, and lintels to be shop primed. Use steel Shims, Typ.
- 5.2 **Provide steel angle** at all masonry openings (I.N.O.). Verify size with architect if not indicated. Minimum 8" bearing on masonry.
- DIVISION 6 - WOOD FRAMING**
- Materials & Descriptions:**
- Sill plates:** 2x6 Pressure Treated installed over fiberglass sill sealer. Grout level as required.
- Posts:** (2) 2x to be interpreted as (2) 2x "triples", glued and nailed, plus minimum (1) full height unbroken stud all posts to be blocked solid to top of structure below. studs used as posts to be spruce-pine-fir. minimum post size 2-2x wall thickness, typical under all beams and headers. Use Exception: posts carrying minimal loads, less than 8'-0" in height and supporting headers spanning 3'-0" or less may consist of a single 2x triple and (1) full ht. unbroken stud unless noted otherwise.
- Headers:** minimum 2-2x10's glued and nailed unless noted otherwise. Typical at all doors and windows. Glue and nail all beams together.
- Exterior Wall Sheathing:** APA rated sheathing exposure 1, span rating 24/16, (17/16" OSB) or 32/16, (15/32" plywood) 1/2" nominal. Use plywood under EIFS not OSB! Bracing shall comply with IRC.
- Roof Sheathing:** APA Rated Sheathing, Exposure 1, span rating 32/16, 15/32" plywood 1/2" nom. w/ plyclips.
- T & G Wood Bead Board Ceiling:** Standard available 1x6 (23/32) Tongue & Groove with "V" groove at each joint on each side, surfaced one side in cedar or pine. Typical where noted on plans. (Bach prime before installation at exterior use).
- Nailing:** Nailing and Fastening of floor, wall, and roof assemblies shall be fastened in accordance with tables R602.3(1) through R602.3(4) gypsum sheathing shall be fastened in accordance with table R602.3(1) rafter/ceiling joint systems shall be nailed to the top plate of the wall in accordance with table R602.3(1). Trusses shall be nailed to the top plate of the wall with 3-16d nails toe nailed without splitting the end of the truss. All fasteners (nails, bolts, hangers, flashing, etc.) that come into direct contact with ACD Preservative Treated Wood to be hot dipped galvanized or stainless steel.
- Exposed Exterior Materials:** To be approved exterior grade. Typical. Exterior metal connectors shall be galvanized.
- 6.11 **Roof Over Framing:** Minimum 2x6 at 16" oc (max. 10'-0" span) UND, with 2x4 1/2" plate anchored through roof sheathing into solid blocking -- or -- truss the over framing where possible, cut openings in sheathing to vent to attic.
- 6.12 **Truss Requirements:**
- a. Trusses to be designed by others and shall comply with 2009 IRC, ANSI/AF&PA NDS-2001, and ANSI / TPI 1-2002 as the design standards. **Fabricator's Responsibilities** include but are not limited to designing all connections and truss to truss connections. All trusses must be designed to resist horizontal thrust. No horizontal thrust shall be applied to any walls. All trusses to be two (2) joint bearing unless noted otherwise. Trusses to be designed to minimize total deflection. Compound deflection must be taken into account when designing truss system. **Total Load Deflection** of truss system not to exceed 1/360. **Scissor Trusses** with horizontal movement greater than 1/2" to be anchored with TC simpson anchors on one end, or approved equal.
 - Truss supplier to provide **shop drawings**, product data for all truss components, stress diagrams (which have been signed and sealed by a structural engineer licensed with International Engineering in Missouri) and a truss layout plan showing all truss locations, hangers, connectors, spacing, pitch, girders and cross bracing. Fabricator shall coordinate his work with the architectural/structural plans and notify the architect at variations prior to fabrication. General contractor is responsible for checking and coordinating truss drawings. General contractor shall submit truss drawings to the architect for review for general performance with the construction documents. All variations must be brought to the attention and approved by the architect.
 - b. All roof framing shall be designed to support the following minimums:
 - Top chord of trusses snow load 20 lb. per sq. ft., approx. 10 lb. per sq. ft. dead load or roof rafter. use actual dead load (note: dead load must include 2 layers of roofing)
 - Ceiling joists or use a live load of 20 lb. per sq. ft. when there is attic storage.
 - Bottom chord of trusses use 10 lb. per sq. ft. live load where there is no attic storage. dead load-use actual dead load.
- DIVISION 7 - THERMAL AND MOISTURE**
- 7.1 **Damproofing / Waterproofing:** Walls that retain earth and enclose interior spaces shall be waterproofed or damproofed depending on the presence or non-presence of groundwater. An evaluation of the soil for the presence or absence of ground water is required prior to pouring concrete. **No Groundwater Present:** Provide perforated drain pipe inside or outside of foundation. Drainage system shall discharge by gravity to daylight or be connected to an approved sump. Walls shall be damproofed with a bituminous material, 3 lb. per sq. yd. of acrylic modified cement, 1/8" coat of surface bonding mortar, or by any of the materials permitted for wall waterproofing. **Groundwater Present:** Provide perforated drain pipe both inside and outside of foundation. Drainage system shall discharge by gravity to daylight or be

- connected to an approved sump. Foundation to be "waterproofed" with approved system per manufacturer's instruction in accordance with R46.2 waterproofing to be applied from the top of the footing to the finished grade. All joints in walls and floors to be water tight.
- 7.2 **ROOFING:** Provide and install the roofing shown on the drawings and everything required to complete a good weather tight roof installation that meets the manufacturer's warranty. (Verify final color selections with owner.)
Roofing shall be: Match existing asphalt shingles.
General Roofing: Asphalt shingles shall not be installed on roof slopes below (2:12). (Verify with manu.) (Class A, B, or C roofing shall be required where the edge of the roof is less than 3' to the property line.)
Felt Underlayment: Minimum type 1 Per ASTM D226-97A or Type 1 Per ASTM D4869-88(1993E) (commonly called 15# asphalt felt). Slopes of 2:12 to less than 4:12 shall be protected with two layers of underlayment. Apply a 7" strip of underlayment felt parallel with and starting at the eave, fastened sufficiently to hold into place. Starting at the eave, apply 36" wide sheets of underlayment. Successive 36" wide sheets of underlayment shall overlap the previous 36" wide sheet by 10". All underlayment shall be fastened sufficiently to hold into place. Slopes equiling or exceeding 4:12 shall be protected with one layer of underlayment. Underlayment shall be applied shingle fashion, parallel to and starting from the eave and lapped 2", fastened sufficiently to hold in place. End laps shall be offset by 6".
Ice and Water Shield: is required under shingles/roofing of 2 layers of type 1 underlayment (cemented together or an approved waterproofing membrane extending from the edge of the eave to at least 24" (measured horiz.) inside the exterior wall line where the roof slope is greater than or equal to 4:12 and the eave overhang is less than 32" (measured horizontally) from the sheathing to the outside face of the gutter board, or where the roof slope is less than 4:12 and greater than or equal to 2:12.
Roof Flashing: provide corrosion-resistant flashing at all wall and roof intersections, changes in roof slope or direction, around all roof openings, intersections with chimneys, intersection of exterior walls and porches and decks, etc. Installed per SMACNA. Valley flashing shall be installed per R505.2.8.2.
Metal flashing shall be 26 gauge galvanized steel. Upgrade to min. 16 oz. copper flashing where noted on drawings.
Rotted roofing or two (2) layers of Type 1 underlayment may be substituted for flashing at the roof valley provided the shingles are interlocked. Underlayment substituted for valley flashing shall be installed to extend at least 18" beyond a roof valley or hip from either direction. Flashing at these locations is required.
Ridge Vents: Dn/Ridge by Lomaco.
7.3 **GUTTERS & DOWNSPOUTS:** All gutters and downspouts to be sized and located by others, and be installed per "SMACNA" recommendations. Verify all downspout locations with owner. Gutters shall be seamless minimum 1" EDDT 61 prefinished aluminum gutters (with leaf screens), well sealed and watertight, with oversized downspouts. Verify color with owner. Install downspouts as indicated on plans if shown with at least 1" downspout per 25' gutter run. Downspouts shall discharge to "splash blocks" directed away from foundation. Provide owner with optional price to connect downspouts to, separate 1" dia. Non-perforated underground drainage system, which is connected to storm sewer, or "day lighted" install screened end caps where drain tile discharges to daylight. Gutters and downspouts required on roof overhangs less than 36".
7.6 **Sealing and Sealants:** Exterior joints around windows and door frames, between wall and penetrations for utility service through walls, floors and roof and all other openings in the exterior envelope shall be sealed in an approved manner. Weather stripping is required on all exterior windows and doors. Corrosion resistant flashing is required at the top and sides of all exterior doors and windows and at the intersection of all masonry and frame construction. Sill seal is required at foundation.
Sealant used shall be **Vulkem 116** as manufactured by Tremco.
7.7 **Sheet Metal and Flashing (other than roof flashing):** shall be minimum 26-gauge aluminum with baked on enamel finish where exposed. Comply with "Architectural Sheet Metal Manual" by SMACNA.
7.10 **Weather-Resistant Sheathing Paper:** asphalt saturated felt 1# per square otherwise known as type I felt, Tyvek, Typar, or other approved weather resistant material shall be installed under siding and brick/stone veneer listed in table R703.4.
- DIVISION 8 - WINDOWS AND DOORS**
- 8.1 All fenestration (windows, doors, and skylights) U-factors shall be in accordance with NFRC 100 and labeled and certified by the manufacturer.
- 8.5 **Glazing:** all windows shall have a minimum U value of .35.
Glazing installed in the following locations shall be tested and labeled in accordance with CPSC 16 CFR part 1201 Standard as a Type I or II category.
1. Glazing in doors and any portion of a building wall enclosing bathtubs, showers, indoor or outdoor pools which is located 60" or less, measured horizontally, from the water's edge and less than 60" vertically above a standing surface.
2. Any glazing material adjacent to a door if the nearest vertical edge of the glazing material is within a 24" arc of either vertical edge of the door in a closed position and if the bottom edge of the glazing material is less than 60" above the floor.
Exceptions: Where there is an intervening wall or barrier to prevent a person from striking the glazing while approaching the door... Glazing adjacent to a door serving a closet or storage area 3' or less in depth, decorative glass.
3. Safety Glazing is required for fixed or operable panels that meet all of the following:
a) individual pane greater than 9 sq. ft. and;
b) bottom edge less than 18" above floor and;
c) top edge more than 36" above floor and;
d) walking surface within 36" horizontally.
4. All doors. **Exception:** decorative glass.
- DIVISION 9 - FINISHES**
- 9.5 **PAINTING:** shall be done using highest quality Porter Paints, Benjamin Moore, or equal paint approved by the owner. Owner will pick a variety of interior colors. Verify all color selections with owner. Painting shall include finishing all built-in custom millwork cabinets that are not pre-finished.
Painted interior woodwork and doors shall be painted with minimum one prime coat and two finish coats of oil based semi-gloss enamel. All woodwork and doors shall be sanded smooth before painting or staining.
External Painting/Coats: Paint all woodwork, painted metals, shutters, painted louvers and equipment boxes. Do not paint prefinished materials.
9.8 **NON-COMBUSTIBLE FIREPLACE HEARTH & SURROUND:** shall be selected by owner from allowance for labor and materials. Install per manufacturer's recommendations.
- DIVISION 13 - SPECIALTIES**
- 13.1 **Pre-fab Fireplace Unit:** Note that framing carpenters and general contractor shall carefully review pre-fab fireplace unit installation instructions before framing enclosure for fireplace, and before installing unit. Comply carefully with all manufacturers instructions, fire stopping requirements (including local fire stopping requirements) and clearances. Fire stop all chases with non-combustible fire stops wherever chases exceed 8'-0" in height. Do not alter or remove the fireplace or its components under any circumstances. Any modification or alteration of the fireplace system, including but not limited to the fireplace, chimney components and accessories, may void the warranty, listings and approvals of this system and could result in an unsafe and potentially dangerous installation. Fireplace units shall be equipped with an exterior air supply to assure proper fuel combustion. The air duct serving the exterior air intake and the interior air outlet shall be listed and installed in accordance with the manufacturer's installation instructions. The cross sectional area of the passageway shall be a minimum of 6 sq. in. but not more than 50 sq. in. unless otherwise noted in the installation instructions. The exterior air intake covered with a corrosion resistant screen of 1/4" mesh may draw air from a naturally ventilated crawl space or attic. The interior air outlet may be located in the back or sides of the fireplace chamber or within 24 in. of the firebox opening on or near the floor. The interior air outlet shall be closable and designed to prevent burning material from dripping into a concealed combustible space. Exterior air intakes shall be installed below the level of the base of the firebox when the interior air inlet is installed inside the fireplace chamber. Wood-burning fireplaces to have gasketed doors and outdoor combustion air.
- DIVISION 16 - ELECTRICAL**
- 16.1 **Work shall consist of all services** typically known as "Design/Build", and shall include the furnishings of construction documents as required, materials, labor, equipment and tools, to provide a complete and operable system of electric, power, and lighting.
16.2 All work to be installed in accordance with the all local codes, rules and ordinances. All materials to be used shall be approved by (I.U.L) Underwriters Laboratories.
16.3 All wiring from panel to house shall be copper.
16.4 **Panel Board** to be circuit breaker type electrical panels. Panels shall not be installed in bathrooms or clothes closets. Lighting is required in the vicinity of the electrical panel. Electrical panels in new construction shall not be installed in areas with less than 6'-6" headroom. A minimum clearance of 3'-0" deep and 30" wide is required in front of electrical panels. Counters and cabinets cannot be installed under the electrical panel. Electrical contractor to verify size required during bidding. Final electrical panel shall be sized by electrical contractor and included in electrical bid. Electric service shall run underground to the house. Fill out circuit breaker panel directory by brand or equipment name. All wiring from panel to house shall be copper.
16.5 **Grounding:** If the underground metal water pipe is used as the grounding electrode, the connection must be made to the pipe within 5'-0" of the point of entrance to the building. A supplemental grounding electrode shall be provided as specified in NEC sections 250-50 and 250-53. receptacle outlets for ranges and clothes dryers must be a 3-pole with ground type.
16.6 **Smoke detectors:** UL listed smoke detectors shall be located on each floor level in the vicinity of all bedroom entrance doors (bedroom hallway) and within each bedroom. Locate bedroom hallway detector upstream from any return air grille, if applicable. Floor levels that do not contain bedrooms shall have the detector located on the ceiling near the stairway. When more than one detector is required within the dwelling unit, the detectors shall be interconnected so that activation of one alarm will activate all alarms throughout the dwelling unit. The smoke detectors shall be covered and have battery backup. The installation shall also meet NFPA 72-96 07.
16.6b **Carbon Monoxide Detectors:** UL listed carbon monoxide detectors shall be located outside of sleeping areas, in the immediate vicinity of the sleeping areas. If the dwelling unit contains a fuel-fired appliance or has an attached or basement garage.
16.7 At least one **Lighting Device** is required in each attic, crawl space, basement, or utility room that is used for storage or contains heating, air conditioning, or other equipment requiring servicing. locate light switch at point of entry. All wires leading to electrical outlets and switches on walls in unfinished areas shall be in conduit.
16.8 **Ground Fault Circuit-Interruption** protection shall be provided for all 125 volt, single phase, 15 and 20 ampere receptacles installed in bathrooms, garages (except ceiling receptacle for door opener), outdoors (including inside screened enclosures), unfinished basement areas and crawl spaces except for laundry circuit and single receptacle dedicated to sump pumps. Receptacles intended to serve kitchen counter top surfaces, receptacles intended to serve the counter top surfaces of a wet bar that are located within 6'-0" of the outside edge of the wet bar sink.
Kitchen and dining area counter top receptacles shall be supplied by at least 2 different 20 amp circuits. receptacles installed face-up in counter work-surface are prohibited, at least one receptacle shall be installed to serve each island or peninsula counter space that is 24" x 12" or greater; at least 1 receptacle in laundry area supplied by a dedicated 20 ampere branch circuit.
16.9 **Interior Stairways** are to be provided with a minimum of 10 footcandle of light measured at every tread nosing. All exterior stairways serving the dwelling to have a minimum of 1 footcandle measured on the tread runs.
16.10 Interior stair-ways shall have lighting controls at each floor level. Switches must be operable from the top and bottom of the stairway without traversing any step of the stairway. All **exterior stairways** serving the dwelling shall have lighting controlled by controls inside the dwelling or automatically.
16.11 **Unfinished Storage Lighting:** At least 1 lighting outlet and one receptacle are required in each attic, crawl space, basement or utility room that is used for storage or contains heating, air-conditioning or other equipment requiring servicing. The light switch shall be located at the point of entry.
16.12 **Lighting in Clothes Closets:** Fixtures must have enclosed lenses. incandescent fixtures require 12" minimum clearances to storage and fluorescent fixtures require 6" minimum clearance.
16.13 **Fixtures at Bathbubs:** No parts of hanging fixtures, track lighting and ceiling paddle fans shall be installed within 3'-0" horizontally of a bathtub, measured from the outside edge of the tub and 8'-0" vertically from the top of the tub rim. Receptacles shall not be installed within a bathtub or shower space.
16.14 **Arc-Fault Circuit Interruption** protection shall be provided for all circuits supplying power to bedrooms.
16.15 Install wiring for special items as shown on plans, including but not limited to wiring for whirlpool tub, central vacuum system and all appliances and fixtures.
16.16 **Light Fixtures:** Recessed light fixtures to be Type "I.C." Recessed lights and to be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. Recessed lighting in thermal envelope to be air sealed. Heat lights, exhaust fans (which shall be extra quiet units), and ceiling fans shall be selected by owner based on allowance, but installed by electrical contractor. Verify all fixture types with owner before ordering. A minimum 50% of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps.
16.17 Electrician and Owner to walk through project prior to installation and confirm location of all electrical devices including but not limited to switches (confirm dimmers), light fixtures, outlets and telephones.
16.18 **Telephone:** Rough in telephone wiring and receptacles as indicated on drawings using cat. 6e. Telephone lines to the house shall run underground. All runs shall be home run to basement.
16.19 **Cable TV:** Rough in Cable TV and receptacles as indicated on drawings. Cable used shall consist of: 11 cat.6's, and 1 RG6 wires, quad shield. Terminate in 4" electric box. All runs shall be home run to basement. Provide outlet of cable entrance for power booster if required.



ROOF / FRAMING PLAN

FIRST FLOOR PLAN

ROOF FRAMING NOTES

1. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAIL ALL MULTIPLE BEAM MEMBERS.
2. TRUSS LAYOUT SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE MANUFACTURERS SHOP DRAWINGS FOR ACTUAL LAYOUT.

FLOOR PLAN DRAWING NOTES

1. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAILED.
2. PREFAB ZERO CLEARANCE EXTERIOR GAS FIREPLACE: MODEL: CAROL ROSE COASTAL COLLECTION 36 INCH STAINLESS STEEL TRADITIONAL PREMIUM FIREPLACE. MANUF.: WHITE MOUNTAIN HEARTH / EMPIRE COMFORT (OR APPROVED EQUAL. . .)
3. EXTERNAL PAINTING/CAULK: PAINT ALL SIDING, WOODWORK, PAINTED METALS, SHUTTERS, PAINTED LOUVERS AND EQUIPMENT BOXES WHERE NOTED. DO NOT PAINT RECESSED MATERIALS.

FOUNDATION DRAWING NOTES

1. EXTERIOR PORCH SLABS: 4" CONCRETE SLAB WITH 6"X6" W1.4XW1.4 WWF OVER MIN. 4" GRAVEL OR CRUSHED STONE. SLOPE AWAY FROM FOUNDATION WITH EDGES TURNED DOWN BELOW GRADE MINIMUM 1/2" OR TO TOP OF FOUNDATION WALL.
2. #4 BARS @ 24" O.C. DOWEL INTO FOUNDATION WALL AND BEND 24" INTO CONCRETE SLAB. TYPICAL EXTERIOR PORCH SLAB (ADJACENT TO BASEMENT FOUNDATION WALL).
3. FOOTINGS & PIERS: BOTTOM OF FOOTINGS TO BE MINIMUM 30" BELOW GRADE. PIERS TO EXTEND MIN. 24" INTO SOLID, UNDISTURBED SOIL AND MIN. 30" BELOW GRADE.

ELECTRICAL SYMBOLS	
DUPLEX OUTLET WATER PROOF (WP) GROUND FAULT INTERRUPTER (GFI)	RECESSED CAN LIGHT
SWITCH DIMMER (D)	FAN / LIGHT
CABLE TV OUTLET	CEILING FAN W/ LIGHT

date: 4/21/15
revised: 4/27/16

COVERED PORCH: 4/27/16

JIM BULEJSKI ARCHITECTS

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Douglas Properties

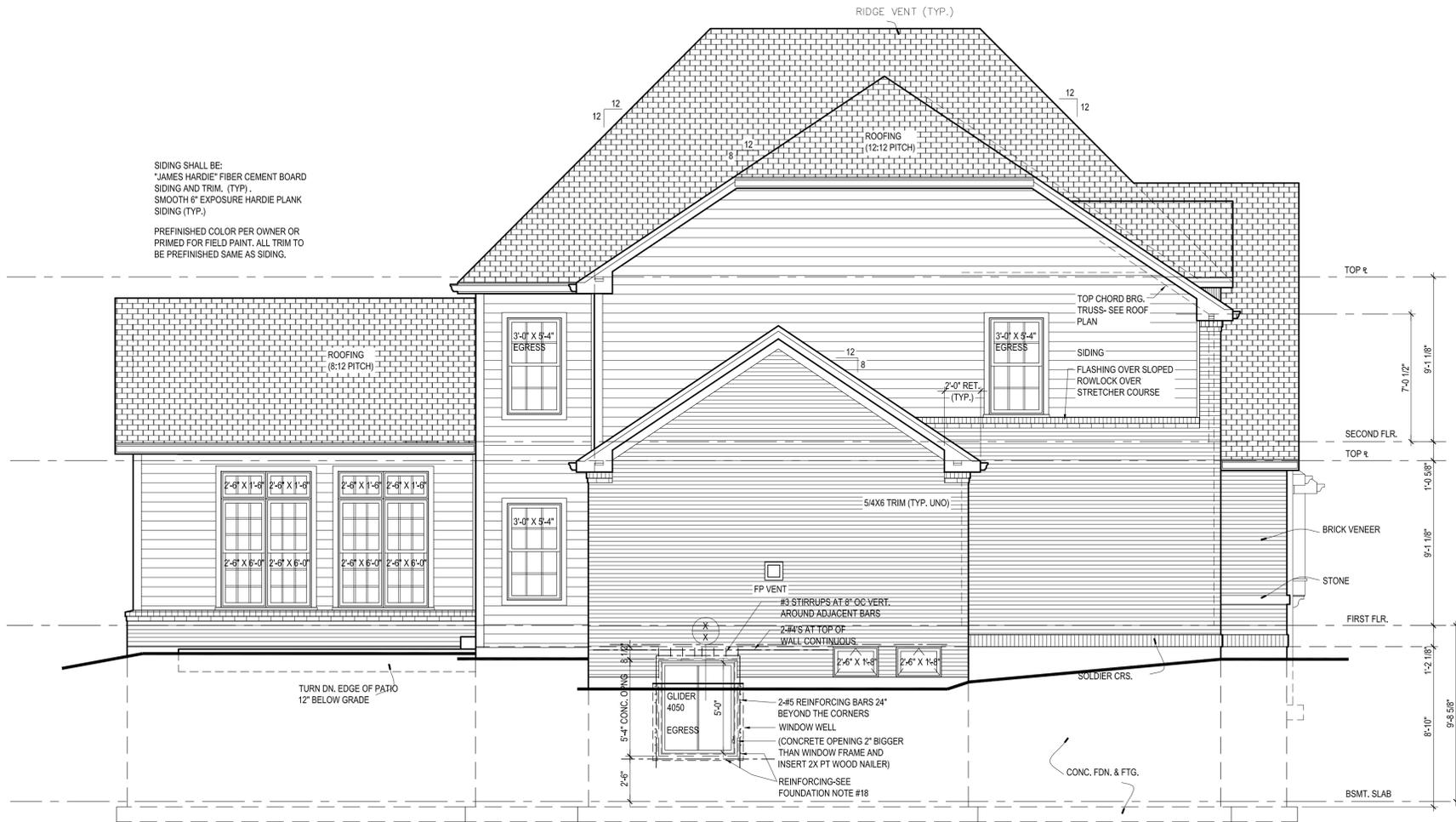
11 Heather Hill Lane
Olivette, MO 63132

NEW RESIDENCE AT:

COVERED PORCH PLANS

sheet: 1 of XX

SIDING SHALL BE:
 "JAMES HARDIE" FIBER CEMENT BOARD
 SIDING AND TRIM, (TYP.)
 SMOOTH 6" EXPOSURE HARDIE PLANK
 SIDING (TYP.)
 PREFINISHED COLOR PER OWNER OR
 PRIMED FOR FIELD PAINT. ALL TRIM TO
 BE PREFINISHED SAME AS SIDING.



LEFT SIDE ELEVATION

1/4" = 1'-0"

ELEVATION DRAWING NOTES

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
2. FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
3. BRICK VENEER: ALL SOLDIER AND ROWLOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4" UNLESS NOTED OTHERWISE.
4. CHIMNEY HEIGHT: SHALL EXTEND ABOVE ROOF MIN. 3'-0" AT POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' HORIZONTALLY.
5. DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
6. ROOF FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE 1 UNDERLAYMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
7. CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
8. GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
9. WINDOW DESIGNATIONS ARE THOSE OF: JELD-WEN - BUILDERS ALUMINUM CLAD DOUBLE HUNG & CASEMENT WINDOWS

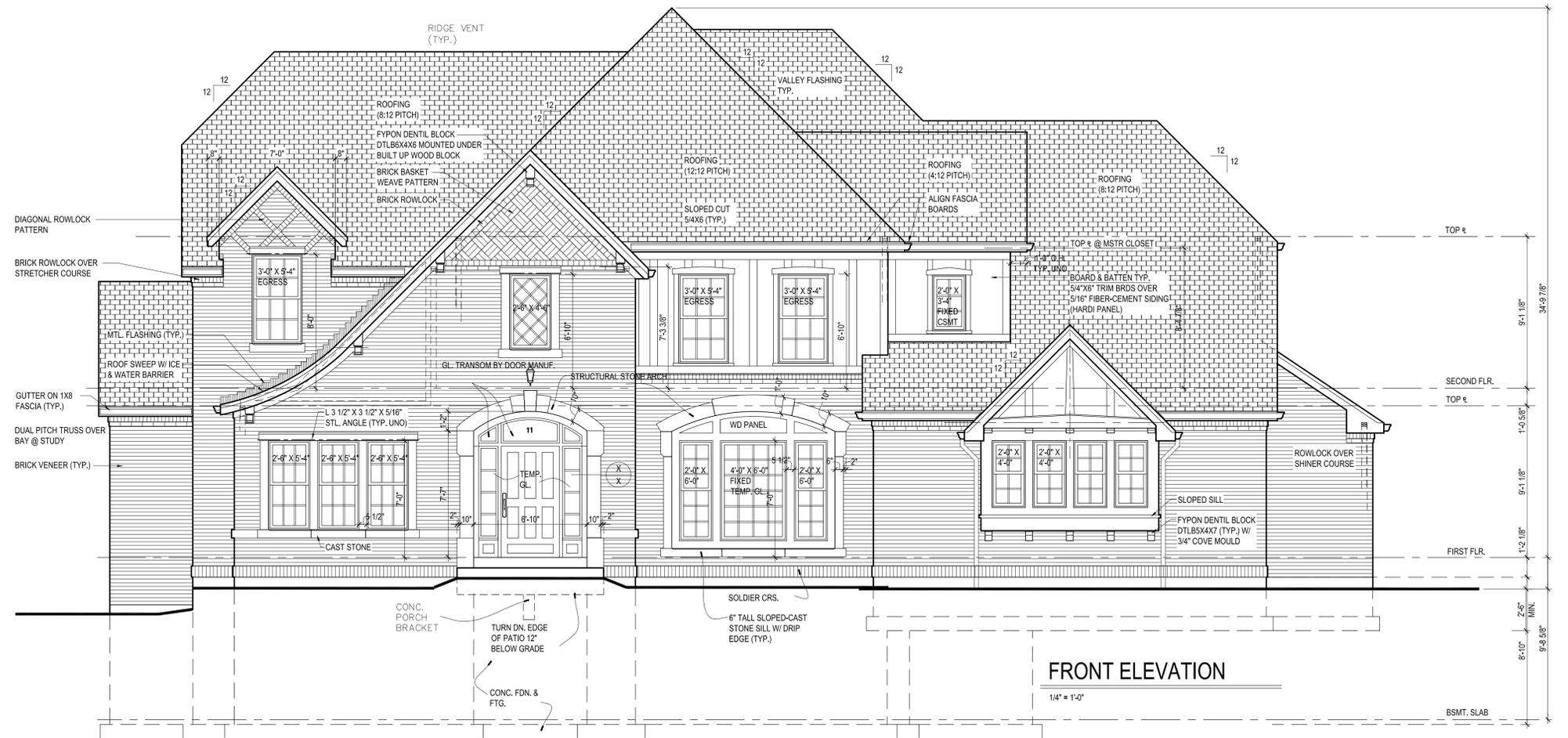
EGRESS WINDOW REQUIREMENTS:

- (COMPLY WITH IRC 2009 SECTION R310)
- 44" MAX SILL HT AFF AT BASEMENT WINDOWS
 - MIN. NET CLEAR OPENING OF 5.7 SF (5 SF ALLOWED AT GRADE FLOOR OPENINGS)
 - MIN. OPENING HEIGHT = 24" NET CLEAR
 - MIN. OPENING WIDTH = 20" NET CLEAR

CONTRACTOR SHALL SUBMIT MFRS DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.

WINDOW OPENING REQUIREMENTS:

- (COMPLY WITH IRC 2009 SECTION R612)
- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE



FRONT ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

ELEVATION DRAWING NOTES

1. SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1"FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
2. FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
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CONTRACTOR SHALL SUBMIT MFRS DATA TO SHOW THAT EGRESS WINDOWS MEET THESE REQUIREMENTS WITH PERMIT DOCUMENTS.

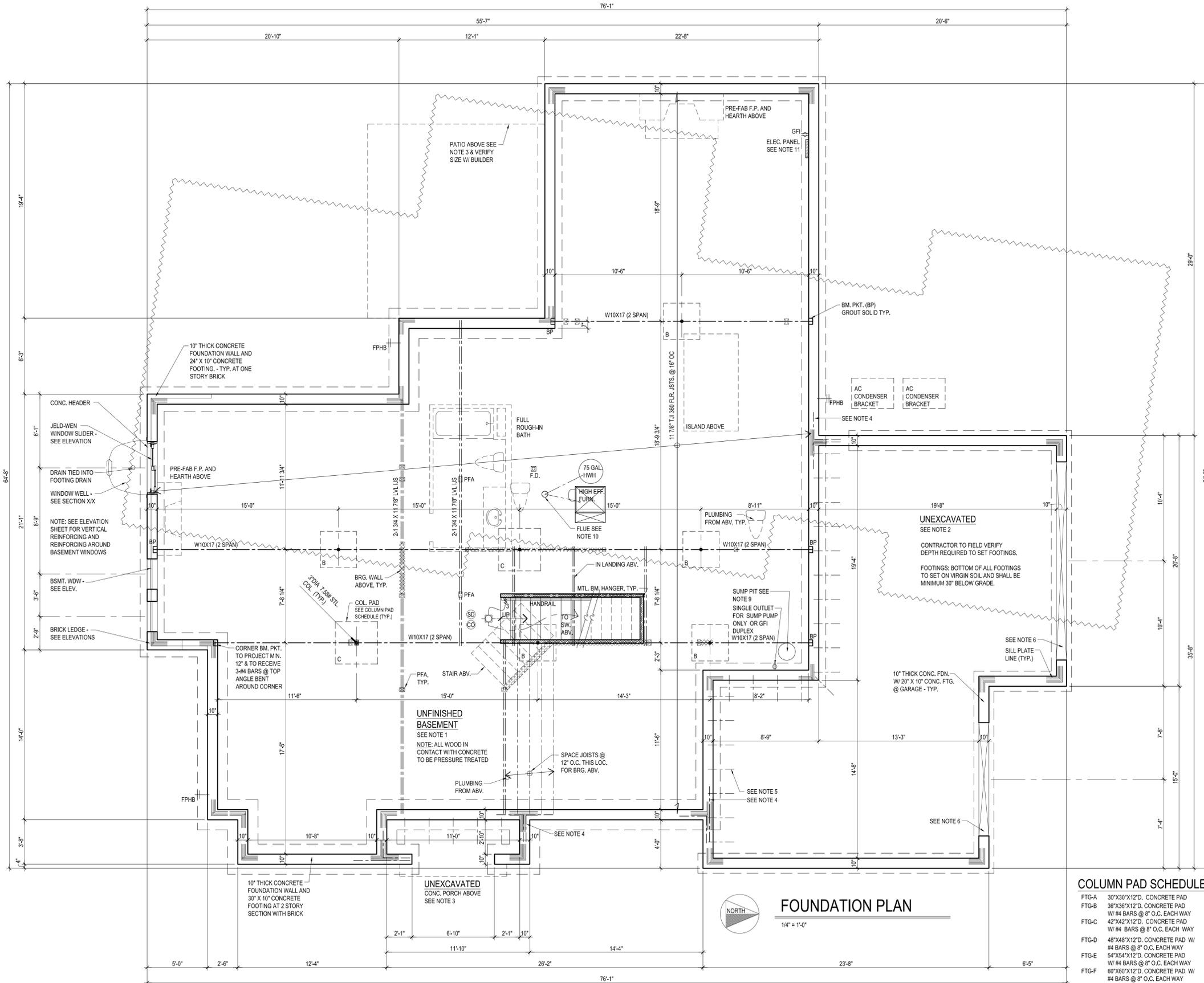
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- FOR WINDOWS WITH SILL LESS THAN 24" ABOVE THE FLOOR AND MORE THAN 72" ABOVE GRADE, LIMIT WINDOW OPENINGS TO PROHIBIT PASSAGE OF 4" SPHERE
 - PROVIDE MECHANISM TO ALLOW FOR EMERGENCY ESCAPE

date: 5/19/15
 PCCC submittal:
JIM BULEJSKI ARCHITECTS
 345 MARSHALL AVE. SUITE 100A ST. LOUIS, MO 63119
 PHONE: 314-662-6700 FACSIMILE: 314-662-6702
 EMAIL: JIM@BARCHITECT.COM

Douglas Properties

NEW RESIDENCE AT:
 11 Heather Hill Lane
 Olivette, MO 63132

REAR AND RIGHT ELEVATIONS



FOUNDATION DRAWING NOTES

- BASEMENT SLAB: 3-1/2" CONCRETE SLAB OVER 6 MIL. VB (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO FLOOR DRAIN).
- GARAGE SLAB: 4" CONCRETE SLAB WITH 6"x6" W1.4XW1.4 WWF OVER MIN. 4" GRAVEL OR CRUSHED STONE. (SLOPE TO GARAGE DOOR MINIMUM 4" UNO.)
- EXTERIOR PORCH SLABS: 4" CONCRETE SLAB WITH 6"x6" W1.4XW1.4 WWF OVER MIN. 4" GRAVEL OR CRUSHED STONE. SLOPE AWAY FROM FOUNDATION WITH EDGES TURNED DOWN BELOW GRADE MINIMUM 1/2" OR TO TOP OF FOUNDATION WALL.
- (2) #4 BARS TOP, MIDDLE AND BOTTOM, 24" EW. TYPICAL AT ALL INTERSECTING WALLS.
- #4 BARS @ 24" O.C. DOWEL INTO FOUNDATION WALL AND BEND 24" INTO CONCRETE SLAB. TYPICAL AT EXTERIOR PORCH SLABS AND GARAGE SLAB (ADJACENT TO BASEMENT FOUNDATION WALL).
- HOLD DOWN TOP OF FOUNDATION WALL @ DOOR TO RECEIVE CONCRETE SLAB.
- FOOTINGS & PIERS: BOTTOM OF FOOTINGS TO BE MINIMUM 30" BELOW GRADE. PIERS TO EXTEND MIN. 24" INTO SOLID, UNDISTURBED SOIL AND MIN. 30" BELOW GRADE.
- DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (MIN. 24" IN DIAMETER OR 20 INCHES SQUARE AND SHALL EXTEND MIN. 24 INCHES BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP SHALL HAVE A FITTED COVER.) PROVIDE PUMP IF BASEMENT IS FINISHED OR GROUNDWATER IS PRESENT, DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
- CLASS "B" UL APPROVED HVAC FLUE (SIZED BY HVAC CONTRACTOR) @ GAS FURNACE AND HWH. PROVIDE MINIMUM 2' CLEARANCE.
- ELECTRICAL PANEL: (200 AMP. MINIMUM / 600 AMP. MAXIMUM) TO BE SIZED AND LOCATED BY ELECTRICAL CONTRACTOR.
- BASEMENT WINDOWS (HOPPER TYPE) SHALL BE DELETED WITH WALKOUT BASEMENT WITH SLIDING GLASS PATIO DOOR. UNLESS NOTED OTHERWISE.
- STEEL COLUMNS SHALL BE SCHEDULE-40 SIZED PER PLAN. ALL COLUMNS SHALL HAVE A CAP AND BASE. ADJUSTABLE COLUMNS PERMITTED UNLESS NOTED TO BE FIXED.
- MINIMUM OF (2)#5 REINFORCING BARS SHALL BE PROVIDED AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
- CONTRACTOR SHALL NOT BACKFILL UNTIL CONCRETE FOUNDATION HAS CURED FOR A MINIMUM OF 7 DAYS.
- UNFINISHED BASEMENTS SHALL BE INSULATED TO MIN. R-10. SEE GENERAL NOTES & DETAILS.
- I-JOIST FLOOR SYSTEM DESIGNATIONS ARE THOSE OF: TJI TRUSS JOIST. COMPLY WITH MANUFACTURERS DETAILS INCLUDING BUT NOT LIMITED TO BEARING, BLOCKING, RIM BOARDS, BRACING AND METAL HANGERS ETC. INCLUDING BLOCKING BETWEEN JOIST AT BEARING WALLS OVER STEEL BEAMS PER MANUFACTURE.

MECHANICAL: GAS APPLIANCES LOCATED IN SPACES WHERE THE VOLUME IS LESS THAN 50 CUBIC FEET PER 1,000 BTU/HR. INPUT RATING. SHALL HAVE COMBUSTION AIR PROVIDED. MECHANICAL CONTRACTOR SHALL CALCULATE, SPECIFY AND COORDINATE WITH GC ALL ADDITIONAL COMBUSTION AIR AS REQUIRED BY THE MECHANICAL CODE AND LOCAL JURISDICTIONS. LOUVERED DOORS SHALL BE PERMITTED BY THE ARCHITECT IF CALLED OUT ON THE PLANS. VERIFY WITH OWNER. IF ADDITIONAL COMBUSTION AIR IS REQUIRED MC SHALL PROVIDE THE FOLLOWING:
 USING INSIDE AIR: PROVIDE 1 SQ. IN. PER 1000BTU/HR. IN HIGH AND LOW OPENINGS. MIN. OPENING SIZE 100 SQ. IN.
 USING OUTSIDE AIR: PROVIDE 1 SQ. IN. PER 4,000 BTU/HR. (1 SQ. IN. PER 2,000 BTU/HR. IF DUCTED HORIZONTAL OPENING)

HIGH CEILINGS ARE IMPORTANT TO THE OWNER. COORDINATE DUCTWORK ARRANGEMENTS WITH OWNER BEFORE INSTALLING. RUN DW DIRECTLY BELOW STEEL BEAM AND DO NOT DROP DOWN LOWER THAN THIS POINT.

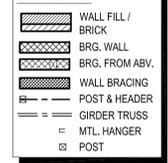
VENTILATION: UNFINISHED BASEMENTS AND UTILITY ROOMS REQUIRE VENTILATION IN THE AMOUNT OF .05 CFMSQ.FT. OF AREA. NATURAL VENTILATION (NET OPERABLE AREA) MAY BE SUBSTITUTED AT THE RATIO OF 1% OF THE FLOOR AREA SERVED.

PLUMBING CONTRACTOR TO LOCATE PLUMBING PIPING AND PLUMBING STACKS TO AVOID CONFLICT WITH FINISH BASEMENT PLAN AND TO AVOID CONFLICT WITH FUTURE FINISH WORK THAT MAY OCCUR IN UNFINISHED BASEMENT AREAS. REVIEW LOCATION OF PLUMBING STACKS W/ OWNER

LIST OF SHEETS

- FOUNDATION PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- ROOF PLAN
- FRONT AND LEFT ELEVATION
- REAR AND RIGHT SIDE ELEVATION

LEGEND



COLUMN PAD SCHEDULE

FTG-A	30"x30"x12"D. CONCRETE PAD
FTG-B	36"x36"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-C	42"x42"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-D	48"x48"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-E	54"x54"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
FTG-F	60"x60"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY

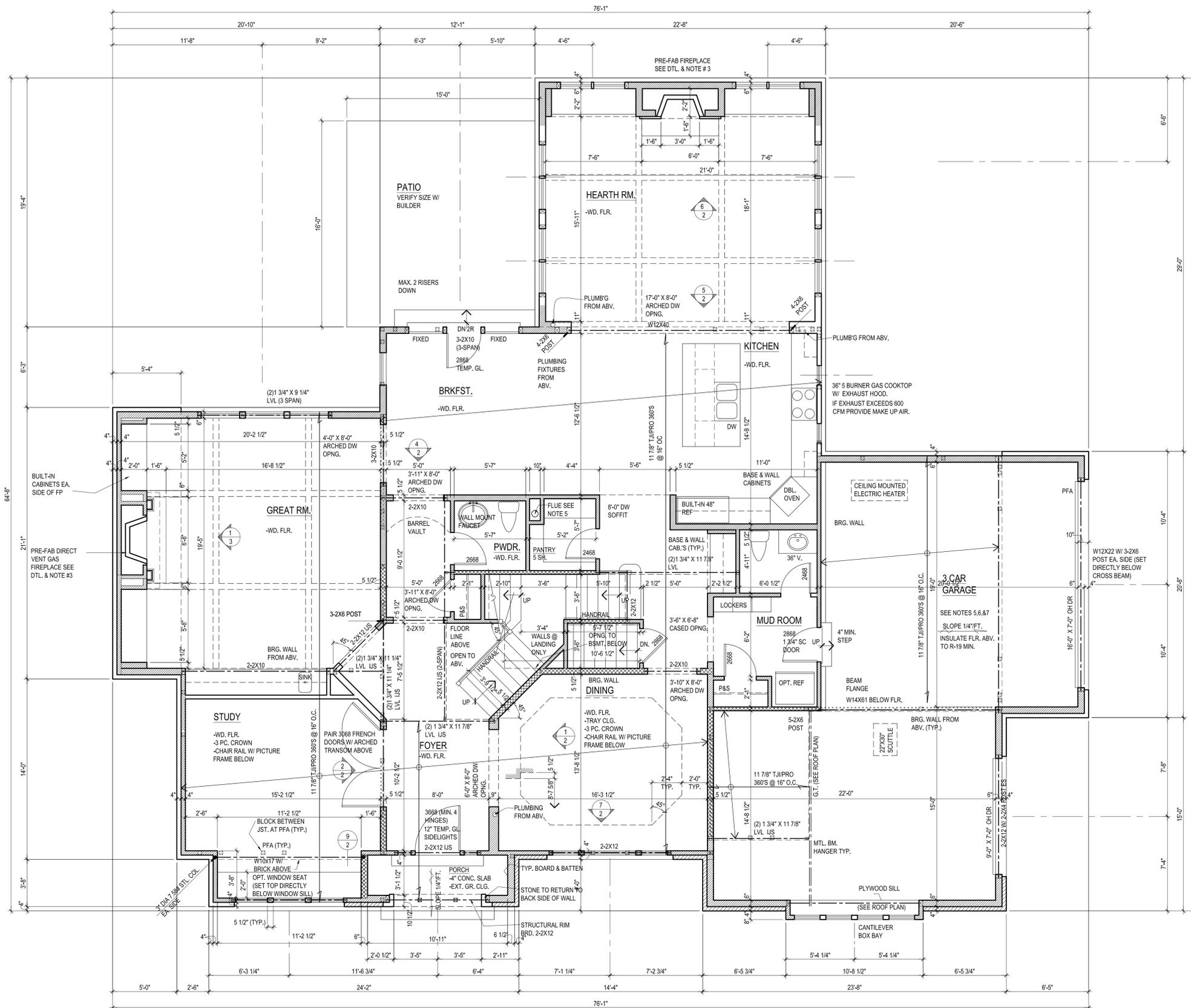
BUILDING CODE INFORMATION:

OLIVETTE, MISSOURI	2006 INTERNATIONAL RESIDENTIAL (BUILDING) CODE
BUILDING:	2009 UNIFORM PLUMBING CODE
PLUMBING:	2009 INTERNATIONAL MECHANICAL CODE
MECHANICAL:	2008 NATIONAL ELECTRIC CODE
ELECTRICAL:	2008 NATIONAL ELECTRIC CODE

date: 5/19/15
 PCCC submittal:
JIM BULEJSKI ARCHITECTS
 345 MARSHALL AVE. • SUITE 100A ST. LOUIS, MO 63119
 PHONE: 314-662-6700 • FACSIMILE: 314-662-6702
 EMAIL: JIM@BARCHITECT.COM

Douglas Properties
 NEW RESIDENCE AT:
 11 Heather Hill Lane
 Olivette, MO 63132

FOUNDATION PLAN
 sheet: **1** of 6



FIRST FLOOR PLAN
 1/4" = 1'-0"
 2449 SF

2449 SF 1ST
 2140 SF 2ND
 4589 SF TOT.

FLOOR PLAN DRAWING NOTES

1. ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
2. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. EXCEPTION: POSTS CARRING MINIMAL LOADS, LESS THAN 8'-0" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
3. MINIMUM HEADER SIZE 2-2X10S GLUED AND NAILED.
4. PREFAB DIRECT VENT GAS FIREPLACE: MODEL: CALIBER DIRECT VENT CD4842 MANUF.: HEATILATOR OR APPROVED EQUAL.
5. PROVIDE 2" MINIMUM CLEARANCE TO COMBUSTIBLES AT ALL GAS FLUES, TYPICAL.
6. GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
7. GARAGE-ATTACHED - STORY ABOVE: 5/8" TYPE X DRYWALL ON GARAGE SIDE OF HOUSE WALL UP TO 5/8" TYPE X DRYWALL CEILING. ALL BEARING WALLS, BEAMS & COLUMNS SUPPORTING THE FLOOR/CEILING ASSEMBLY TO HAVE MIN. 5/8" TYPE X DRYWALL.
8. DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
9. SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
10. COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
11. LAUNDRY: WASHER TO BE PLACED IN A FLOOD SAVER W/ DRAIN. PROVIDE IN-WALL WASHER OUTLET BOX. DRYER TO VENT TO EXTERIOR.
12. INTERIOR DOOR TRIM: 4 1/4" CASING WITH 4 3/4" PLINTHS. PROVIDE MIN. 5 1/2" (7" PREFERRED) FROM PERPENDICULAR FRAME WALL TO FINISH DOOR OPENING. TYP. UNO

MECH. NOTES

SECOND FLR. FURNACE SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATTS AROUND & IN FLOOR BELOW FURN. ROOM. INSTALL 1/2" HOMISOTE SOUND BRD. UNDER DW AND WEATHER STRIP DR FOR SOUND CONTROL. MECH. CONTRACTOR TO SUPPLY COMBUSTION AIR, (NO LOUVER)

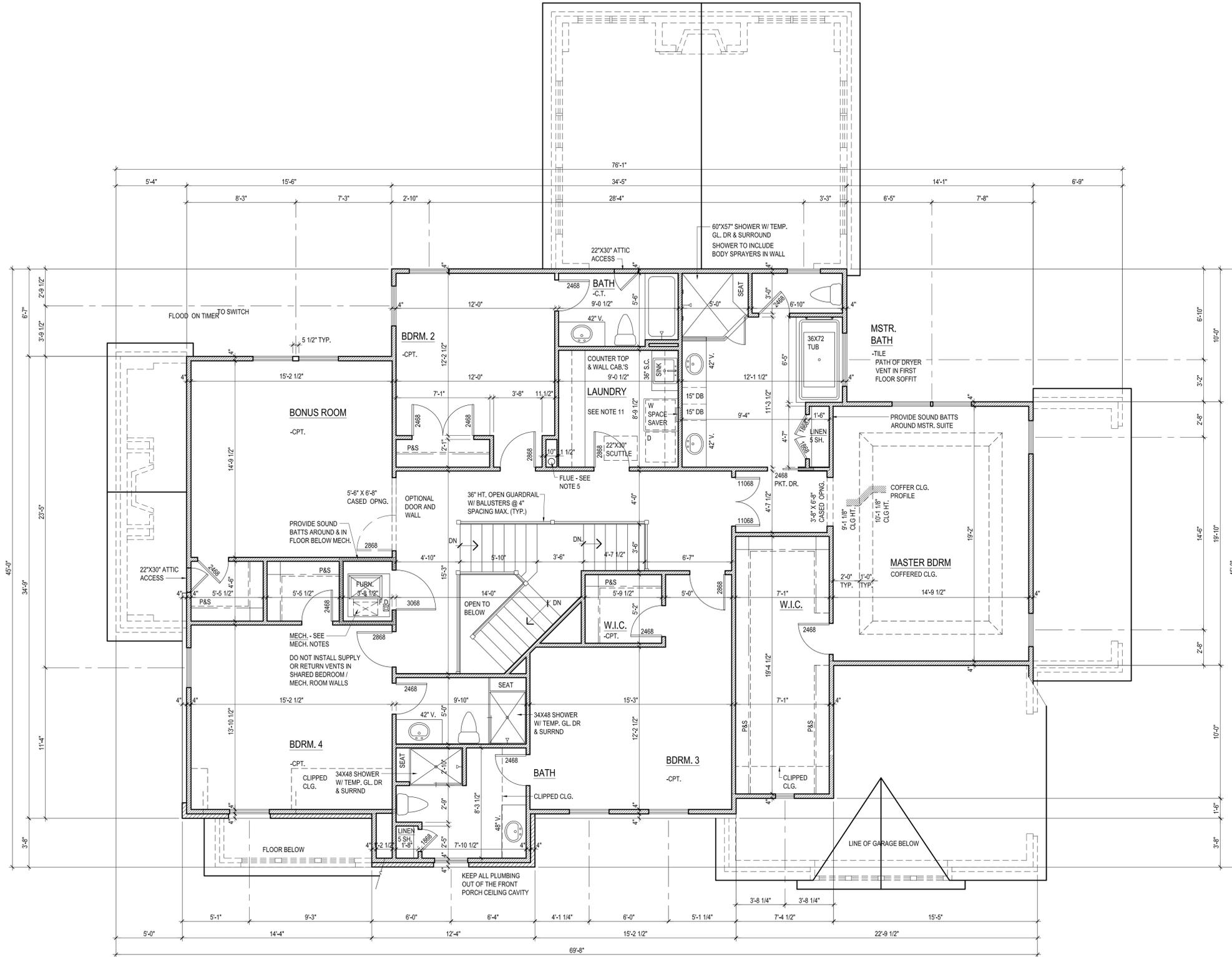
ENERGY CONSERVATION REQUIRED WITH COMBUSTION / VENTILATION OUTSIDE AIR:

- SOLID, SELF-CLOSING WEATHERSTRIPPED DOOR
- R-13 INSULATION AT INTERIOR WALLS
- R-19 INSULATION AT FLOOR/CEILING
- WRAPPED, INSULATED DUCTS
- STOPPED WALL PENETRATIONS

date: 5/19/15
 PCCC submittal:
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NEW RESIDENCE AT:
Douglas Properties
 11 Heather Hill Lane
 Olivette, MO 63132

sheet: **FIRST FLOOR PLAN**
 2 of 6



SECOND FLOOR PLAN

1/4" = 1'-0" 2140 SF

FLOOR PLAN DRAWING NOTES

1. ALL INTERIOR WALLS TO BE 3 1/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
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8. DRYWALL ALL EXTERIOR WALLS, TYP. (INSULATION OPTIONAL)
9. SEE ELECTRIC SHEET FOR DEVICE LOCATIONS.
10. COOKTOP W/ EXHAUST HOOD. PROVIDE GAS AND/OR ELECTRIC HOOKUPS PER OWNER. IF EXHAUST EXCEEDS 600 CFM PROVIDE MAKE UP AIR. ALL EXHAUST TO BE VENTED TO EXTERIOR PER ALL LOCAL CODES.
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SECOND FLR. FURNACE SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATTS AROUND & IN FLOOR BELOW FURN. ROOM. INSTALL 1/2" HOMISOTE SOUND BRD. UNDER DW AND WEATHER STRIP DR FOR SOUND CONTROL. MECH. CONTRACTOR TO SUPPLY COMBUSTION AIR, (NO LOUVER)

- ENERGY CONSERVATION REQUIRED WITH COMBUSTION / VENTILATION OUTSIDE AIR:
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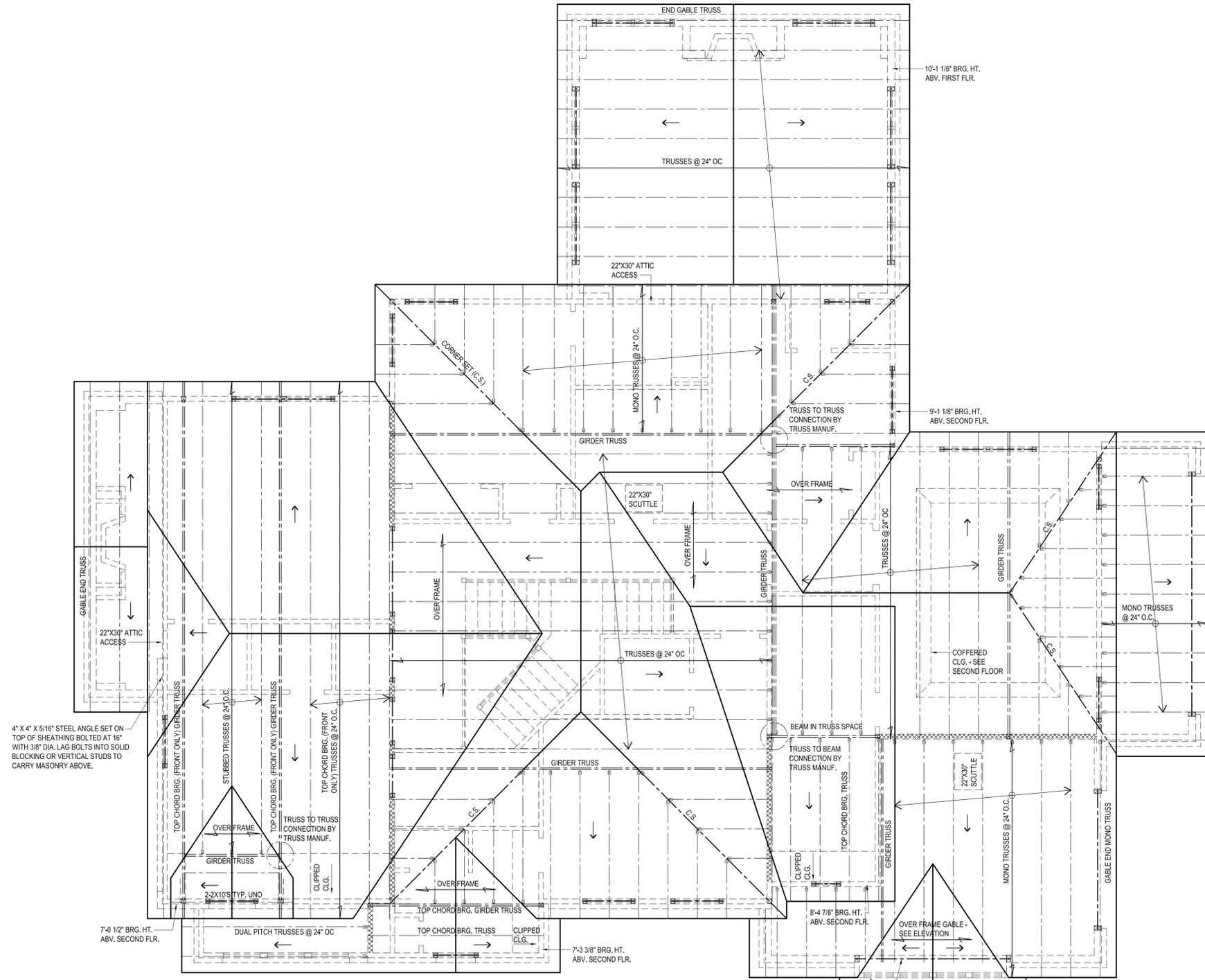
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Douglas Properties

NEW RESIDENCE AT:
 11 Heather Hill Lane
 Olivette, MO 63132

SECOND FLOOR PLAN

sheet: **3** of 6



4" X 4" X 5/16" STEEL ANGLE SET ON TOP OF SHEATHING BOLTED AT 16" WITH 3/8" DIA. LAG BOLTS INTO SOLID BLOCKING OR VERTICAL STUDS TO CARRY MASONRY ABOVE.



ROOF / FRAMING PLAN
1/4" = 1'-0"

ROOF FRAMING NOTES

1. POST INDICATED SHALL BE MINIMUM 2-2X WALL THICKNESS, GLUED AND NAILED UNLESS NOTED OTHERWISE. MINIMUM HEADER SIZE 2-2X10'S GLUED AND NAIL ALL MULTIPLE BEAM MEMBERS. EXCEPTION: POSTS CARRYING ROOF LOADS ONLY AND NOT EXCEEDING 8'-1" IN HEIGHT AND SUPPORTING HEADERS SPANNING 3'-0" OR LESS MAY CONSIST OF A SINGLE 2X CRIPPLE AND (1) FULL HT. UNBROKEN STUD UNLESS NOTED OTHERWISE.
2. SEE FIRST AND SECOND FLOOR PLANS FOR INTERIOR CEILING CONDITIONS.
3. TRUSS LAYOUT SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY. SEE MANUFACTURERS SHOP DRAWINGS FOR ACTUAL LAYOUT.

sheet: 4	ROOF / FRAMING PLAN	NEW RESIDENCE AT: 11 Heather Hill Lane Olivette, MO 63132	Douglas Properties	date: PCCC submittal: 5/19/15
345 MARSHALL AVE. • SUITE 100 • ST. LOUIS, MO 63119 PHONE: 314-662-6700 • FACSIMILE: 314-662-6702 EMAIL: JIM@JBARCHITECT.COM • ©				



City of Olivette Public Services
 Department of Planning and Community Development
 1200 North Price Road
 Olivette, MO 63132
 (314) 993-0252 (Office)
 (314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
 DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 11 HEATHER HILL LANE
 PETITION AMENDMENT FOR COMMUNITY DESIGN REVIEW

PETITIONER: Doug Cohen Douglas Properties	PROPERTY OWNER: Douglas Rosenblum LLC	ARCHITECT: Dick Busch Architects
--	---	--

SUMMARY OF PETITION:

1. Amendment to the approved Petition for a two level home with 2-car side-entry garage to construct an open rear porch, 400 sf., and expand the rear patio, 178 sf. The majority of the porch addition sits over an existing patio.
2. The Commission approved the Petition for Community Design Review for a new single family home at the June 25, 2015, Commission meeting.
3. Zoning: The lot complies with the minimum lot standards for the 'SR' Single Family Residential District. The proposed site improvements appear to comply with the dimensional and bulk regulations of the SR zoning district.
4. Community Design Review: Staff finds the design of the proposed addition complies with the principles of the Design Guidelines.
5. Should the Commission consider action on the petition, staff recommends Community Design Review approval as submitted subject to conditions noted herein this report.

ATTACHMENTS:

- Staff Report
- Petition Application

SUGGESTED MOTIONS: The Commission should consider the following motion in the affirmative as follows:

Motion to approve the Petition Amendment for Community Design Review for an addition to a New Single Family Home at 11 Heather Hill Lane, as presented in the Memorandum from the Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review.

STAFF REPORT: 9601 ASHMONT DRIVE

Initial Submission

The petition application was submitted on February 16, 2016, for the April 7, 2016, Commission meeting. Upon review, staff requested to meet onsite with the Petitioner and Engineer to discuss Stormwater. Staff met with the Petitioner, Engineer, and neighbors on February 29, 2016, to discuss Stormwater issues with the adjoining properties.

The status of a final site plan with Stormwater management considerations is pending.

STAFF RECOMMENDATIONS

ISSUE TO VOTE UPON. The petition for new single family construction at 9761 Lindley Drive is being submitted for Community Design Review and Site Plan Review in accordance with Chapter 425 and Chapter 400 of the Olivette Municipal Code.

STAFF RECOMMENDATIONS. Should the Commission consider approving the petition as submitted, staff recommends that at a minimum the Commission consider the following conditions as part of any action for approval:

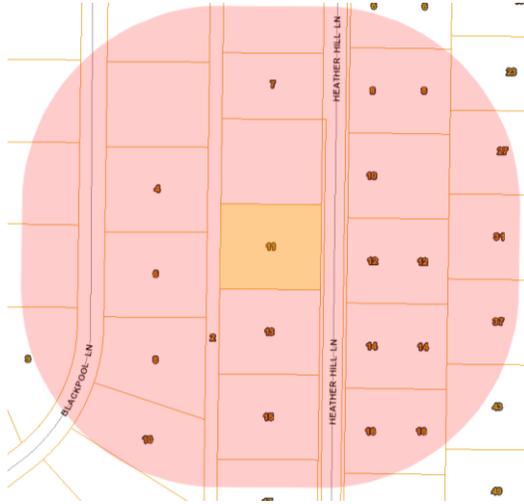
1. Staff have the authority to assist the petitioner in on- and off-site grading and stormwater management during the building permitting process.
2. The top of foundation elevation be limited to no more than 696.70 and the site be graded as illustrated in the site plan appearing before the Commission on April 7, 2016, with a revised date of March 2, 2016, as provided by The Sterling Company. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation, as necessary to control/limit stormwater runoff on the site and to adjacent properties.
3. Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of architectural plans provided by Jim Bulejski Architects, dated March 7, 2016, and site improvement plans provided by The Sterling Company, with a revised date of March 2, 2016, subject to required modifications noted herein.
4. Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
5. Any exposed portions of the foundation wall along Lindley Drive and the site elevation along the east and west in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

SUGGESTED MOTION: The Commission should consider a motion in the affirmative as follows:

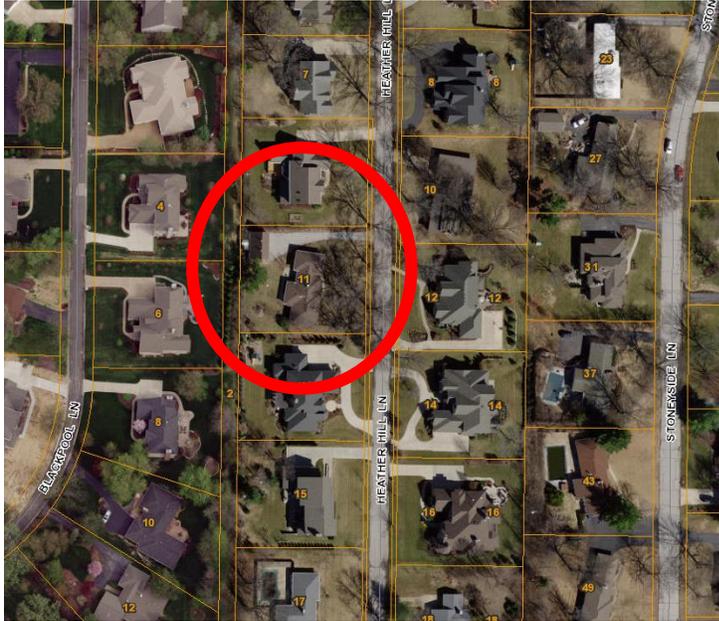
Motion to approve the Petition for Community Design Review and Site Plan Review for a New Single Family Home at 9761 Lindley Drive, as presented in the Memorandum from the Department of Planning and Community Development dated April 7, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

LOCATION MAP



AERIAL



4-28-2016 CK #4034 - \$100.00



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Paul Chan
Company Name: _____
Address: Po Box 16001 City: SLC Zip Code: 63132
E-mail Address: Douglas@pop.com Phone Number: (314) 725-9911

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction
- Major Residential Addition and/or exterior modification
- Amendment to Active Site Plan or Community Design Review
- Accessory Structure
- Other (Site Plan Review)
- Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 11 Heath Hill
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____



The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting. Amendments to an active Community Design or Site Plan Review in which an active Construction Permit under Article XVIII of Chapter 400 has not been completed is \$100. Amendments to active Community Design Review with Site Plan Review is \$150.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

Name of applicant

Date



City of Olivette Public Services
 Department of Planning and Community Development
 1200 North Price Road
 Olivette, MO 63132
 (314) 993-0252 (Office)
 (314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
 DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 9601 ASHMONT DRIVE
 PETITION FOR COMMUNITY DESIGN REVIEW, SITE PLAN REVIEW, CONCEPT STORMWATER
 MANANGEMENT REVIEW

PETITIONER: Doug Cohen Douglas Properties	ENGINEER: The Sterling Company	ARCHITECT: Dick Busch Architects
--	--	--

SUMMARY OF PETITION:

1. Petition for a two level home with 2-car side-entry garage and 1-car front entry recessed garage.
2. Zoning: The lot does not meet the minimum lot size requirements of the Single Family Residential District, therefore, Site Plan Review is required in addition to Community Design Review. The proposed site improvements appear to comply with the dimensional and bulk regulations of the SR zoning district.
3. Site Plan Review: The site plan review procedure is intended to ensure the adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities. This includes reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself. Staff has concerns regarding stormwater.
4. Community Design Review: The proposed home sits adjacent to a 1-story home. Efforts have been made to mitigate overshadowing of the property to the immediate west.
5. Concept Stormwater Management Review: Petition proposes to capture the differential runoff generated from the proposed development on the front portion of the roof. In review of the proposed Plan, staff continues to consider lot conditions and impacts on adjacent structures, specifically the rear roof Stormwater runoff. Staff continues to work with the Petitioner and the Stormwater Consultant to provide a more in-depth plan for Stormwater management on the site. Staff does not believe modifications to the Concept Stormwater Management Plan which includes site grading and downspout release points will affect the architectural elements or top of foundation height of the home.
6. Staff ask the Commission to consider the condition a second motion for Concept Stormwater Management Plan review for the Petitioner to continue to work with staff and the Stormwater Consultant to generate a Stormwater plan that manages roof runoff from the rear. The final Stormwater Management Plan will be before the Commission prior to the final inspection for the construction of the home.
7. Should the Commission consider action on the petition, staff recommends two motions, the first for Community Design and Site Plan Review and the second motion for Concept Stormwater Management Plan Review.

ATTACHMENTS:

- Staff Report
- Subdivision Trustee Approval
- Staff Review Letter
- Petition Application

SUGGESTED MOTIONS: The Commission should consider the following motions in the affirmative as follows:

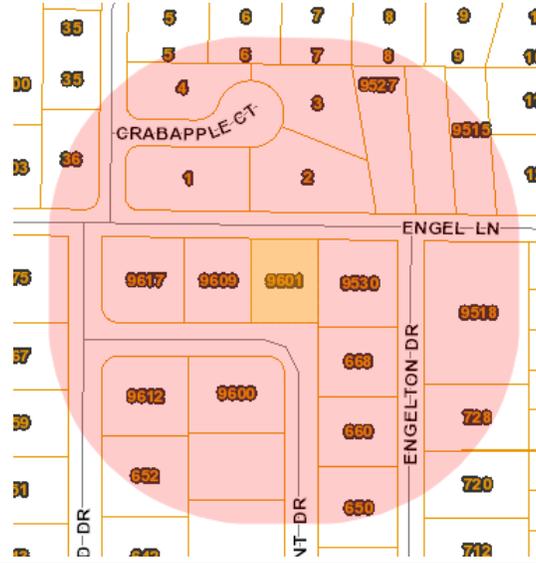
Motion to approve the Petition for Community Design Review and Site Plan Review for a New Single Family Home at 9601 Ashmont Drive, as presented in the Memorandum from the Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Motion to approve the Concept Stormwater Management Plan Review for a New Single Family Home at 9601 Ashmont Drive, as presented in the Memorandum from the Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

BUILDING AREA AND COVERAGE								
PROPOSED BUILDING			SITE COVERAGE					
First Floor Habitable	1,965	sf.	Lot Area	12,573	sf.			
Attached Garage	680	sf.						
Total Building Footprint	2,645	sf.	Existing Site Coverage			Percent		
			Building Footprint	1,228	sf.	9.8%		
Second Floor	1,480	sf.	All other areas	1,284	sf.	10.2%		
TOTAL	4,125	sf.	TOTAL EXISTING	2,512	sf.	20.0%		
w/o garage	3,445	sf.						
			Proposed site coverage			Percent		
Maximum Code Allowed			Building Footprint	2,645		21.0%		
Resd. FAR @ 0.30 or 3,500	3,772	sf.	All other areas	1,586	sf.	12.6%		
Site Coverage @ 25% or 2,500 sf.	3,143	sf.	TOTAL PROPOSED	4,231	sf.	33.7%		
	50	1	Change	Numerical		Percent		
			Building Footprint	1,417	sf.	20.1%		
			All other areas	302	sf.	23.5%		
			TOTAL	1,719	sf.	68.4%		
BUILDING SETBACKS, existing and proposed								
			Code Rqd.	Building Setbacks		Distance from Neighbor		
				Existing	Proposed	Existing	Proposed	
Front yard	Ashmont south)		40.0 ft.	41.0 ft.	41.0 ft.	not applic.	not applic.	
Side yard	(Left- west)		14.4 ft.	12.5 ft.	13.0 ft.	51.8	52.3 ft.	
Side yard	Right- east)		14.4 ft.	30.0 ft.	15.0 ft.	41.8	26.8 ft.	
Rear yard	(Rear- north)		25.0 ft.	60.0 ft.	38.0 ft.	not applic.	not applic.	
FOUNDATION WALL EXPOSURE-per building corner								
Corner Grades			Existing	Proposed	T.O.F.	Wall Exposure		
SW	Ashmont Dr left		673.4	674.0	676.0	2.0		
SE	Ashmont Dr right		674.0	675.0	676.0	1.0		
NW	Rear- left		673.4	673.0	676.0	3.0		
NE	Rear- right		676.1	675.2	676.0	0.8		
RESIDENTIAL BUILDING HEIGHT-per building elevation								
Ashmont Drive Street Building Elevation-South			Left	Right	Average Grades	T.O.F.	Bldg. Height	Overall Bldg. Height
Existing			673.4	674.0	673.7	676.0	31.0	33.3
Proposed			674.0	675.0	674.5	676.0	31.0	32.5
Left side building elevation-West								
Existing			673.4	673.4	673.4	676.0	31.0	33.6
Proposed			674.0	673.0	673.5	676.0	31.0	33.5
Right side building elevation-East								
Existing			674.0	676.1	675.1	676.0	31.0	32.0
Proposed			674.0	675.2	674.6	676.0	31.0	32.4
Rear Building Elevation-North								
Existing			673.4	676.1	674.8	676.0	31.0	32.3
Proposed			673.0	675.2	674.1	676.0	31.0	32.9
* All grades and heights are measured in feet.								

LOCATION MAP



AERIAL





City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252

April 26, 2016

Doug Cohen
Douglas Properties
1 Pricemont Court
Olivette, MO 63132

RE: 9601 ASHMONT DRIVE
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN REVIEW, SITE
PLAN REVIEW, AND STORMWATER CONCEPTUAL REVIEW

Dear Mr. Cohen:

A petition for a new single family home was submitted for Planning and Community Design Commission (Commission) consideration and approval. Upon receipt of an application, a review letter noting the filing deficiencies will be forwarded to the Petitioner. Petitions with outstanding filing deficiencies will not be scheduled for a Commission. Within 10-days of a completed Petition, review comments will be provided, evaluating the Proposed Improvements in regards to the Olivette Residential Design Guidelines, Site Plan Review and Concept Stormwater Management Plan. Site Plan Review is required for construction on lots less than the mandatory minimum lot size requirements, Section 400.220 Permitted Uses. Only complete Petitions will be scheduled and forwarded for Commission review as in accordance with Section 425.050 Review Procedure.

Summary of Letter

Initial Review. *Please note items will not be scheduled for a Commission meeting until the filing deficiencies are met.*

Filing Deficiencies

The filing deficiencies noted in Exhibit 1 must be provided in the form of one paper copy and an electronic PDF copy. The Petition will not be schedule for a Commission meeting until a revised Petition contains the requirements as outlined in the Exhibit.

Olivette Design Guidelines

Inconsistencies with the Olivette Design Guidelines, notably, the principle for elevation articulation.

Site Plan

Removal of vegetation within the Engel Lane right-of-way.

Once the items noted within Exhibit 1 Submission Checklist are provided, the Petition will be forwarded for Concept Stormwater Management Plan review in accordance with Chapter 422 Stormwater Management. An onsite must be held with the Petitioner and Surveyor/Engineer. During the onsite meeting, be prepared to discuss Stormwater management, site grading, design and outstanding concerns for the improvements.

Preliminary Review Comments

Vegetation Removal

There is a considerable amount of vegetation along the front yard nearest to Engel Lane. The vegetation extends into the right-of-way. Efforts should be made to remove the vegetation within this area.

Compliance with Olivette Design Guidelines. In accordance with Section 425.050, below is a review and evaluation of the application regarding three of the eight design principles of the Olivette Residential Redevelopment and Design Guidelines (Guidelines):

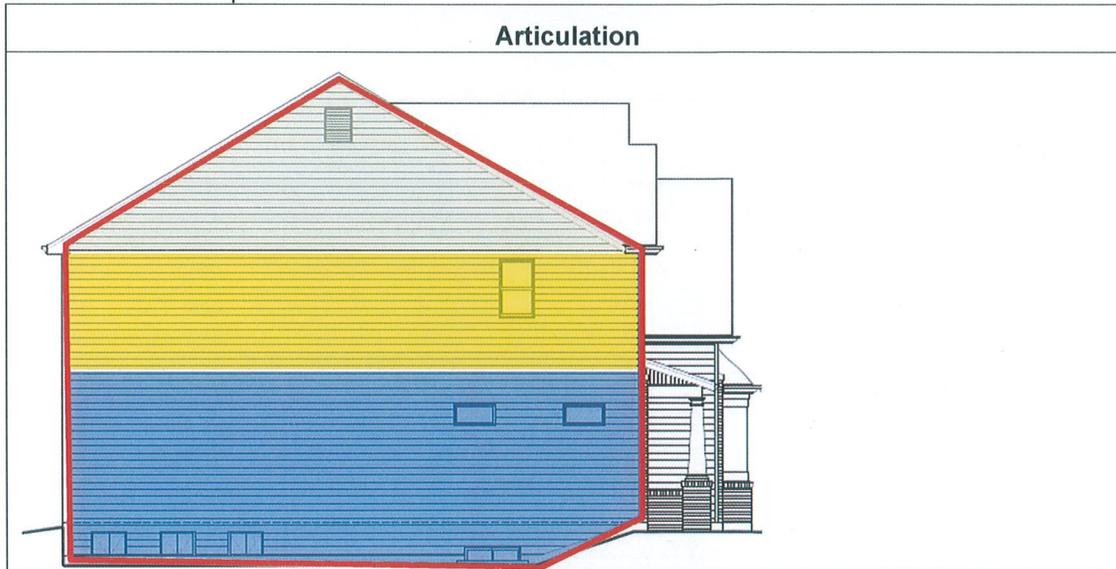
Massing. The appeal of Olivette has been the strength and character of our neighborhoods. The strength of these neighborhoods lies in the architectural relationships between each home. When one home dominates another in sheer size and shape, the character of the neighborhood is weakened. Be considerate of the relationship to neighboring structures and break down the mass of your home to avoid towering over your neighbors.

The home to the immediate west is a one story home. The proposed drawings do not illustrate transitional breaks between levels, or provide a significant break in the west wall elevation. This may be accomplished through the use of various materials, roof line, and breaks in the massing.

Elevation Articulation. *A good home design pays equal attention to all four building elevations: the front, two sides and rear.*

The plans propose to build a two-story house adjacent to a one-story home. Articulation features should provide a design that takes into consideration neighbors existing characteristics. The site plan notes the lot the immediate west nearest home corner grade of 669.38. The corner grade of the proposed home is 674.00, almost a 5-ft difference.

The shade represent three areas with similar flat breaks in the massing. The building plans illustrate a one-dimensional side elevation. Considerations should be given to break up the floor levels to decrease the void space.



Roofs. *Your rooflines should not be the dominating architectural theme of your new home. Instead, the roof line can be used to help your home harmonize with the roof patterns of the street without calling attention to itself.*

Building plans must provide the roof pitch for the main and secondary roof line.

Materials. *To reflect the quality of our communities we expect building materials to be of the highest quality, reflecting the material use and patterns of the neighborhood. We prefer to see and routinely favor an elegant, well-considered palette of materials that reflects the proportion and use of materials used in the neighborhood.*

Many adjacent properties along Engel incorporate a brick finish within their street facing elevation. This may include a lower brick finish elevation along Engel or a total brick finish. The use of brick furthers the streetscape articulation as well as provides a consistent mix of style, regardless of size or type. New homes with a front yard located along Engel all contain a brick type finish, including a new home three lots to the west.

Building plans must note the type of material finishes.

Stormwater Management. Chapter 422 Stormwater Management is intended to ensure that the development of land in the City of Olivette occurs in a manner that protects, provides for and promotes the public health, safety, convenience, comfort and general welfare of the residents of Olivette.

Data has not been sufficiently provided. Please refer to Exhibit 1 for required Drainage Map information to be provided. Please note, the type of Stormwater system proposed may warrant additional inspections during the building permit phase.

Site Plan Review. Article XI Site Plan Review is intended to ensure the adequate review and consideration of potential impacts of the proposed development upon surrounding uses and activities.

Site Plan Review will be conducted once outstanding submission requirements have been provided.

Notification. In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Oak Estates Addition Subdivision

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

Site maintenance. It appears that the existing home on the site is vacant. It is important that the site and home be properly maintained at all times. The building should be secured and bolted to ensure that access into the house is restricted. The grass, limbs, leaves and other vegetation should be maintained at all times. Failure to ensure the maintenance of the site will result in the City pursuing any and all necessary legal action to ensure compliance, including requesting the Commission defer action until full compliance is ascertained.

Unauthorized/Illegal Demolition. At no time shall unauthorized or illegal demolition take place on the site. The City of Olivette has strict rules and regulations regarding demolition of any structure. Any unauthorized or illegal demolition taking place on the site should be reported to the police immediately.

Unauthorized demolition includes removal of gutters, kitchen fixtures, bathroom fixtures, doors, etc. If demolition has begun without City approval, a citation will be issued immediately, you will have 30 days to raze the home and restore the site, and the petition for review shall be placed on hold until the Court rules on the matter.

SUMMARY AND CONCLUSION

The petition application and plans submitted to the Planning and Community Design Commission for a single family home proposed at 9601 Ashmont Drive must be revised to address the outstanding submission requirements. The Petition will only be schedule for a Commission meeting once the requirements have been provided.

Once the drainage zones have been provided to staff, Concept Stormwater Review will commence. An onsite meeting will be required with the petitioner and engineer to discuss Stormwater management plan.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivette-mo.com.

Respectfully,



Jonathan Roper
Planner/GIS Coordinator

Submission Requirements

Existing Site Conditions:

- All existing contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- All proposed contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- All existing drainage patterns on the site.
- Location and identification of all utilities and easements servicing the site, including, but not limited to, private water and **sewer laterals**, water mains, sewer mains, storm sewer mains, and electrical service.
- The minimum measured distance of the existing home from the front, rear and side lot lines.

Proposed Improvements:

- Location and general design (width and materials) of all driveways, curb cuts and sidewalks, including connections to building entrances (**Driveway and turnaround widths have not been provided**).
- Location, size and height of the proposed structures on the site.
- Proposed elevation of the top of garage floor slab.

Drainage Area Map

- Provide an illustration of the lot grounds showing the lot zoned into drainage areas. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.

Lot Data and Zoning Regulations

- A table similar to the one below showing the calculated site coverage of each of the following existing improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL EXISTING IMPERVIOUS AREAS	X,XXX xf.

- A table similar to the one below showing the calculated site coverage of each of the following proposed improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL PROPOSED IMPERVIOUS AREAS	X,XXX xf.

Site Information Stormwater Management Plan

STORMWATER MANAGEMENT PLAN

The petitioner must provide a Concept Stormwater Management Plan intended to ensure the adequate review and consideration of potential stormwater management impacts of proposed site alterations upon the surrounding uses, activities, properties, the existing stormwater infrastructure, and the watershed, and that the site alterations adhere to the principles and acceptable practices outlined in Section 422.060 of the Olivette Municipal Code.

Drainage Area Map:

- Provide an illustration of the lot grounds showing the lot zoned into drainage areas. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.
- For each drainage area zone, note the land area within the zone.
- For each drainage area zone, note the amount of existing impervious area within the zone.
- For each drainage area zone, note the amount of proposed impervious area within the zone.
- Provide both the existing and proposed site conditions identified in the Site Plan.
- For each drainage area zone, provide differential run-off calculations of each drainage area based on a 15-year 20-minute storm.
- Provide details and specifications of all proposed acceptable Urban post-construction stormwater BMPs.

From: [Gregg A. Kinney](#)
To: [Carlos Trejo \(ctrejo@olivettemo.com\)](mailto:ctrejo@olivettemo.com); douglasprop@gmail.com
Subject: New home plans - Oak Estates
Date: Friday, April 15, 2016 11:10:52 AM
Attachments: [9601 Ashmont - ARB.pdf](#)
[ATT00001.htm](#)
[642 Radford - ARB.pdf](#)
[ATT00002.htm](#)

Carlos,

The Oak Estates Trustees have reviewed and approve the attached plans for the new homes at 9601 Ashmont and 642 Radford.

Keep up the great work Doug!

Thanks, Gregg

[vCard](#) | [Bio](#)

 **HEPLERBROOM** LLC

Gregg Kinney Licensed in Illinois and Missouri Gregg.Kinney@heplerbroom.com	Phone: 314-480-4196 Fax: 618-656-1364 www.heplerbroom.com
---	--

HeplerBroom LLC
130 N. Main St.
Edwardsville, IL 62025



**ST. LOUIS, MO - EDWARDSVILLE (MADISON COUNTY, IL)
SPRINGFIELD, IL - CHICAGO, IL - CRYSTAL LAKE, IL**

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Email communication is not a secure method of communication. Please contact me immediately if you want future communications to be sent via a different medium.

From: Doug Cohen [mailto:douglasprop@gmail.com]
Sent: Thursday, April 14, 2016 3:54 PM
To: Gregg A. Kinney <Gregg.Kinney@heplerbroom.com>
Subject: Fwd: Olivette ARB Packets

Thanks.

Doug Cohen
Douglas Properties
314-280-2041
Douglasproperties.com
Po box 16001
St Louis, MO 63105

Begin forwarded message:

From: "AJ Catlett" <ajc@dickbuscharchitects.com>
Date: April 14, 2016 at 3:27:54 PM CDT
To: "Doug Cohen" <douglasprop@gmail.com>
Subject: Olivette ARB Packets

Hello Doug,

Here is a electronic copy of 9601 Ashmont and 642 Radford ARB sheets for your records.

Thank you,
AJ Catlett
Project Manager

Dick Busch Architects
16678 Old Chesterfield Rd.
Chesterfield, MO 63017
Ph: 636-530-7787 ext. 302
Fax: 636-530-0315
www.dickbuscharchitects.com

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pd 4-15-2016 CR # 4030-\$750.00



...in the center of it all

City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Doug Cohen
Company Name: Douglas Properties
Address: 1 Pricemont City: St Louis Zip Code: 6313
E-mail Address: Douglas@DouglasProperties.com Phone Number: (314) 725-9911

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction
- Major Residential Addition and/or exterior modification
- Amendment to Active Site Plan or Community Design Review
- Accessory Structure
- Other (Site Plan Review)
- Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 9601 Ashmont
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting. Amendments to an active Community Design or Site Plan Review in which an active Construction Permit under Article XVIII of Chapter 400 has not been completed is \$100. Amendments to active Community Design Review with Site Plan Review is \$150.

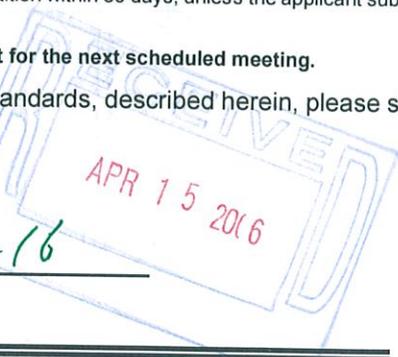
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

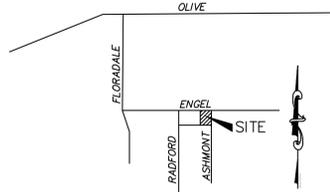
To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Name of applicant

4-15-16
Date



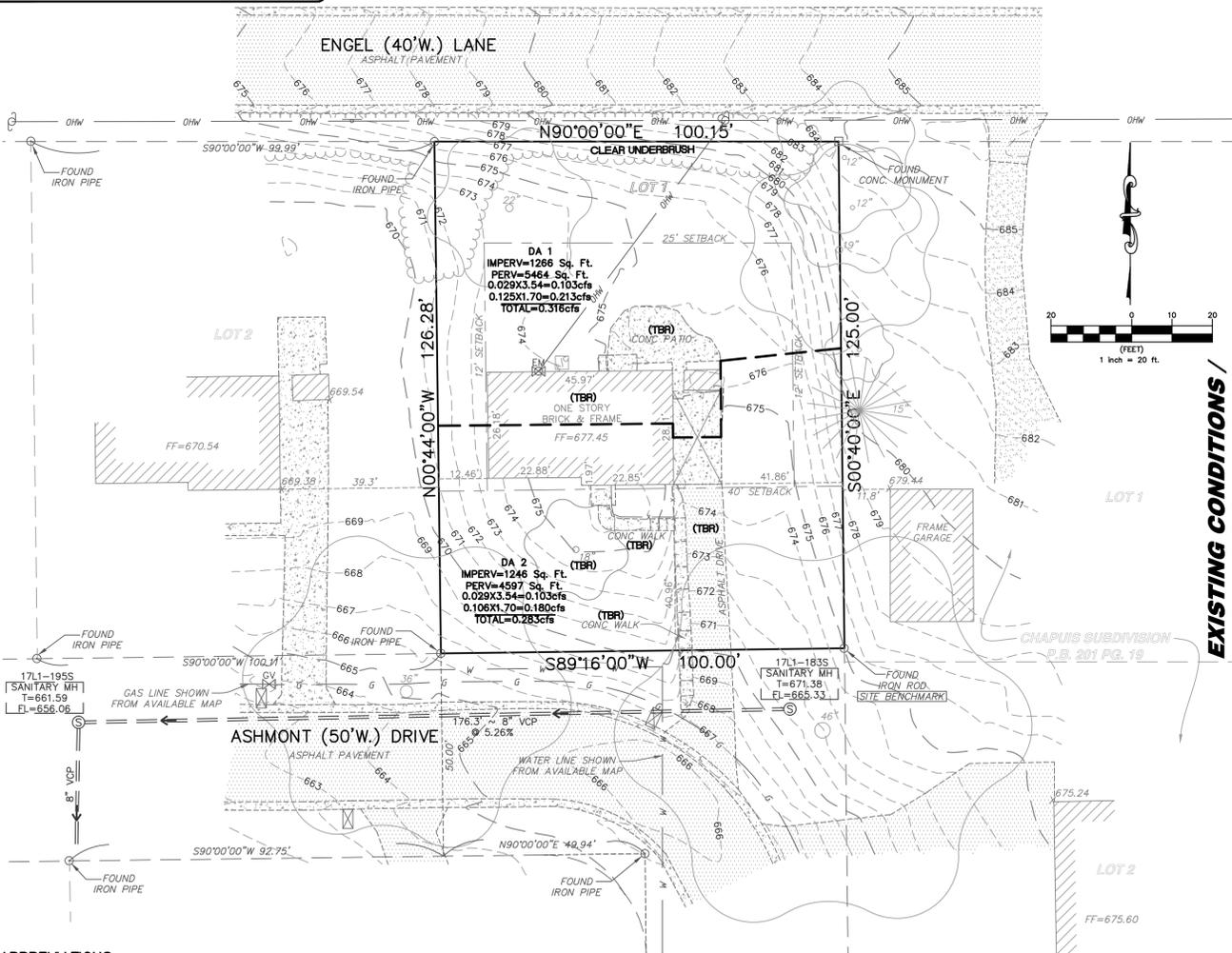
**A TRACT OF LAND BEING LOT 1 OF OAK ESTATES ADDITION (P.B. 65 PG. 16)
LOCATED IN SECTION 6, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI**



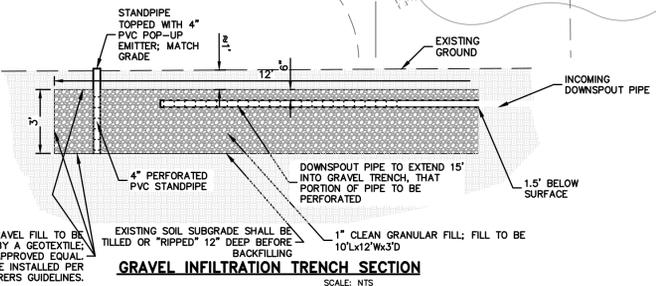
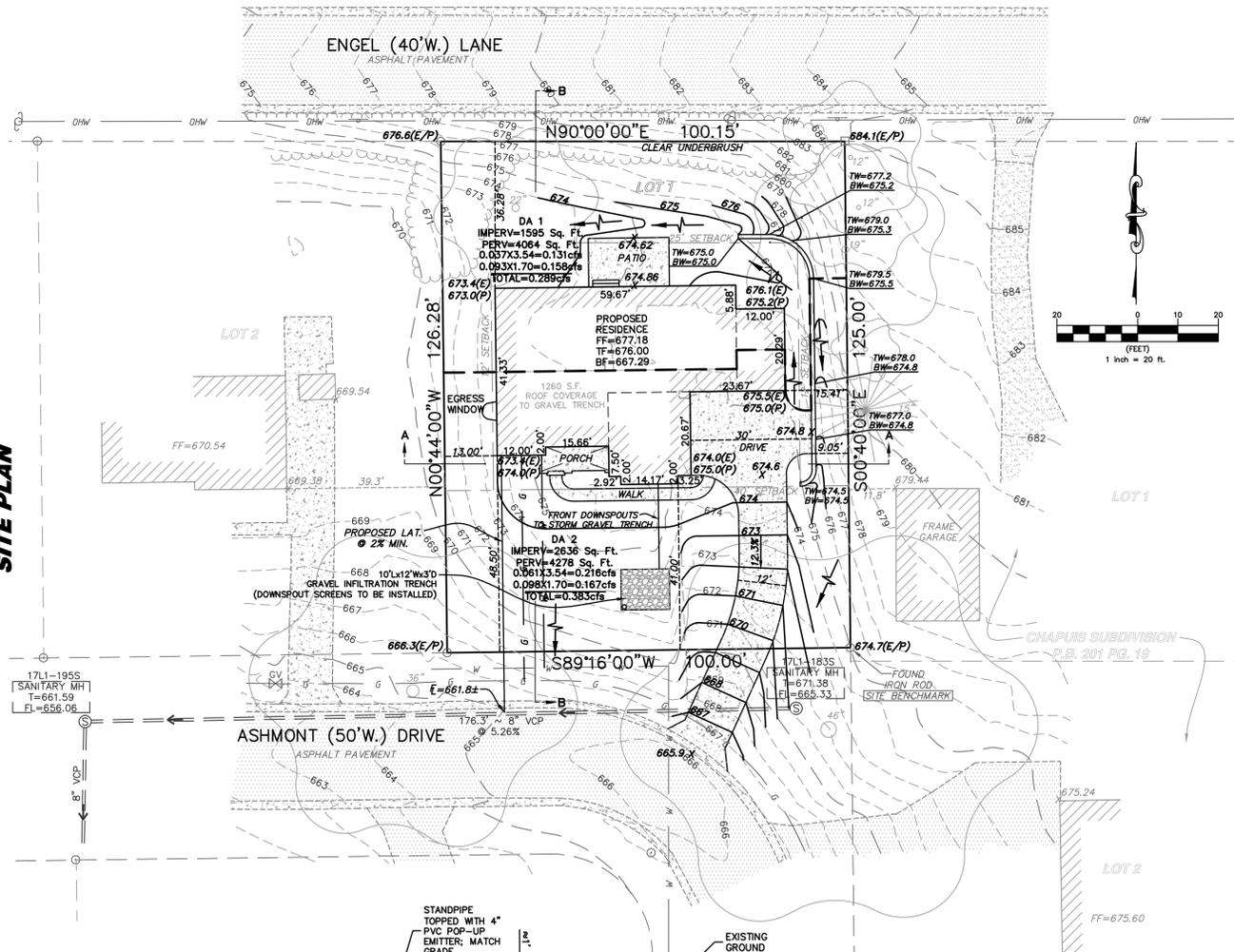
LOCATION MAP

SITE INFO:
N/F JACK TANNER (TRUSTEE)
D.B. 17282 PG. 407
LOCAL 171.41-0501
#9601 ASHMONT DRIVE
12,573 SQ. FT. / 0.288 AC.

ZONING INFO:
SR SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK=40' PER PLAT
SIDE YARD SETBACK=12% OF LOT WIDTH
REAR YARD SETBACK=20% OF LOT DEPTH
HEIGHT RESTRICTIONS=35'



EXISTING CONDITIONS /
DEMOLITION PLAN
SITE PLAN



EXISTING SITE COVERAGE	
HOUSE	= 1822 Sq. Ft.
DRIVE	= 428 Sq. Ft.
WALK	= 100 Sq. Ft.
PORCH/PATIO	= 435 Sq. Ft.
TOTAL	= 2785 Sq. Ft.

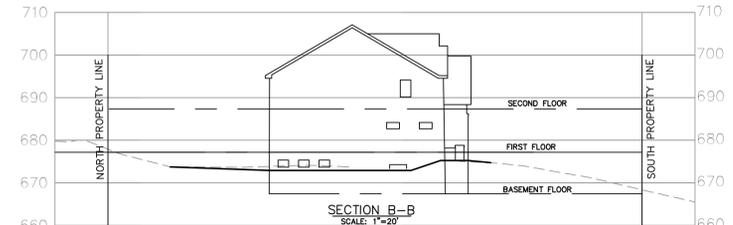
PROPOSED SITE COVERAGE	
HOUSE	= 2613 Sq. Ft.
DRIVE	= 1090 Sq. Ft.
WALK	= 134 Sq. Ft.
PORCH/PATIO	= 394 Sq. Ft.
TOTAL	= 4231 Sq. Ft.

LOT COVERAGE	
HOUSE	= 2613 Sq. Ft.
DRIVE	= 1090 Sq. Ft.
WALK	= 134 Sq. Ft.
PORCH/PATIO	= 394 Sq. Ft.
TOTAL	= 4231 Sq. Ft.

RESIDENTIAL HOUSE RATIO	
1ST FLOOR	= 1934 Sq. Ft.
2ND FLOOR	= 1867 Sq. Ft.
TOTAL FLOOR	= 3801 Sq. Ft.
3801 Sq. Ft. / 12573 Sq. Ft.	= 0.30 = 0.30 MAX. RATIO

- ABBREVIATIONS:**
CONC. - CONCRETE
N/F - NOW OR FORMERLY
P.B. - PLAT BOOK
D.B. - DEED BOOK
PG. - PAGE
SQ. FT. - SQUARE FEET
(R) - RECORD
(S) - SURVEY
- LEGEND:**
TREE LINE
FENCE LINE
UNDERGROUND WATER LINE
UNDERGROUND GAS LINE
OVERHEAD WIRE
UNDERGROUND SEWER LINE
BUILDING
UTILITY POLE
UTILITY POLE W/ TRANSFORMER
ELECTRIC METER
GAS VALVE
STREET/ROAD SIGN
MAIL BOX
A/C UNIT
SANITARY MANHOLE
TREE
DENOTES SEMI-PERMANENT MONUMENT.
FOUND IRON PIPE
CONC. MON./STONE

- SITE NOTES**
- PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
 - CONTRACTOR TO LOCATE THE EXISTING LATERAL PRIOR TO CONSTRUCTION TO VERIFY THE FLOW LINE WILL BE CONDUITIVE TO THE NEW RESIDENCE
 - DOWNSPOUTS TO DISCHARGE AT SPLASH BLOCKS UNLESS NOTED OTHERWISE.
- BENCHMARK:**
ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 15226 ELEVATION 705.83 (NAVD 88)
CUT 1" ON THE NORTHWEST CORNER OF THE CONCRETE BASE FOR METAL TRAFFIC SIGNAL CONTROL BOX SITUATED SOUTHWEST OF THE SIGNALIZED INTERSECTION OF OLIVE BOULEVARD WITH A COMMERCIAL DRIVE ENTRANCE ON THE SOUTH AND WITH INDIAN MEADOWS DRIVE FROM THE NORTH; NEAR THE NORTHWEST CORNER OF OLIVETTE LANES ADDRESSED AS #9520 OLIVE BOULEVARD; ROUGHLY 6 FEET SOUTH OF THE BACK OF CURB AND SOUTH OF THE SIDEWALK ALONG THE SOUTH SIDE OF OLIVE BOULEVARD, AND 50 FEET MORE OR LESS EAST OF THE CENTERLINE OF A SIGNALIZED COMMERCIAL ENTRANCE TO PROPERTY ADDRESSED AS #9538 OLIVE BOULEVARD.
- SITE BENCHMARK:**
IRON ROD: ELEVATION 674.70 (NAVD 88)
IRON ROD FOUND AT THE SOUTHEAST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON.



- SURVEYOR'S NOTES**
- THIS TRACT CONTAINS 12,573 SQUARE FEET OR 0.288 ACRES, MORE OR LESS.
 - BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "OAK ESTATES ADDITION" SUBDIVISION AS RECORDED IN PLAT BOOK 65 PAGE 16 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
 - SOURCE OF RECORD TITLE: JACK TANNER IS DESCRIBED AS THE TRUSTEE OF THE JACK TANNER TRUST DATED MARCH 28, 2006 AS RECORDED IN DEED BOOK 17282, PAGE 407 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
 - THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

- Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440
Notes:
1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
2. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 8 inches from the ground shall be pressure treated in accordance with Section R319.1.
3. Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
4. Foundation footings shall be constructed so as to maintain a 2" 6" depth of earth cover or as required by local building codes.
5. This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
6. Elevation Examples: 714.0(B)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (10 CSR 30-2 AND 20 CSR 2030-16 EFFECTIVE DATE AUGUST 28, 2006).

THE STERLING COMPANY
MO. REG. 307-D

By George J. Gower - Vice President
Mo. Reg. L.S. - #2336

ISSUE	REMARKS/DATE
1	4/16/16 ORIGINAL ISSUE
2	4/17/16 REVISED HOUSE FOOTPRINT
3	4/27/16 CITY COMMENTS

PREPARED FOR:
DOUGLAS PROPERTIES
P.O. BOX 16001
ST. LOUIS, MO 63105
(314) 725-9911

THE **STERLING** CO.
ENGINEERS & SURVEYORS
5095 NEW BAUMGARTNER ROAD
ST. LOUIS, MISSOURI 63129
P: 314-467-0694 FAX: 467-0694
E-Mail: Sterling@sterling-eng-survey.com

DRAWN:	MTG
DESIGNED:	
CHECKED:	JAH

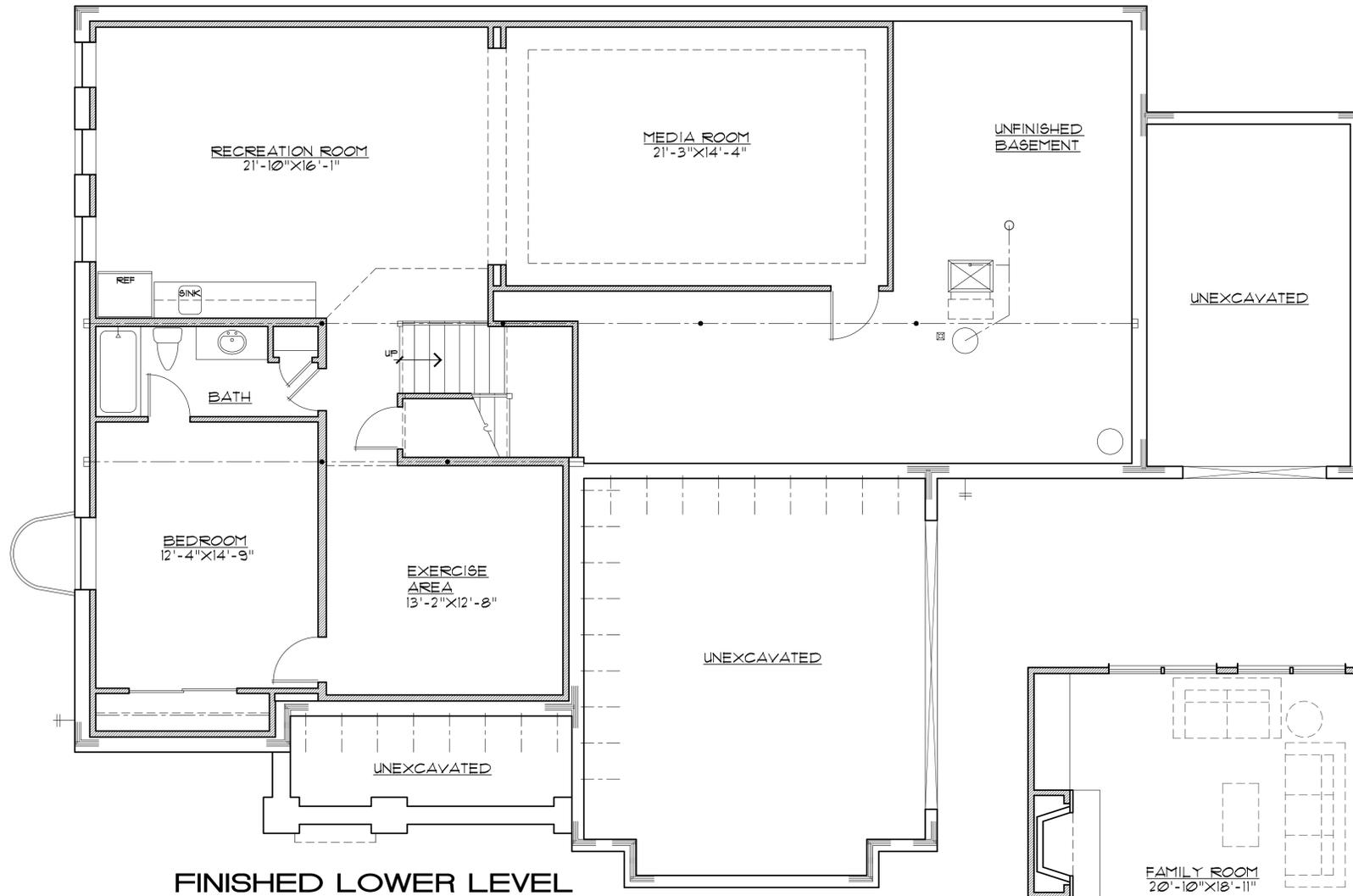
PROJECT: **#9601 ASHMONT DRIVE**

SHEET TITLE: **SITE PLAN**

NO.	16	01	005
M.S.D.	SHEET		
P.#	1	OF	

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ENTER DRAWING NAME DWG

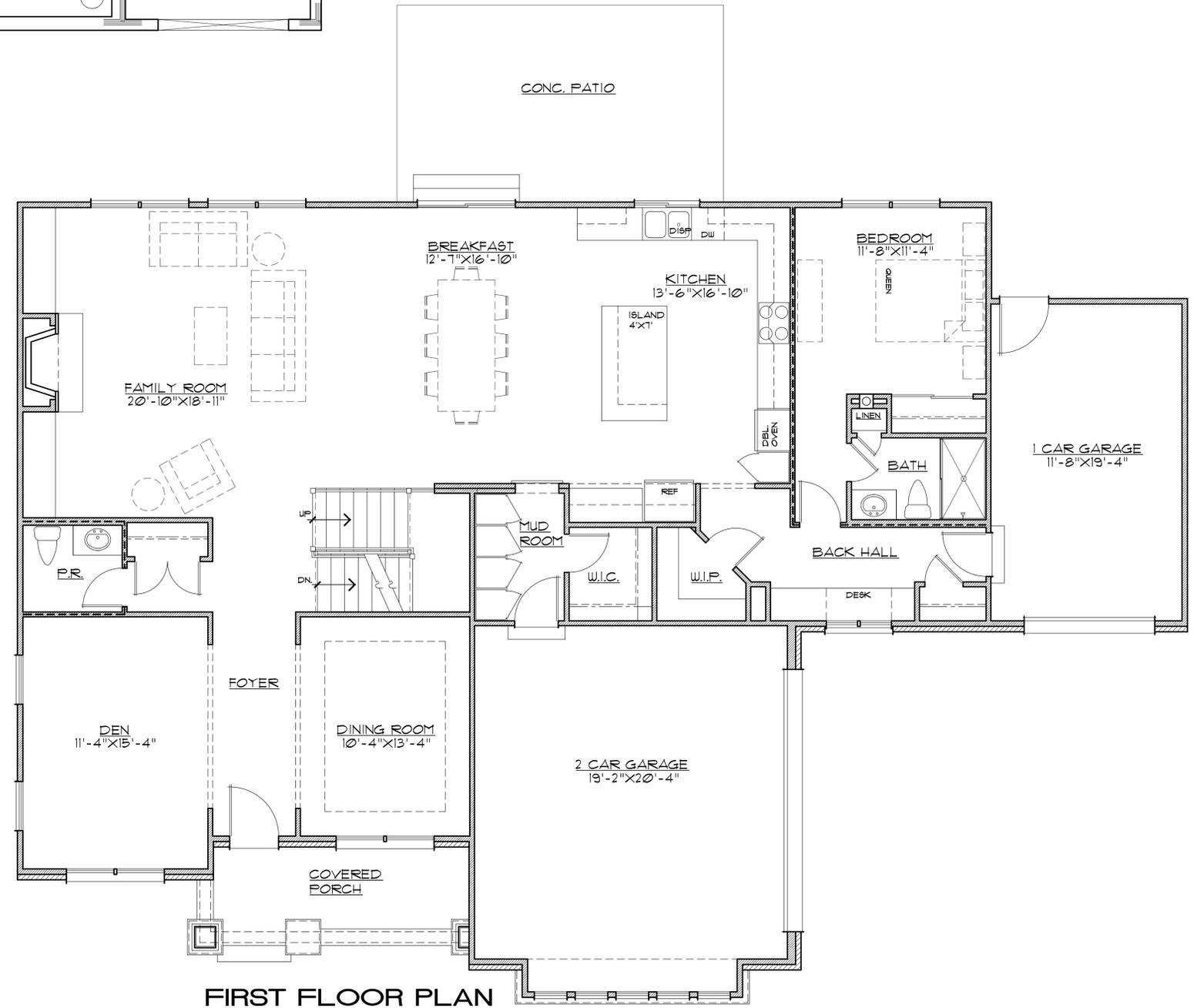
BASE MAP



FINISHED LOWER LEVEL

1/4" = 1'-0"

834 SQ. FT.



FIRST FLOOR PLAN

1/4" = 1'-0"

1934 SQ. FT.

date: 3/30/16
revised:

db
dick busch architects, p.c.
16615 old chesterfield rd.
chesterfield, mo 65011
(620) 530-1811
dickbuscharchitects.com

PRELIMINARY
NOT FOR
CONSTRUCTION

D O D A
CORPORATION

9601 ASHMONT

FINISHED LOWER LEVEL
AND FIRST FLOOR PLAN

sheet:

1

of 3



SECOND FLOOR PLAN

1/4" = 1'-0"

1867 SQ. FT.

sheet:

2

of 3

SECOND FLOOR PLAN

9601 ASHMONT

**D O D A
CORPORATION**

PRELIMINARY
NOT FOR
CONSTRUCTION

db
dick busch architects, p.c.
16615 old chesterfield rd.
chesterfield, mo 63011
(620) 530-1811
info@dickbuscharchitects.com

date: 3/30/16

revised:



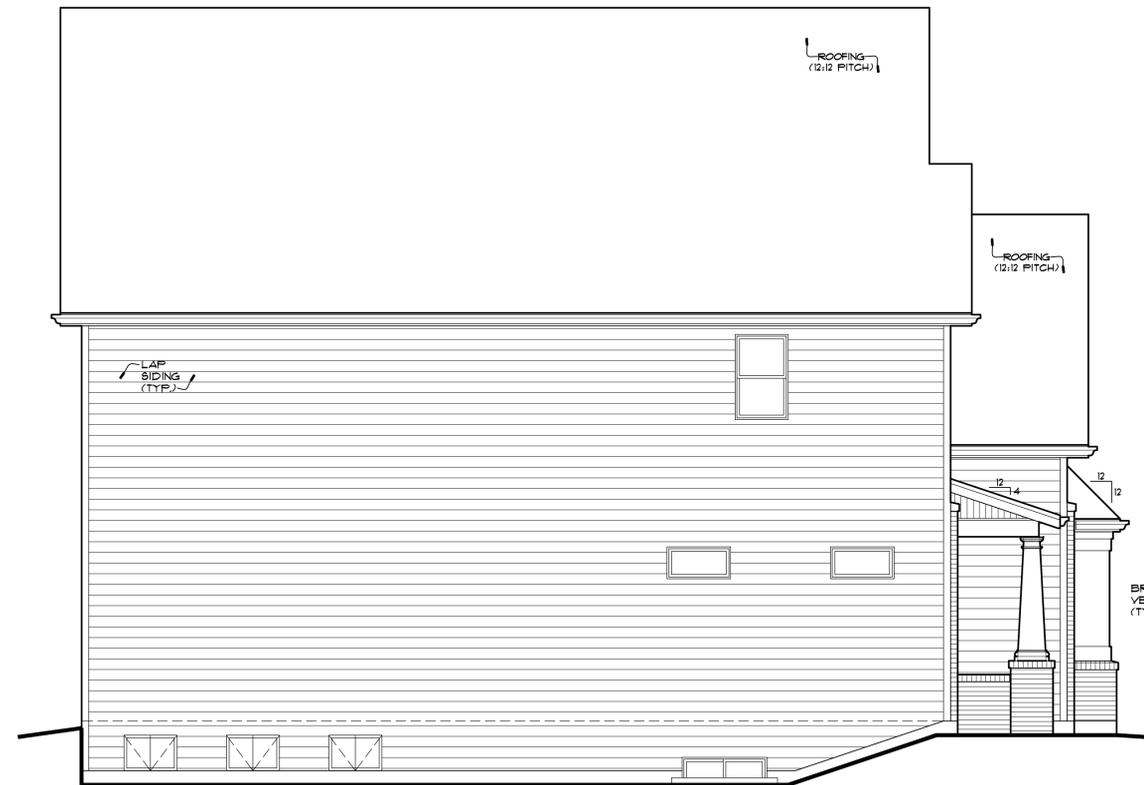
RIGHT SIDE ELEVATION

1/4" = 1'-0"



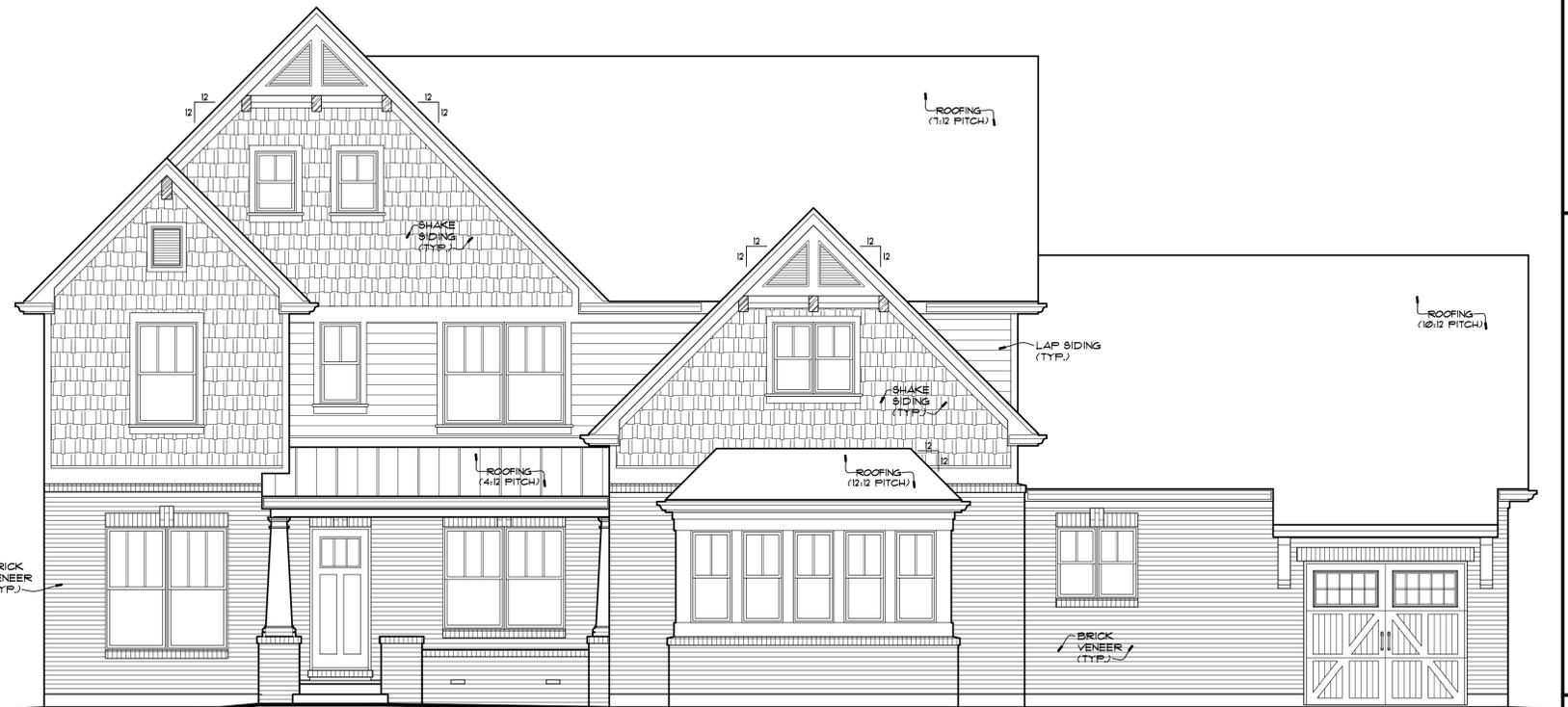
REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

date: 3/30/16
revised: 5/1/16

db
dick bush architects, p.c.
16615 old chesterfield rd.
chesterfield, mo 63011
(636) 530-1811
dickbusharchitects.com

PRELIMINARY
NOT FOR
CONSTRUCTION

D O D A
CORPORATION

9601 ASHMONT

ELEVATIONS

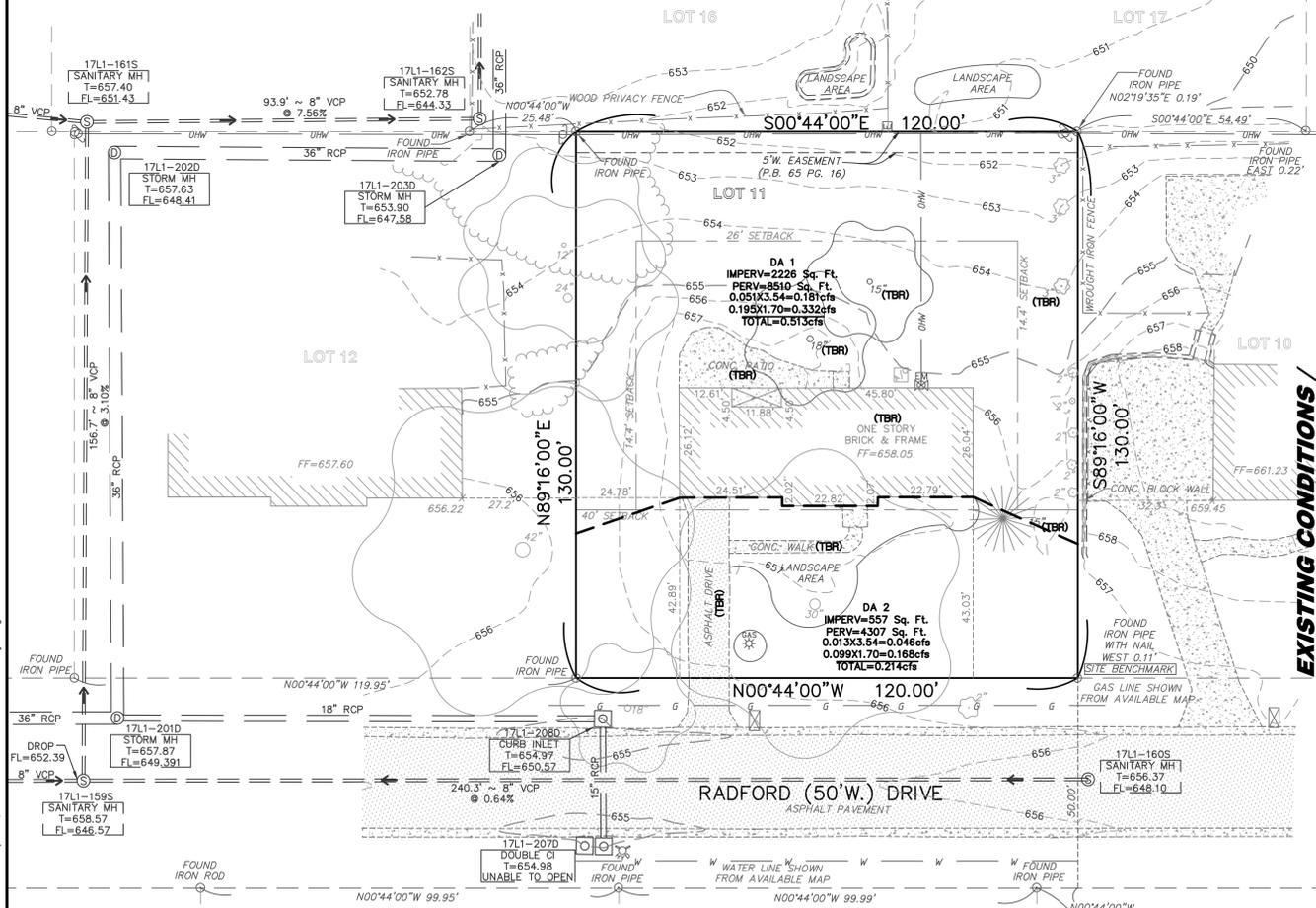
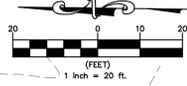
sheet: **3** of 3

**A TRACT OF LAND BEING LOT 11 OF OAK ESTATES ADDITION (P.B. 65 PG. 16)
LOCATED IN SECTION 6, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI**

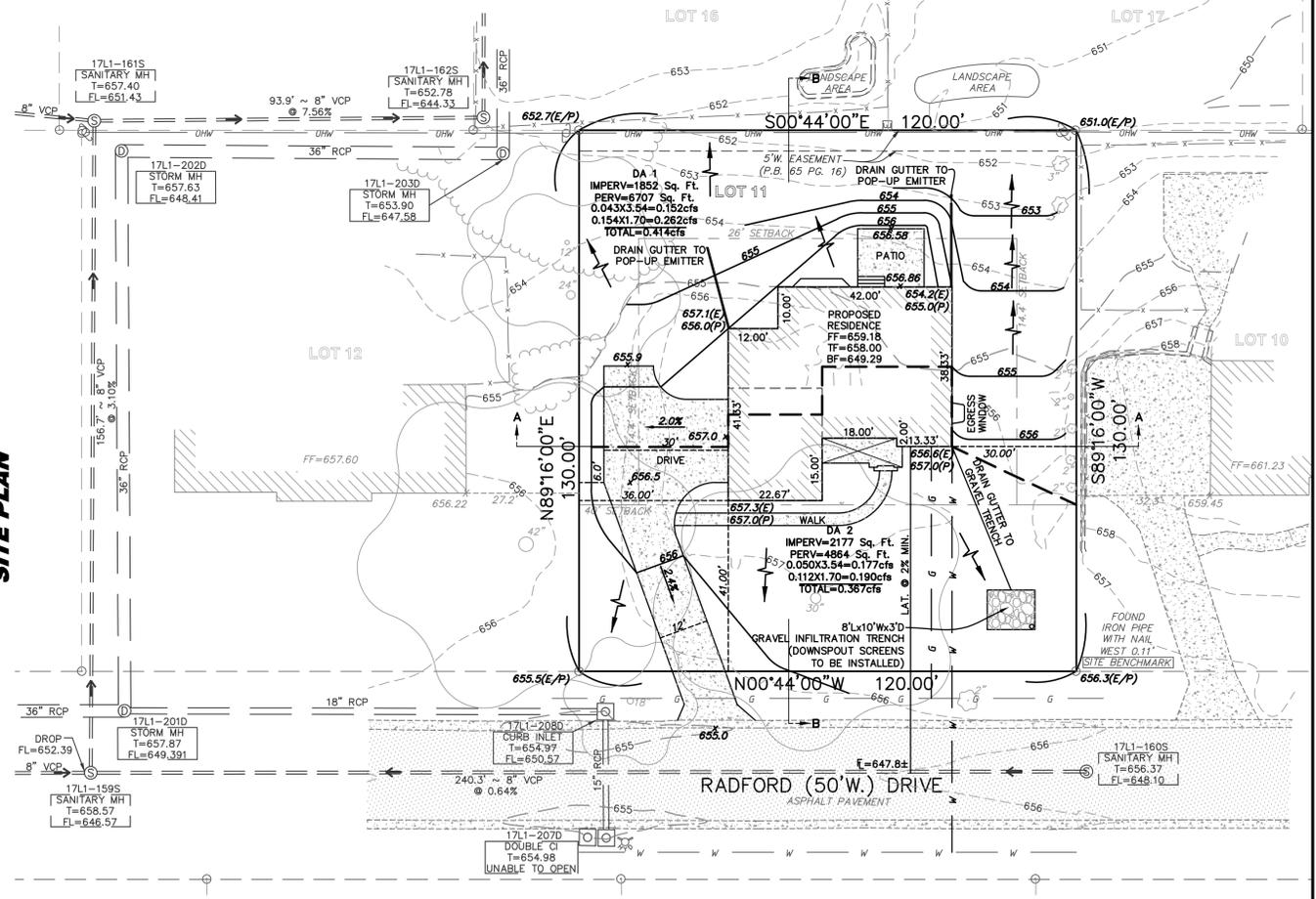


SITE INFO:
N/F AUDREY LUDWIG
D.B. 12846 PG. 1037
LOCAL 171.41-0248
#642 RADFORD DRIVE
15,600 SQ. FT. / 0.358 AC.

ZONING INFO:
SR SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK=40' PER PLAT
SIDE YARD SETBACK=12% OF LOT WIDTH
REAR YARD SETBACK=20% OF LOT DEPTH
HEIGHT RESTRICTIONS=35'



**EXISTING CONDITIONS /
DEMOLITION PLAN
SITE PLAN**



DIFFERENTIAL RUNOFF CALCULATIONS

PREDEVELOPED			
IMPERVIOUS AREA	2,783 SF = 0.064 Ac.	X 3.54 =	0.227cfs
PERVIOUS AREA	12,817 SF = 0.294 Ac.	X 1.70 =	0.500cfs
			0.358 AC.
POSTDEVELOPED			
IMPERVIOUS AREA	4,029 SF = 0.092 Ac.	X 3.54 =	0.326cfs
PERVIOUS AREA	11,571 SF = 0.266 Ac.	X 1.70 =	0.452cfs
			0.778cfs

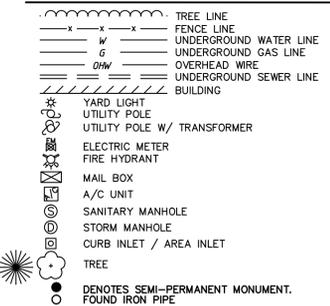
CONCLUSION FOR PROPOSED DEVELOPMENT

DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)
DIFFERENTIAL RUNOFF = PROPOSED RUNOFF - EXISTING RUNOFF
= 0.778 CFS - 0.727 CFS
= 0.051 CFS (INCREASE IN IMPERVIOUS AREA)
VOLUME TO BE ATTENUATED FOR = 0.051 X 1800 = 91.8 C.F.
A 8' L x 10' W x 3' D GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE ATTENUATION. ASSUMING 40% VOIDS IN THE GRAVEL 96.0 C.F. OF VOLUME IS PROVIDED

ABBREVIATIONS:

- CONC. - CONCRETE
- N/F - NOW OR FORMERLY
- P.B. - PLAT BOOK
- D.B. - DEED BOOK
- P.G. - PAGE
- SQ. FT. - SQUARE FEET
- (R) - RECORD
- (S) - SURVEY

LEGEND:



SITE NOTES

- PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
- CONTRACTOR TO INSTALL HUNG PLUMBING FOR THE LATERAL TO HAVE POSITIVE FLOW TO THE SEWER MAIN.
- DOWNSPOUTS TO DISCHARGE AT SPLASH BLOCKS UNLESS NOTED OTHERWISE.

SURVEYOR'S NOTES

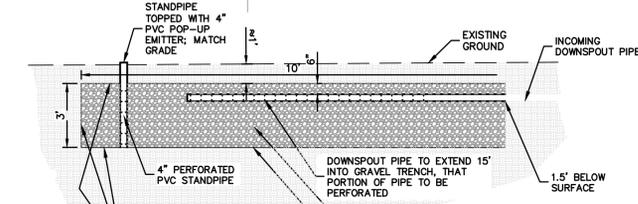
- THIS TRACT CONTAINS 15,600 SQUARE FEET OR 0.358 ACRES, MORE OR LESS.
- BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "OAK ESTATES ADDITION" SUBDIVISION AS RECORDED IN PLAT BOOK 65 PAGE 16 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- SOURCE OF RECORD TITLE: AUDREY LUDWIG IS DESCRIBED AS OWNER AS RECORDED IN DEED BOOK 12846, PAGE 1037 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
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BENCHMARK:

ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 14528: ELEVATION 705.83 (NAVD 88)
CUT "T" ON THE NORTHWEST CORNER OF THE CONCRETE BASE FOR METAL TRAFFIC SIGNAL CONTROL BOX SITUATED SOUTHEAST OF THE SIGNALIZED INTERSECTION OF OLIVE BOULEVARD WITH A COMMERCIAL DRIVE ENTRANCE ON THE SOUTH AND WITH INDIAN MEADOWS DRIVE FROM THE NORTH; NEAR THE NORTHWEST CORNER OF PROPERTY FOR OLIVETTE LANES ADDRESSED AS #600 OLIVE BOULEVARD; ROUGHLY 6 FEET SOUTH OF THE BACK OF CURB AND SOUTH OF THE SIDEWALK ALONG THE SOUTH SIDE OF OLIVE BOULEVARD, AND 50 FEET MORE OR LESS EAST OF THE CENTERLINE OF A SIGNALIZED COMMERCIAL ENTRANCE TO PROPERTY ADDRESSED AS #9538 OLIVE BOULEVARD.

SITE BENCHMARK:

IRON PIPE WITH NAIL: ELEVATION 656.31 (NAVD 88)
IRON PIPE WITH NAIL FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON.



GRAVEL INFILTRATION TRENCH SECTION

SCALE: NTS

- Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440
- Notes:
- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
 - All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 8 inches from the ground shall be pressure treated in accordance with Section R319.1.
 - Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
 - Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
 - This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
 - Elevation Examples: 714.0(B)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (10 CSR 30-2 AND 20 CSR 2030-16 EFFECTIVE DATE AUGUST 28, 2008).

THE STERLING COMPANY
MO. REG. 307-D

By George J. Gower - Vice President
Mo. Reg. L.S. - #2336

EXISTING SITE COVERAGE	
HOUSE = 1822 Sq. Ft.	
DRIVE = 426 Sq. Ft.	
WALK = 100 Sq. Ft.	
PORCH/PATIO = 435 Sq. Ft.	
TOTAL = 2783 Sq. Ft.	
PROPOSED SITE COVERAGE	
HOUSE = 2209 Sq. Ft.	
DRIVE = 1302 Sq. Ft.	
WALK = 168 Sq. Ft.	
PORCH/PATIO = 350 Sq. Ft.	
TOTAL = 4029 Sq. Ft.	
LOT COVERAGE	
HOUSE = 2209 Sq. Ft.	
2209 Sq. Ft. < 3900 Sq. Ft. MAX. COVERAGE	
RESIDENTIAL HOUSE RATIO	
1ST FLOOR = 1630 Sq. Ft.	
2ND FLOOR = 1413 Sq. Ft.	
TOTAL FLOOR = 3043 Sq. Ft.	
3043 Sq. Ft./15600 Sq. Ft. = 0.20 < 0.30 MAX. RATIO	

Drawing name: V:\1602034 Oak Estates Addition Lot 11\Drawings\Surveying\Plot Plan\16-02-034_Site Plan.dwg Plotted on: Apr 27, 2016 - 9:44am Plotted by: mgblin

ISSUE	REMARKS/DATE

PREPARED FOR:
DOUGLAS PROPERTIES
P.O. BOX 16001
ST. LOUIS, MO 63105
(314) 725-9911

PREPARED BY:
THE STERLING CO.
ENGINEERS & SURVEYORS
5095 NEW BAUMGARTNER ROAD
ST. LOUIS, MISSOURI 63129
P: (314) 487-0440
F: (314) 487-0440
E-Mail: Sterling@sterling-eng-survey.com

DRAWN:	MTG
DESIGNED:	
CHECKED:	JAH

PROJECT:
#642 RADFORD DRIVE

SHEET TITLE:
SITE PLAN

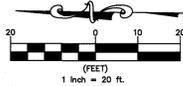
NO.	16	02	034
M.S.D.	SHEET		
P.#	1		
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BASE MAP

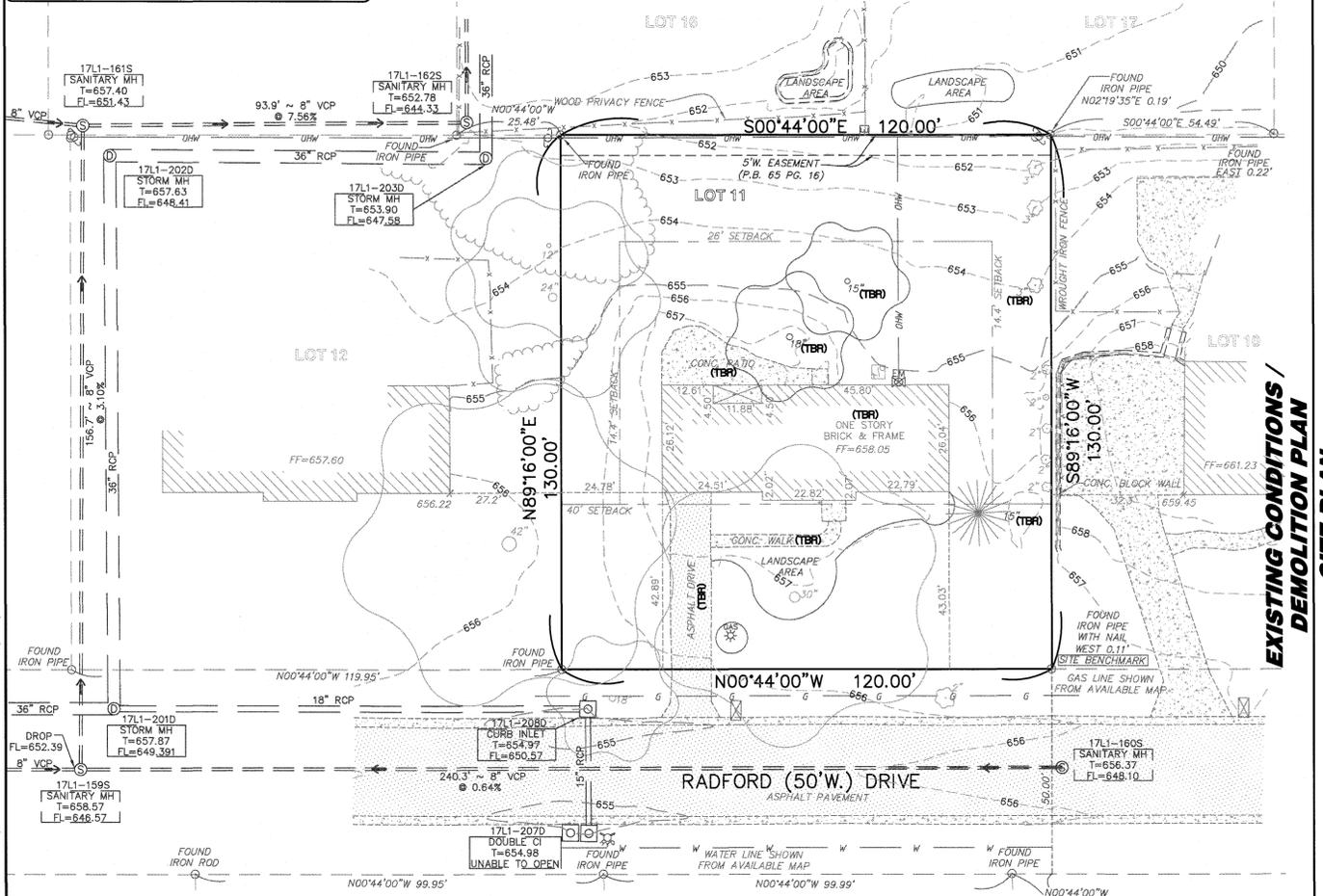
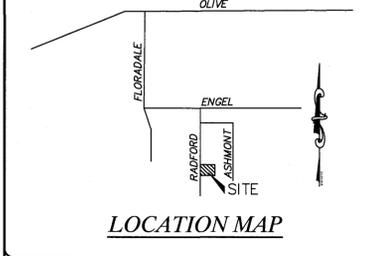
**A TRACT OF LAND BEING LOT 11 OF OAK ESTATES ADDITION (P.B. 65 PG. 16)
LOCATED IN SECTION 6, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI**

SITE INFO:
N/F AUDREY LUDWIG
D.B. 12846 PG. 1037
LOC# 17L1-0248
#642 RADFORD DRIVE
15,600 SQ. FT. / 0.358 AC.

ZONING INFO:
SR SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK=40' PER PLAT
SIDE YARD SETBACK=12% OF LOT WIDTH
REAR YARD SETBACK=20% OF LOT DEPTH
HEIGHT RESTRICTIONS=35'



LOCATION MAP

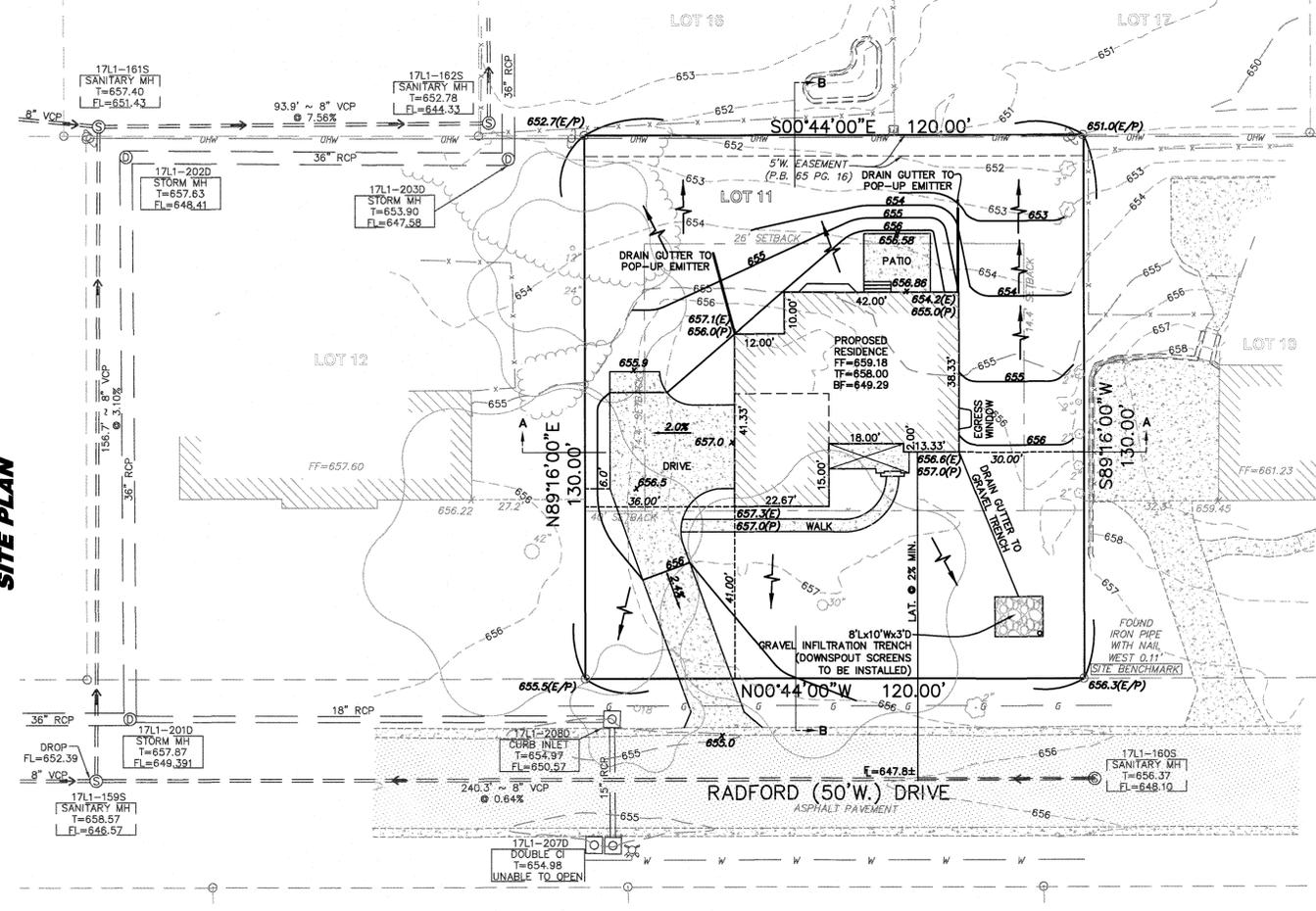


**EXISTING CONDITIONS /
DEMOLITION PLAN
SITE PLAN**

DIFFERENTIAL RUNOFF CALCULATIONS

PREDEVELOPED IMPERVIOUS AREA	2,783 SF = 0.064 Ac. X 3.54 = 0.227cfs
PERVIOUS AREA	12,817 SF = 0.294 Ac. X 1.70 = 0.500cfs
	0.358 Ac. 0.727cfs
POSTDEVELOPED IMPERVIOUS AREA	4,029 SF = 0.092 Ac. X 3.54 = 0.326cfs
PERVIOUS AREA	11,571 SF = 0.266 Ac. X 1.70 = 0.452cfs
	0.358 Ac. 0.778cfs

CONCLUSION FOR PROPOSED DEVELOPMENT
DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)
DIFFERENTIAL RUNOFF = PROPOSED RUNOFF - EXISTING RUNOFF
= 0.778 CFS - 0.727 CFS
= 0.051 CFS (INCREASE IN IMPERVIOUS AREA)
VOLUME TO BE ATTENUATED FOR = 0.051 X 1800 = 91.8 C.F.
A 8' x 10' x 3'D GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE ATTENUATION. ASSUMING 40% VOIDS IN THE GRAVEL 96.0 C.F. OF VOLUME IS PROVIDED



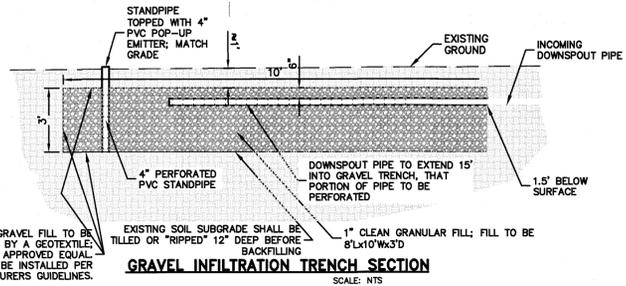
- ABBREVIATIONS:**
CONC. - CONCRETE
N/F - NOW OR FORMERLY
P.B. - PLAT BOOK
D.B. - DEED BOOK
PG. - PAGE
SQ. FT. - SQUARE FEET
(R) - RECORD
(S) - SURVEY
- LEGEND:**
--- TREE LINE
--- FENCE LINE
--- UNDERGROUND WATER LINE
--- UNDERGROUND GAS LINE
--- OVERHEAD WIRE
--- UNDERGROUND SEWER LINE
--- BUILDING
--- YARD LIGHT
--- UTILITY POLE W/ TRANSFORMER
--- ELECTRIC METER
--- FIRE HYDRANT
--- MAIL BOX
--- A/C UNIT
--- SANITARY MANHOLE
--- STORM MANHOLE
--- CURB INLET / AREA INLET
--- TREE
--- DENOTES SEMI-PERMANENT MONUMENT.
--- FOUND IRON PIPE

SITE NOTES
1. PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
2. CONTRACTOR TO INSTALL HUNG PLUMBING FOR THE LATERAL TO HAVE POSITIVE FLOW TO THE SEWER MAIN.
3. DOWNSPOUTS TO DISCHARGE AT SPLASH BLOCKS UNLESS NOTED OTHERWISE.

SURVEYOR'S NOTES
1. THIS TRACT CONTAINS 15,600 SQUARE FEET OR 0.358 ACRES, MORE OR LESS.
2. BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "OAK ESTATES ADDITION" SUBDIVISION AS RECORDED IN PLAT BOOK 65 PAGE 16 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
3. SOURCE OF RECORD TITLE: AUDREY LUDWIG IS DESCRIBED AS OWNER AS RECORDED IN DEED BOOK 12846, PAGE 1037 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
4. THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

BENCHMARK:
ST. LOUIS COUNTY BENCHMARK
BENCH MARK: 14526; ELEVATION 705.83 (NAVD 88)
CUT "L" ON THE NORTHWEST CORNER OF THE CONCRETE BASE FOR METAL TRAFFIC SIGNAL CONTROL BOX SITUATED SOUTHEAST OF THE SIGNALIZED INTERSECTION OF OLIVE BOULEVARD WITH A COMMERCIAL DRIVE ENTRANCE ON THE SOUTH AND WITH INDIAN MEADOWS DRIVE FROM THE NORTH; NEAR THE NORTHWEST CORNER OF PROPERTY FOR OLIVETTE LANES ADDRESSED AS #9520 OLIVE BOULEVARD; ROUGHLY 6 FEET SOUTH OF THE BACK OF CURB AND SOUTH OF THE SIDEWALK ALONG THE SOUTH SIDE OF OLIVE BOULEVARD, AND 50 FEET MORE OR LESS EAST OF THE CENTERLINE OF A SIGNALIZED COMMERCIAL ENTRANCE TO PROPERTY ADDRESSED AS #9538 OLIVE BOULEVARD.

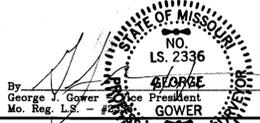
SITE BENCHMARK:
IRON PIPE WITH NAIL - ELEVATION 656.31 (NAVD 88)
IRON PIPE WITH NAIL FOUND AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON.



EXISTING SITE COVERAGE	TOTAL = 2783 Sq. Ft.
PROPOSED SITE COVERAGE	TOTAL = 4029 Sq. Ft.
LOT COVERAGE	HOUSE = 2209 Sq. Ft. 2209 Sq. Ft < 3900 Sq. Ft. MAX. COVERAGE
RESIDENTIAL HOUSE RATIO	1ST FLOOR = 1630 Sq. Ft. 2ND FLOOR = 1413 Sq. Ft. TOTAL FLOOR = 3043 Sq. Ft. 3043 Sq. Ft./15600 Sq. Ft. = 0.20 < 0.30 MAX. RATIO

- Plot Plan Prepared by THE STERLING COMPANY (314) 487-0440
- Notes:**
1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
2. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
3. Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet to a swale.
4. Foundation footings shall be constructed so as to maintain a 2' 8" depth of earth cover or as required by local building codes.
5. This plot plan conforms to "2006 ST. LOUIS COUNTY CODE".
6. Elevation Examples: 714.0(E)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (10 CSR 30-2 AND 20 CSR 2030-16 EFFECTIVE DATE AUGUST 28, 2006).

THE STERLING COMPANY
MO. REG. 307-D



ISSUE	REMARKS/DATE

PREPARED FOR:
DOUGLAS PROPERTIES
P.O. BOX 16001
ST. LOUIS, MO 63105
(314) 725-9911

PREPARED BY:
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 NEW BALMARTNER ROAD
ST. LOUIS, MISSOURI 63120
(314)-487-0440 FAX 487-8944
E-Mail: Sterling@sterling-eng-sur.com

DRAWN:	MTG	DESIGNED:	JAH
PROJECT:	#642 RADFORD DRIVE	CHECKED:	JAH
SHEET TITLE:	SITE PLAN		

NO	16	02	034
M.S.D.			
P#			
DIGITAL FILE LOCATION	SERVER:STERLING-2		
ENTER DROWING_NAME.DWG	1		1

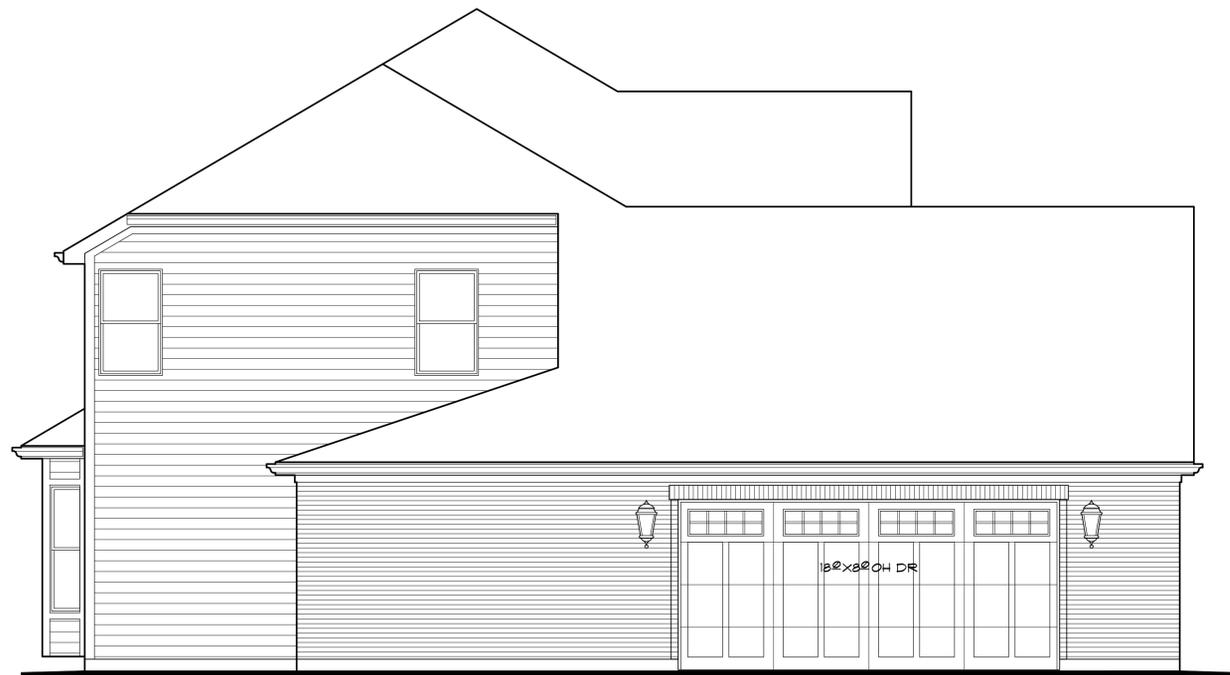
BASE MAP



RIGHT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

date: 4/5/16
revised:

db
dick busch architects, p.c.
16215 old chesterfield rd.
chesterfield, mo 63011
(636) 536-1181
dickbuscharchitects.com

PRELIMINARY
NOT FOR
CONSTRUCTION

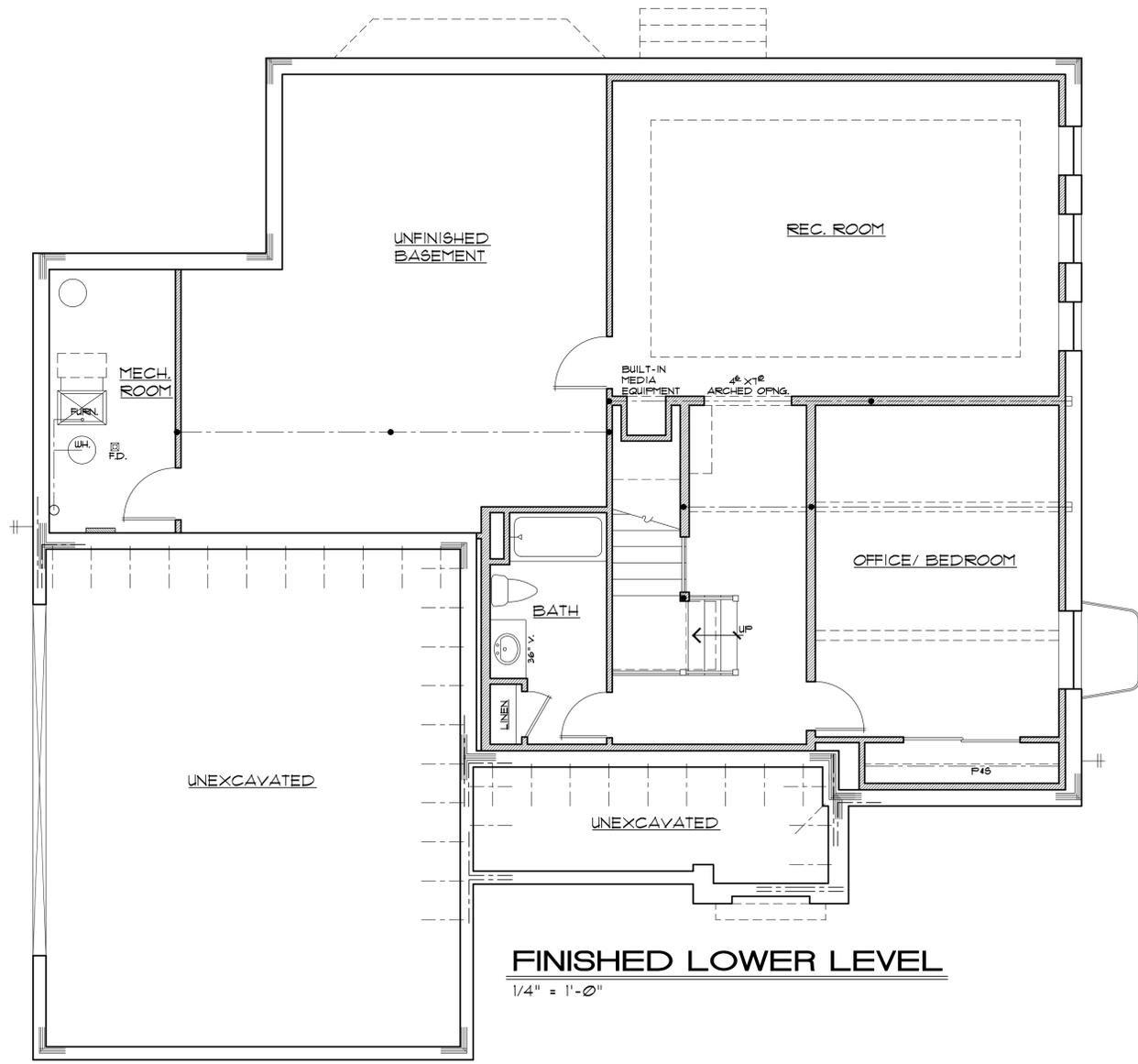
642 RADFORD DRIVE
OLIVETTE, MO

ELEVATIONS

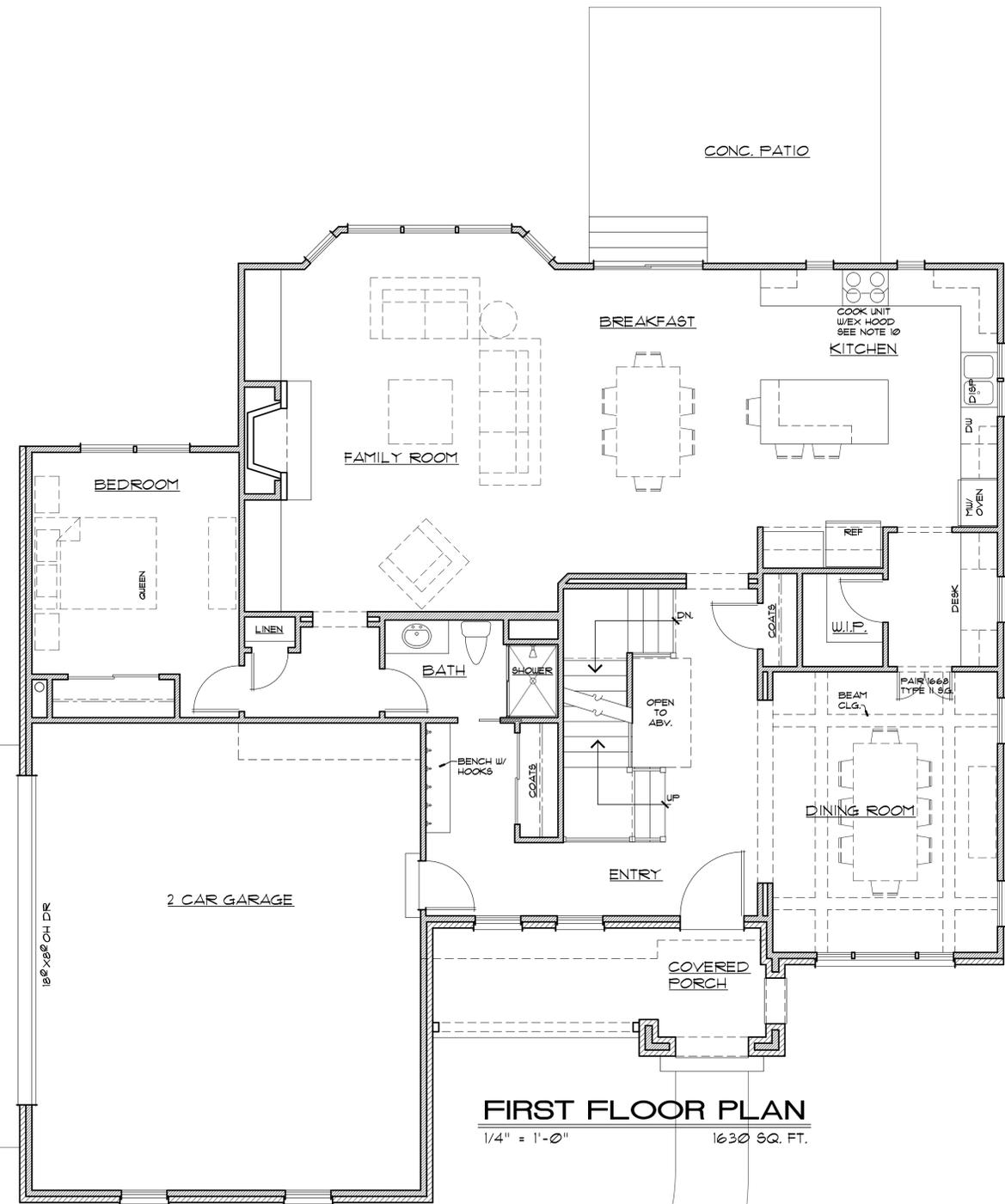
sheet:

3

of 3



FINISHED LOWER LEVEL
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"
1630 SQ. FT.

date: 4/5/16
revised:

db
dick busch architects, p.c.
16215 old chesterfield rd.
chesterfield, mo 65011
(620) 530-1181
181
busch@dbarchitects.com
dickbuscharchitects.com

PRELIMINARY
NOT FOR
CONSTRUCTION

642 RADFORD DRIVE
OLIVETTE, MO

FIRST FLOOR PLAN
AND FINISHED
LOWER LEVEL

sheet:

1

of 3



SECOND FLOOR PLAN
 1/4" = 1'-0" 1413 SQ. FT.



City of Olivette Public Services
Department of Planning and Community Development
1200 North Price Road
Olivette, MO 63132

(314) 993-0252 (Office)
(314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 642 RADFORD DRIVE
PETITION FOR COMMUNITY DESIGN REVIEW, SITE PLAN REVIEW, CONCEPT STORMWATER
MANAGEMENT REVIEW

PETITIONER:
Doug Cohen
Douglas Properties

ENGINEER:
The Sterling Company

ARCHITECT:
Dick Busch Architects

SUMMARY OF PETITION:

1. Petition for a two level home with 2-car side-entry garage.
2. Zoning: The lot does not meet the minimum lot size requirements of the Single Family Residential District, therefore, Site Plan Review is required in addition to Community Design Review. The proposed site improvements appear to comply with the dimensional and bulk regulations of the SR zoning district.
3. Site Plan Review: The site plan review procedure is intended to ensure the adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities. This includes reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself. Staff has concerns regarding Stormwater management.
4. Community Design Review: In exception for site grading and Stormwater management, staff finds the design of the proposed home complies with the principles of the Design Guidelines.
5. Concept Stormwater Management Review: Petition proposes to capture the differential runoff generated from the proposed development on the southern front portion of the roof. In review of the proposed Plan and existing site conditions, staff has concerns for the drainage impact to the rear of the lot.
6. Staff and the Stormwater Consultant have separately visited the site. From visual observations, the rear yard, the lot's lowest elevation, remained wet a day after rain events. Staff notes, two landscaped areas have been provided by two adjoining properties in the rear. The Site Plan proposes to capture and detain a portion of the front roof runoff. Staff express greater concern for the management and impact of runoff to the rear. Staff continues to work with the Petitioner and the Stormwater Consultant to provide a more in-depth plan for Stormwater management on the site. Staff does not believe modifications to the Concept Stormwater Management Plan which includes site grading and downspout release points will affect the architectural elements of the home.
7. Staff ask the Commission to consider the condition a second motion for Concept Stormwater Management Plan review for the Petitioner to continue to work with staff and the Stormwater Consultant to generate a Stormwater plan that manages roof runoff in the rear. The final Stormwater Management Plan will be before the Commission prior to the final inspection for the construction of the home.
8. Should the Commission consider action on the petition, staff recommends two motions, the first for Community Design and Site Plan Review and the second motion for Concept Stormwater Management Plan Review.

ATTACHMENTS:

- Staff Report
- Subdivision Trustee Approval
- Staff Review Letter
- Petition Application

SUGGESTED MOTIONS: The Commission should consider the following motions in the affirmative as follows:

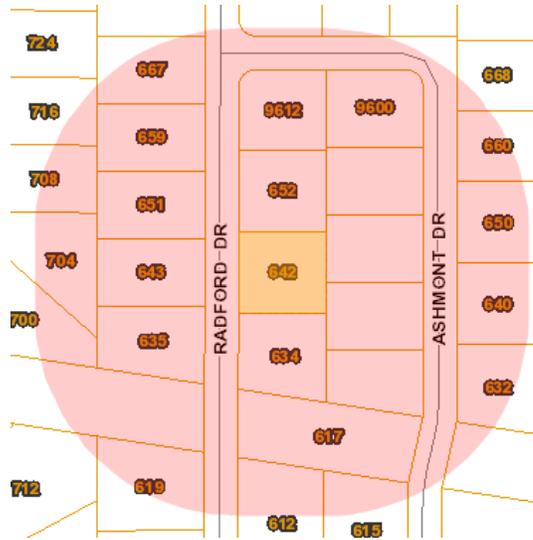
Motion to approve the Petition for Community Design Review and Site Plan Review for a New Single Family Home at 642 Radford Drive, as presented in the Memorandum from the Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Motion to approve the Concept Stormwater Management Plan Review for a New Single Family Home at 642 Radford Drive, as presented in the Memorandum from the Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

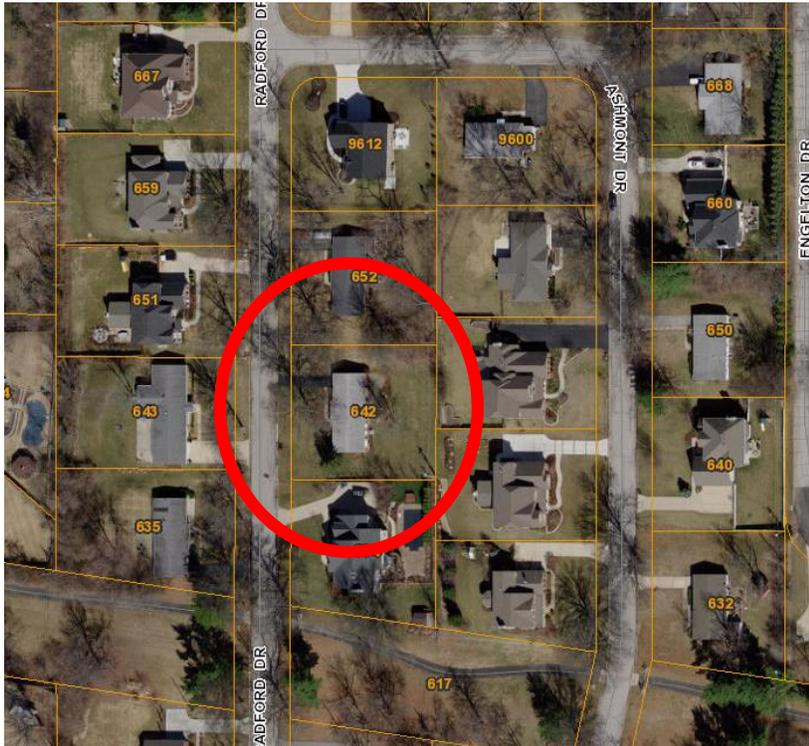
Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review and Site Plan Review.

BUILDING AREA AND COVERAGE								
PROPOSED BUILDING				SITE COVERAGE				
First Floor Habitable	1,610	sf.		Lot Area	15,600	sf.		
Attached Garage	605	sf.						
Total Building Footprint	2,215	sf.		Existing Site Coverage			Percent	
				Building Footprint	1,905	sf.	12.2%	
Second Floor	1,480	sf.		All other areas	878	sf.	5.6%	
TOTAL	3,695	sf.		TOTAL EXISTING	2,783	sf.	17.8%	
w/o garage	3,090	sf.						
				Proposed site coverage			Percent	
Maximum Code Allowed				Building Footprint	2,215		14.2%	
Resd. FAR @ 0.30 or 3,500	4,680	sf.		All other areas	1,388	sf.	8.9%	
Site Coverage @ 25% or 2,500 sf.	3,900	sf.		TOTAL PROPOSED	3,603	sf.	23.1%	
	50	1		Change	Numerical		Percent	
				Building Footprint	310	sf.	20.1%	
				All other areas	510	sf.	58.1%	
				TOTAL	820	sf.	29.5%	
BUILDING SETBACKS, existing and proposed								
			Code Rqd.	Building Setbacks		Distance from Neighbor		
				Existing	Proposed	Existing	Proposed	
Front yard	Radford west)		40.0 ft.	41.0 ft.	41.0 ft.	not applic.	not applic.	
Side yard	(Left- north)		14.4 ft.	24.8 ft.	36.0 ft.	52.0	63.2 ft.	
Side yard	Right- south)		14.4 ft.	25.0 ft.	30.0 ft.	57.3	62.3 ft.	
Rear yard	(Rear- east)		26.0 ft.	60.0 ft.	37.0 ft.	not applic.	not applic.	
FOUNDATION WALL EXPOSURE-per building corner								
Corner Grades			Existing	Proposed	T.O.F.	Wall Exposure		
NW	Radford Dr left		657.3	657.0	658.0	1.0		
SW	Radford Dr right		656.6	657.0	658.0	1.0		
NE	Rear- left		657.1	656.0	658.0	2.0		
SE	Rear- right		654.2	655.0	658.0	3.0		
RESIDENTIAL BUILDING HEIGHT-per building elevation								
Radford Drive Street Building Elevation-West			Left	Right	Average Grades	T.O.F.	Bldg. Height	Overall Bldg. Height
	Existing		657.3	656.6	657.0	658.0	30.5	31.6
	Proposed		657.0	657.0	657.0	658.0	30.5	31.5
Left side building elevation-North								
	Existing		657.3	657.1	657.2	658.0	30.5	31.3
	Proposed		657.0	656.0	656.5	658.0	30.5	32.0
Right side building elevation-South								
	Existing		656.6	654.2	655.4	658.0	30.5	33.1
	Proposed		657.0	655.0	656.0	658.0	30.5	32.5
Rear Building Elevation-East								
	Existing		657.1	654.2	655.7	658.0	30.5	32.8
	Proposed		656.0	655.0	655.5	658.0	30.5	33.0
* All grades and heights are measured in feet.								

LOCATION MAP



AERIAL





City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252

April 26, 2016

Doug Cohen
Douglas Properties
1 Pricemont Court
Olivette, MO 63132

RE: 642 RADFORD DRIVE
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN REVIEW, SITE
PLAN REVIEW, AND STORMWATER CONCEPTUAL REVIEW

Dear Mr. Cohen:

A petition for a new single family home was submitted for Planning and Community Design Commission (Commission) consideration and approval. Upon receipt of an application, a review letter noting the filing deficiencies will be forwarded to the Petitioner. Petitions with outstanding filing deficiencies will not be scheduled for a Commission. Within 10-days of a completed Petition, review comments will be provided, evaluating the proposed improvements in regards to the Olivette Residential Design Guidelines, Site Plan Review and Concept Stormwater Management Plan. Site Plan Review is required for construction on lots less than the mandatory minimum lot size requirements as set forth in Section 400.220 Permitted Uses. Only complete Petitions will be scheduled and forwarded for Commission review as in accordance with Section 425.050 Review Procedure.

Summary of Letter

Initial Review. *Please note items will not be scheduled for a Commission meeting until the filing deficiencies are met.*

Filing Deficiencies

The filing deficiencies noted in Exhibit 1 must be provided in the form of one paper copy and an electronic PDF copy. The Petition will not be schedule for a Commission meeting until a revised Petition contains the requirements as outlined in the Exhibit.

Olivette Design Guidelines

Missing Olivette Design Guidelines information, notably, identification of material finishes for roof pitches.

Site Plan

Placement of the proposed garage on the lower end of the lot.

Once the items noted within Exhibit 1 Submission Checklist are provided, the Petition will be forwarded for Concept Stormwater Management Plan review in accordance with Chapter 422 Stormwater Management. An onsite must be held with the Petitioner and Surveyor/Engineer. During the onsite meeting, be prepared to discuss Stormwater management, site grading, design and outstanding concerns for the improvements.

PRELIMINARY REVIEW COMMENTS

Preliminary review comments have been provided below:

Garage Placement.

The nearest corner grade of the adjacent homes to the north and south are 656.22 and 659.45, respectively. The site plan proposes the garage floor foundation at 657.0. The garage appears to be placed on the overall lower side of the lot along Radford Drive.

Staff would prefer the footprint of the garage to be located on the higher end of the lot, closer to the south side. Staff request reasoning to locate the garage on the lower end of the garage.

Landscape Area.

There is a landscaped area just east of the subject lot shown on the existing site plan that is not illustrated on the site improvement plans. Furthermore, contours do not extend 50-feet from the subject lot.

Compliance with Olivette Design Guidelines. In accordance with Section 425.050, below is a review and evaluation of the application regarding seven of the eight design principles of the Olivette Residential Redevelopment and Design Guidelines (Guidelines):

Roofs. Your rooflines should not be the dominating architectural theme of your new home. Instead, the roof line can be used to help your home harmonize with the roof patterns of the street without calling attention to itself.

Building plans must provide the roof pitch for the main and secondary roof line.

Materials. To reflect the quality of our communities we expect building materials to be of the highest quality, reflecting the material use and patterns of the neighborhood. We prefer to see and routinely favor an elegant, well-considered palette of materials that reflects the proportion and use of materials used in the neighborhood.

Building plans must note the type of material finishes.

Stormwater Management. Chapter 422 Stormwater Management is intended to ensure that the development of land in the City of Olivette occurs in a manner that protects, provides for and promotes the public health, safety, convenience, comfort and general welfare of the residents of Olivette.

Data has not been sufficiently provided. Please refer to Exhibit 1 for required Drainage Map information to be provided. Please note, the type of Stormwater system proposed may warrant additional inspections during the building permit phase.

Site Plan Review. Article XI Site Plan Review is intended to ensure the adequate review and consideration of potential impacts of the proposed development upon surrounding uses and activities.

Site Plan Review will be conducted once outstanding submission requirements have been provided.

Notification. In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Oak Estates Addition Subdivision

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

Site maintenance. It appears that the existing home on the site is vacant. It is important that the site and home be properly maintained at all times. The building should be secured and bolted to ensure that access into the house is restricted. The grass, limbs, leaves and other vegetation should be maintained at all times. Failure to ensure the maintenance of the site will result in the City pursuing any and all necessary legal action to ensure compliance, including requesting the Commission defer action until full compliance is ascertained.

Unauthorized/Illegal Demolition. At no time shall unauthorized or illegal demolition take place on the site. The City of Olivette has strict rules and regulations regarding demolition of any structure. Any unauthorized or illegal demolition taking place on the site should be reported to the police immediately.

Unauthorized demolition includes removal of gutters, kitchen fixtures, bathroom fixtures, doors, etc. If demolition has begun without City approval, a citation will be issued immediately, you will have 30 days to raze the home and restore the site, and the petition for review shall be placed on hold until the Court rules on the matter.

SUMMARY AND CONCLUSION

The petition application and plans submitted to the Planning and Community Design Commission for a single family home proposed at 642 Radford Drive must be revised to address the outstanding submission requirements. The Petition will be schedule for a Commission meeting once the submission requirements have been provided.

Once the drainage zones have been provided to staff, Concept Stormwater Review will commence. After the missing submission requirement information has been provided, an onsite meeting should be scheduled.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivettemo.com.

Respectfully,



Jonathan Roper
Planner/GIS Coordinator

Submission Requirements

Existing Site Conditions:

- All existing contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- All proposed contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- All existing drainage patterns on the site.
- Location and identification of all utilities and easements servicing the site, including, but not limited to, private water and sewer laterals, water mains, sewer mains, storm sewer mains, and electrical service. **Gas & Water Connections to home.**

Proposed Improvements:

- Location and general design (width and materials) of all driveways, curb cuts and sidewalks, including connections to building entrances (**Driveway and turnaround widths have not been provided**).
- Location, size and height of the proposed structures on the site.
- Proposed elevation of the top of garage floor slab.

Drainage Area Map

- Provide an illustration of the lot grounds showing the lot zoned into drainage areas. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.

Lot Data and Zoning Regulations

- A table similar to the one below showing the calculated site coverage of each of the following existing improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL EXISTING IMPERVIOUS AREAS	X,XXX xf.

- A table similar to the one below showing the calculated site coverage of each of the following proposed improvements:

building footprint	X,XXX sf.
driveway/turnaround/sidewalks	X,XXX sf.
Other hard surface areas (decks/pools/etc.)	X,XXX sf.
TOTAL PROPOSED IMPERVIOUS AREAS	X,XXX xf.

Site Information Stormwater Management Plan

STORMWATER MANAGEMENT PLAN

The petitioner must provide a Concept Stormwater Management Plan intended to ensure the adequate review and consideration of potential stormwater management impacts of proposed site alterations upon the surrounding uses, activities, properties, the existing stormwater infrastructure, and the watershed, and that the site alterations adhere to the principles and acceptable practices outlined in Section 422.060 of the Olivette Municipal Code.

Drainage Area Map:

- Provide an illustration of the lot grounds showing the lot zoned into drainage areas. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.
- For each drainage area zone, note the land area within the zone.
- For each drainage area zone, note the amount of existing impervious area within the zone.
- For each drainage area zone, note the amount of proposed impervious area within the zone.
- Provide both the existing and proposed site conditions identified in the Site Plan.
- For each drainage area zone, provide differential run-off calculations of each drainage area based on a 15-year 20-minute storm.
- Provide details and specifications of all proposed acceptable Urban post-construction stormwater BMPs.

From: [Gregg A. Kinney](#)
To: [Carlos Trejo \(ctrejo@olivettemo.com\)](#); [douglasprop@gmail.com](#)
Subject: New home plans - Oak Estates
Date: Friday, April 15, 2016 11:10:52 AM
Attachments: [9601 Ashmont - ARB.pdf](#)
[ATT00001.htm](#)
[642 Radford - ARB.pdf](#)
[ATT00002.htm](#)

Carlos,

The Oak Estates Trustees have reviewed and approve the attached plans for the new homes at 9601 Ashmont and 642 Radford.

Keep up the great work Doug!

Thanks, Gregg

[vCard](#) | [Bio](#)

 **HEPLERBROOM_{LLC}**

Gregg Kinney
Licensed in Illinois and Missouri
Gregg.Kinney@heplerbroom.com

Phone: 314-480-4196
Fax: 618-656-1364
www.heplerbroom.com

HeplerBroom LLC
130 N. Main St.
Edwardsville, IL 62025



**ST. LOUIS, MO - EDWARDSVILLE (MADISON COUNTY, IL)
SPRINGFIELD, IL - CHICAGO, IL - CRYSTAL LAKE, IL**

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Email communication is not a secure method of communication. Please contact me immediately if you want future communications to be sent via a different medium.

From: Doug Cohen [mailto:douglasprop@gmail.com]
Sent: Thursday, April 14, 2016 3:54 PM
To: Gregg A. Kinney <Gregg.Kinney@heplerbroom.com>
Subject: Fwd: Olivette ARB Packets

Thanks.

Doug Cohen
Douglas Properties
314-280-2041
Douglasproperties.com
Po box 16001
St Louis, MO 63105

Begin forwarded message:

From: "AJ Catlett" <ajc@dickbuscharchitects.com>
Date: April 14, 2016 at 3:27:54 PM CDT
To: "Doug Cohen" <douglasprop@gmail.com>
Subject: Olivette ARB Packets

Hello Doug,

Here is a electronic copy of 9601 Ashmont and 642 Radford ARB sheets for your records.

Thank you,
AJ Catlett
Project Manager

Dick Busch Architects
16678 Old Chesterfield Rd.
Chesterfield, MO 63017
Ph: 636-530-7787 ext. 302
Fax: 636-530-0315
www.dickbuscharchitects.com

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pd 4-15-2016 CR #4031-750.10



...in the center of it all

City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Doug Cohen
Company Name: Douglas Properties
Address: 1 Poplar City: St. Louis Zip Code: 63132
E-mail Address: Douglasprop@gmail.com Phone Number: (314) 725-9911

As the applicant, which of the following apply:

- Developer
- Contractor
- Owner
- Registered Engineer
- Registered Architect
- Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction
- Major Residential Addition and/or exterior modification
- Amendment to Active Site Plan or Community Design Review
- Accessory Structure
- Other (Site Plan Review)
- Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 642 Radford
St. Louis County Tax ID No. _____
Legal Description of Property: _____

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting. Amendments to an active Community Design or Site Plan Review in which an active Construction Permit under Article XVIII of Chapter 400 has not been completed is \$100. Amendments to active Community Design Review with Site Plan Review is \$150.

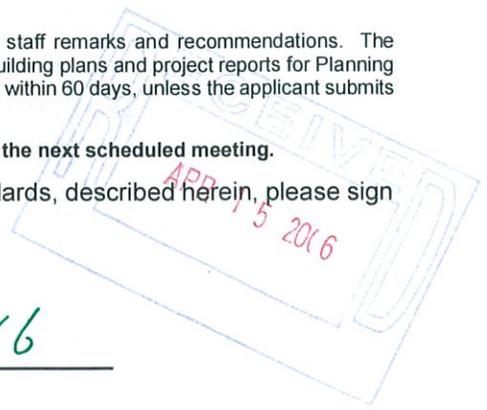
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

[Signature]
Name of applicant

4-15-16
Date





DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 9617 ASHMONT DRIVE
PETITION FOR SITE PLAN REVIEW TO AUTHORIZE FENCE VARIANCE REQUEST

PETITIONER/PROPERTY OWNER: CORY BLOCK, 9617 ASHMONT LLC
PROPERTY OWNER: 9617 ASHMONT LLC

SUMMARY OF PETITION:

1. Request for Site Plan Review to authorize a variance for the height and opacity to install a 6-foot tall privacy fence within the Engel Lane front yard setback area. Fence would be 10-feet from the Engel Lane Property line and 16-feet from the Engel Lane street curb.
2. Property is a corner lot and double frontage lot, located at the southeast corner of Engel Lane, Ashmont Drive, and Radford Drive. Engel Lane borders the property to the north, Radford Drive borders the property to the west, and Ashmont Drive borders the property to the south.
3. Fence variance procedures are authorized under Section 435.050 of Title IV Land Use of the Olivette Municipal Code as follows:

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards

- will impose unnecessary hardship or
- practical difficulty

upon a particular property, the Planning and Community Design Commission may vary the requirement.

In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter.

4. Petitioner cites three front yard 40-foot setbacks, narrow 15-foot side yard setback, and safety concerns as the yard is exposed from two streets.
5. Landscaping will be provided to face Engel Lane and the fence will sit two-feet below the Engel Elevation.
6. The home directly across Engel Lane principal access is from Crabapple Court. This home, also with 3 front yards, sits at least 10-feet higher in elevation than the proposed fence grade elevation.
7. Staff believes the 2-foot drop in elevation and landscaping to be provided will lessen negative impacts to the street view from Engel.

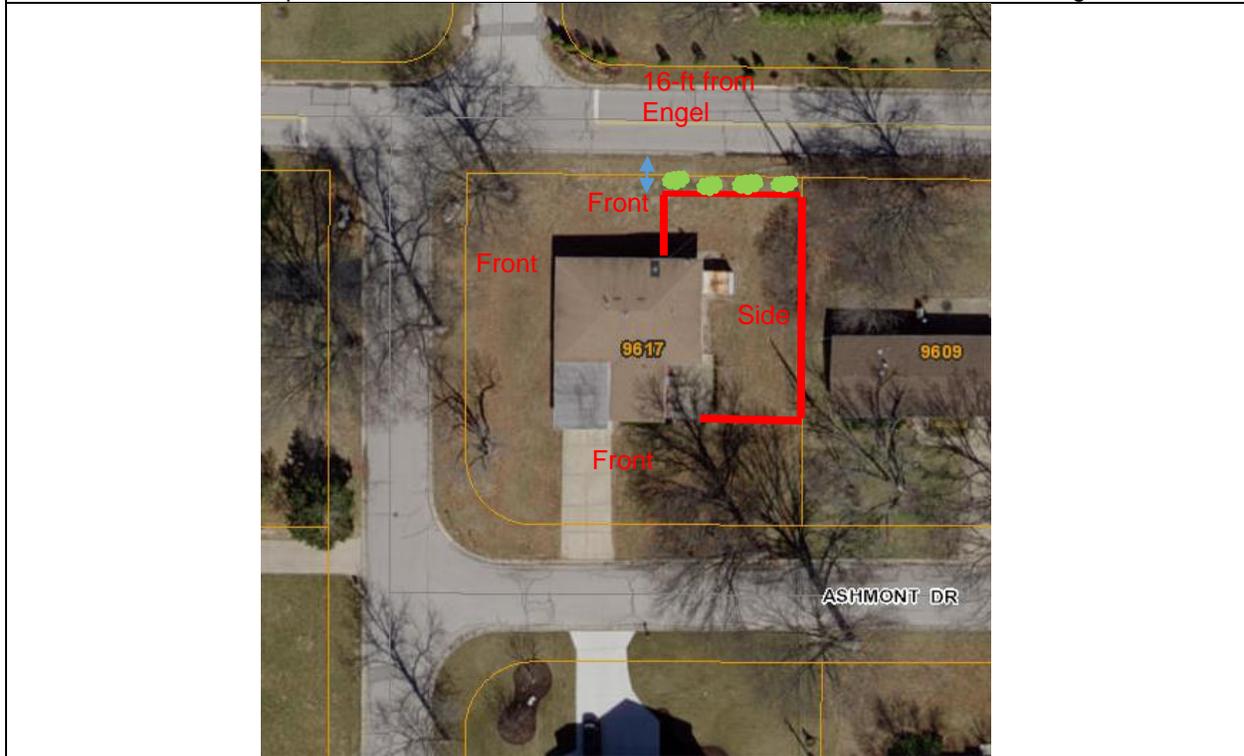
SUGGESTED MOTION:

Any motion made by the Commission must be in the affirmative to grant the variance request and approve the Petition for Site Plan Review:

Motion to approve the Petition for Site Plan Review for a variance to allow the construction of a six (6) foot privacy fence located within the north front yard off Engel Lane as illustrated in the Petition application and site plan, as presented in the Memorandum from Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority is required by Code to approve the variance request.

Illustration of Proposed Fence Location Front Yard and Side Yard Areas with Existing Home



Proposal. The petition for the fence variance request the approval to construct a side yard fence enclosure approximately 6-feet tall. The fence extends 31-ft north of the home just beyond the off-street parking pad, and extends to the east side property line. The south border of the fence extends from the east side property line to the southeast corner of the home.

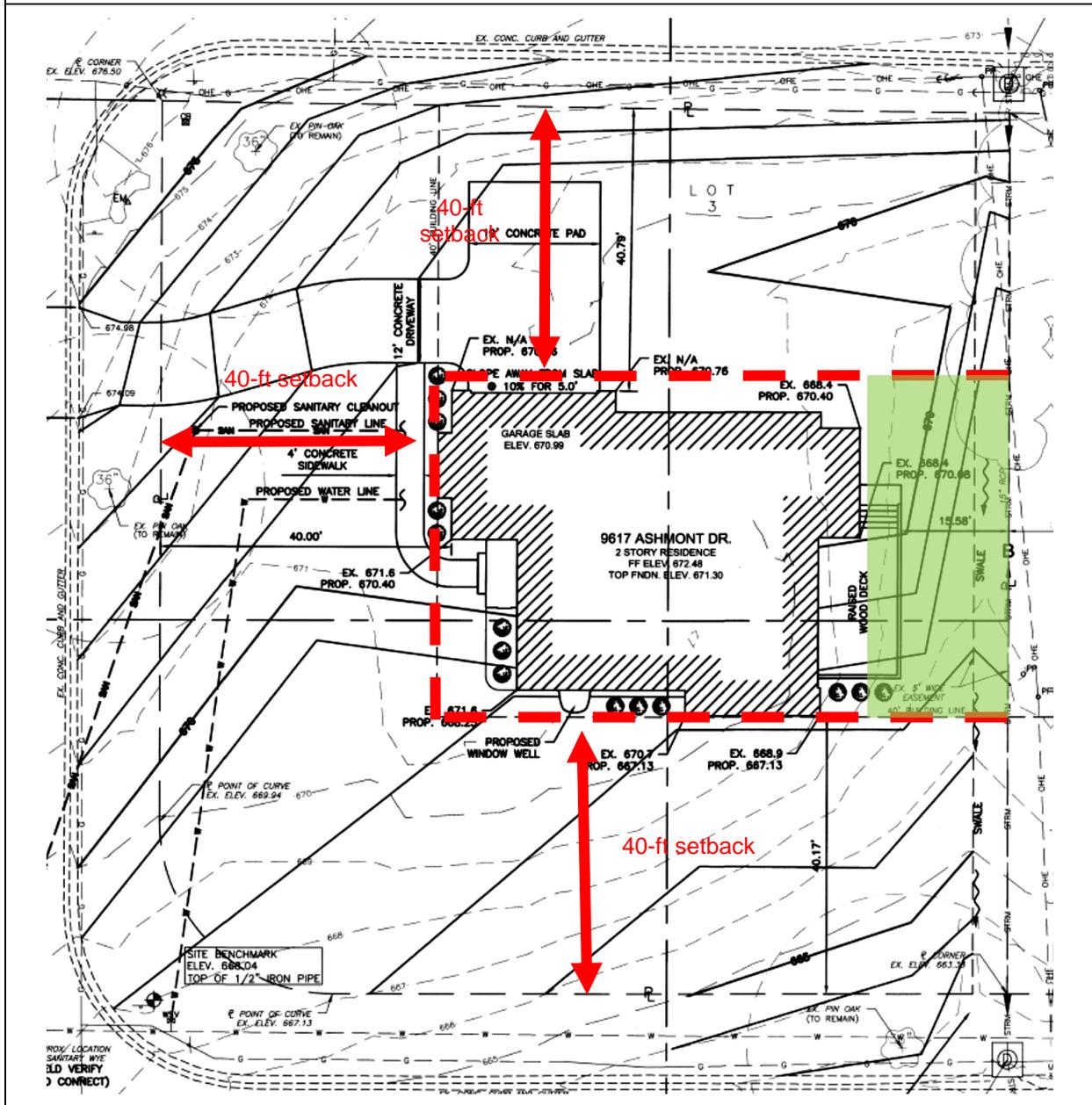
The fence will enclose the entire side yard setback area of 690 square-feet as well as a portion of the front yard along Engel.

As the lot is rectangular in shape and bound by three streets, by code, each yard abutting a street is considered a front yard. The yard to the east is considered a side yard by code. The side yard area measures 690 sf., which encompasses approximately 4.4% of the entire lot size of 15,601 sf. By code, there is no rear yard. The designated front yards encompass 11,583 sf, 74% of the lot area.

Visibility

The street grade elevation of the curb from Engel Lane is 673. The grade elevation for the proposed fence location within the Engel front yard is 671. The elevation of the proposed fence will be 2-feet lower than the street elevation.

Setbacks & Yard Areas



Code regulations. Under Chapter 435 Fences, ornamental fences may be placed within the front yard as long as they do not exceed 36-inches in height. According to Section 435.030.B the open area of an ornamental fence within the front yard must contain a minimum opacity of 50% for a fence with a height of 36-inches.

Petitioner initiated the request for the following variances to Chapter 435 Fences:

- 36-inch height variance for ornamental fences located within residential front yards from the 3-foot height maximum Section 4.
- 0% opacity variance from the required minimum 50% open area requirement.

Variances procedures are authorized under Section 435.050 of the Olivette Municipal Code as follows:

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any

requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards

- will impose unnecessary hardship or
- practical difficulty

upon a particular property, the Planning and Community Design Commission may vary the requirement.

In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter.

Petitioner Hardships

Petitioner has noted the following hardships in applying the regulations of Chapter 435:

- 40' setbacks on three sides
- A very narrow yard at the rear of the house. 15 feet from the adjoining property line
- 25' from Engel will leave the only fenced in yard 15 feet wide
- Southern building line (Ashmont side) terminates at the corner of the house. Can't fence this side of the yard in
- No safe yard to speak of for kids to play without the danger of traffic.

STAFF REVIEW AND RECOMMENDATION:

Staff finds that the lot is unique in two ways. The lot contains three front yards and by code has no rear yard. Residential lots with yards abutting three streets is rare in Olivette. In this case, the home is bounded by three 40-foot front yard setbacks. Three 40-foot front yard setbacks reduces the amount of buildable area for the home. The home has almost maximized the buildable area while site coverage for the home remains.

The two homes to the immediate east are considered double frontage lots. They access the lots from Ashmont, therefore the yards abutting Engel are rear yards. By Code, these lots are permitted by right to erect a privacy fence within the yards abutting Engel.

Staff finds the lot contains practical difficulties in applying Section 435.040 Residential Fences on Rear and Side Yards due to the dimensions of the side yard. The area from the home to the side lot line measures 15-feet.

Staff acknowledges the Petitioner is permitted to place fences within the front yards Section 435.030 Ornamental Fences on Residential Lots. In absence of a rear yard to fence, the opportunity to erect a fence that exceeds 36-inches is limited.

Staff finds the proposed plans has taken into account the visibility of the fence from the public view. The fence is 2-feet less in elevation than the street. Two foot drop in the grade lessens the visibility of the fence from Engel. Furthermore, the plans propose landscaping between the remaining portion of the front yard and the right-of-way. Finally, the home across Engel faces north and they side at a much higher elevation.

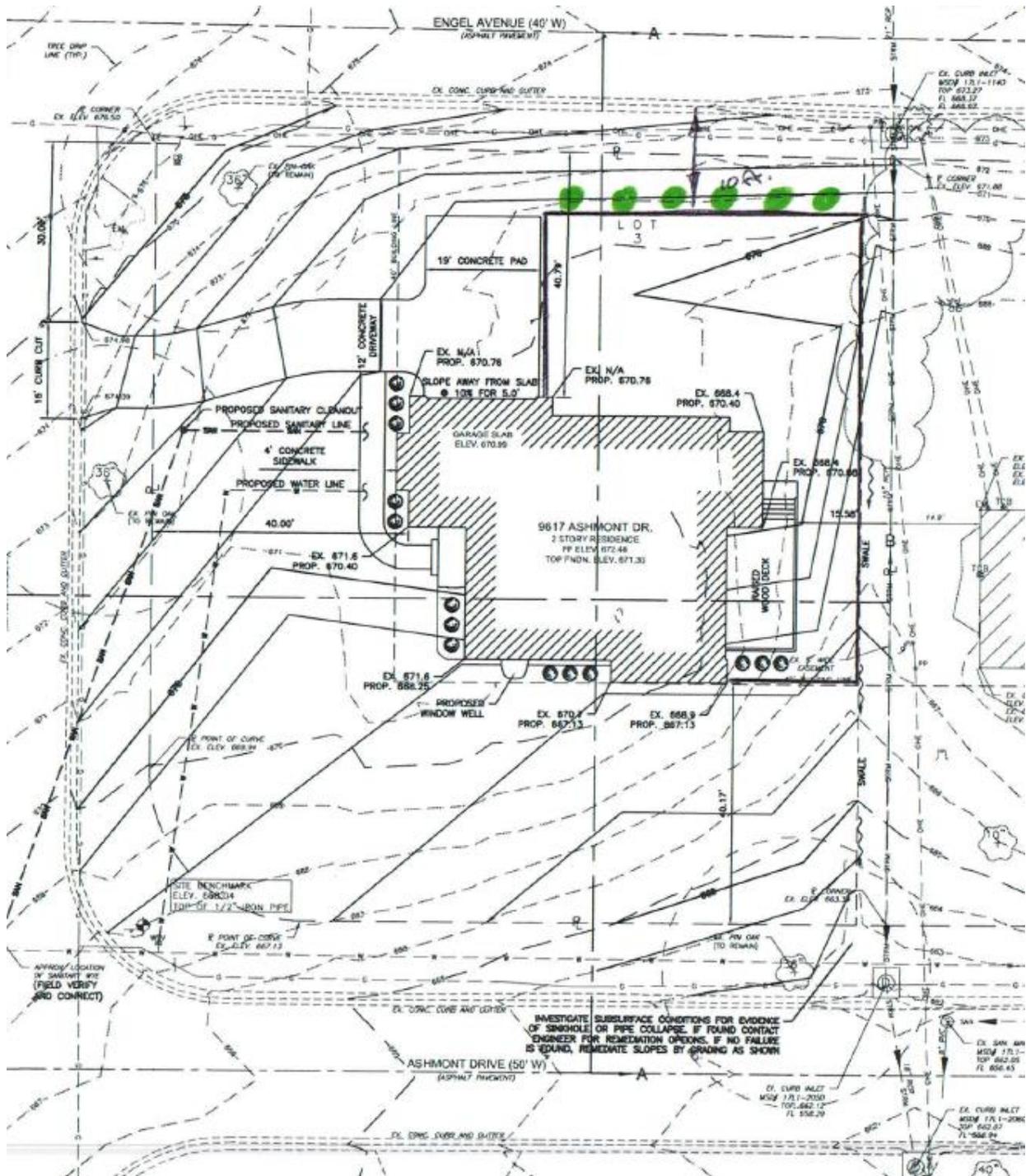
SUGGESTED MOTION:

Any motion made by the Commission must be in the affirmative to grant the variance request and approve the Petition for Site Plan Review:

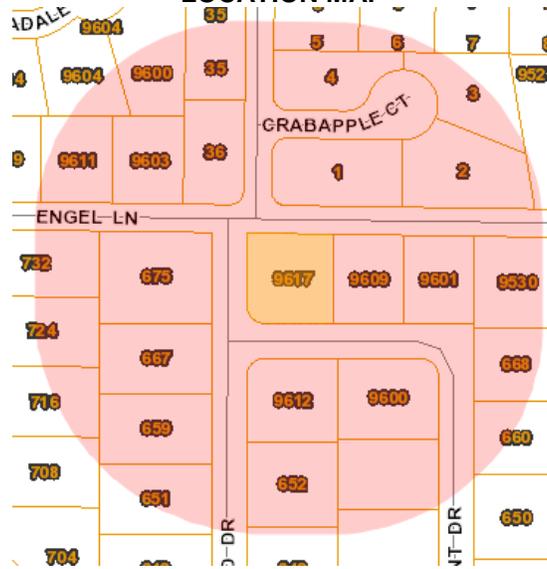
Motion to approve the Petition for Site Plan Review for a variance to allow the construction of a six (6) foot privacy fence with no spacing between slats within the front building area along Engel Lane at the property addressed as 9617 Ashmont Drive as illustrated in the Petition application and site plan, as presented in the Memorandum from Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority is required by Code to approve the variance request.

SITE PLAN/SURVEY



LOCATION MAP



AERIAL MAP



EXHIBIT A

SECTION 435.030: ORNAMENTAL FENCES ON RESIDENTIAL LOTS

- A. Upon issuance of a building permit in accordance with this Section, ornamental fences may be erected in front yards and, with respect to corner lots, in front and side yards on residentially zoned property.
- B. All fences permitted hereunder shall conform to the following requirements:
1. Materials shall be compatible with the character of the residence located on the lot and in keeping with the general character of the surrounding neighborhood. Chain link fences, wire fences or other similar material are not permitted.
 2. Fences shall be of durable and substantial construction and shall not contain any barbed wire, sharp or protruding edges, electric charging devices or other dangerous characteristics.
 3. Fences shall be no less than eighteen (18) inches and no more than thirty-six (36) inches in height.
 4. Fences eighteen (18) inches in height shall be set back at least one (1) foot from any sidewalk used by the public and for every six (6) inch increase in height of the fence over eighteen (18) inches of height, the fence shall be located one (1) additional foot away from any sidewalk used by the public. Where no sidewalks exist, the fence shall be located no less than five (5) feet from the street right-of-way abutting the lot. Additional setback distance may be required at street intersections to provide adequate traffic site distance.
 5. The open area of a fence not built entirely of stone, rock, concrete, masonry or brick, expressed as a percentage of total vertical surface area per side, shall be as follows:

Height	Minimum Percent (%) Open Area
Up to 18 inches	None
Up to 30 inches	30%
Up to 36 inches	50%

Any fence built entirely of stone, rock, concrete, masonry or brick shall not be required to have a minimum percentage of open area.

6. Where standards established by this Subsection (B) conflict with requirements of Section 623.9 of the Building Code of the City of Olivette governing enclosures around swimming pools or any similar applicable or successor provisions or standards, the requirements of the Building Code shall govern.
- C. Any person, firm or corporation desiring to erect a fence hereunder shall apply to the Building Official for a building permit for the erection thereof on forms supplied by the Building Official and shall deliver with the application eight (8) copies of plans therefor, fully dimensioned, showing:
1. At a scale of no more than 1" = 20' the location, outline and dimensions, both linear and angular, of the lot on which the fence is proposed to be erected, all structures, driveways, easements and setback lines thereon and all adjoining streets; and the proposed location and dimensions, both linear and angular, of the fence.
 2. At a scale of not less than 1/8" = 1', the typical front view, typical side and rear views (if different from front view) and all dimensions thereof.
 3. A description of the materials to be used in the proposed fence and color thereof.
- D. Any person, firm or corporation violating any of the provisions of this Section shall be deemed guilty of an ordinance violation and upon conviction thereof shall be subject to the penalties provided for violation of Olivette ordinances.
- E. Notwithstanding anything in the Municipal Code to the contrary, any fence existing on March 1, 1989 in the front yard of a lot in a residential zone or in the front or side yard of a corner lot in a residential zone shall not be prohibited; provided that any substantial repair or replacement of any such fence shall conform with the requirements of this Section. (R.O. 2008 §40.440; Ord. No. 1621, 2-28-89; Ord. No. 1751, 6-9-92; Ord. No. 1881, 5-14-96; Ord. No. 1906, 12-10-96)

SECTION 435.040: RESIDENTIAL FENCES ON REAR AND SIDE YARDS

Except as otherwise provided in Section 435.030, fences erected on rear and side lots shall be subject to the following provisions:

1. Fences may not exceed six (6) feet in height and may be located only within required rear or side yards. On corner lots, fences may not be located in required front and side yards.

2. All new or replacement fences shall be constructed with posts, framing and other structural support within or toward the area to be enclosed.
3. No fences shall be constructed of lightweight materials such as chicken coop wire, barbed wire or bamboo. Notwithstanding the preceding sentence, chicken coop wire may be used for vegetable gardens located within the perimeter of rear or side yards.
4. All fences shall be properly painted or preserved and shall at all times be kept in good repair.
5. Any person who desires to erect a fence on a residential lot within the City of Olivette shall file an application for a building permit with the Building Official. Such application shall contain information concerning the proposed dimensions and location of such fence and the materials from which it is to be constructed. If the proposed fence conforms to the provisions of this Section, the Building Official shall issue a permit.
6. Reserved.
7. Any person, firm or corporation violating the provisions of this Section shall be deemed guilty of an ordinance violation and upon conviction thereof shall be subject to the penalties provided for the violation of municipal ordinances. (R.O. 2008 §40.450; Ord. No. 1825, 6-28-94; Ord. No. 1947 §1, 10-14-97)

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards will impose unnecessary hardship or practical difficulty upon a particular property, the Planning and Community Design Commission may vary the requirement. In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter. (R.O. 2008 §40.460; Ord. No. 1947 §2, 10-14-97)

\$150
 Fence Variance

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Cory Black, Managing Member
 Company Name: 9617 Ashmont LLC
 Address: PO Box 30007 City: University City Zip Code: 63130
 E-mail Address: blackpamas@gmail.com Phone Number: (314) 369-9441

As the applicant, which of the following apply:

- Developer Contractor Owner
 Registered Engineer Registered Architect Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction Major Residential Addition and/or exterior modification Amendment to Active Site Plan or Community Design Review
 Accessory Structure Other (Site Plan Review) Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 9617 Ashmont 63132
 St. Louis County Tax ID No. 176410512
 Legal Description of Property: Single Family Residence

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
 Mailing Address: _____ City: _____ Zip Code: _____
 Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting. Amendments to an active Community Design or Site Plan Review in which an active Construction Permit under Article XVIII of Chapter 400 has not been completed is \$100. Amendments to active Community Design Review with Site Plan Review is \$150.

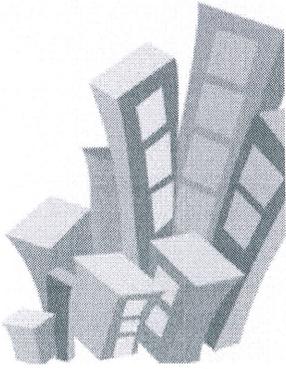
Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:


 Name of applicant

5/18/16
 Date



Building Blocks and Parnas Properties

PCDC Review Board

RE: 9617 Ashmont, 63132 Privacy Fence Request

To all concerned:

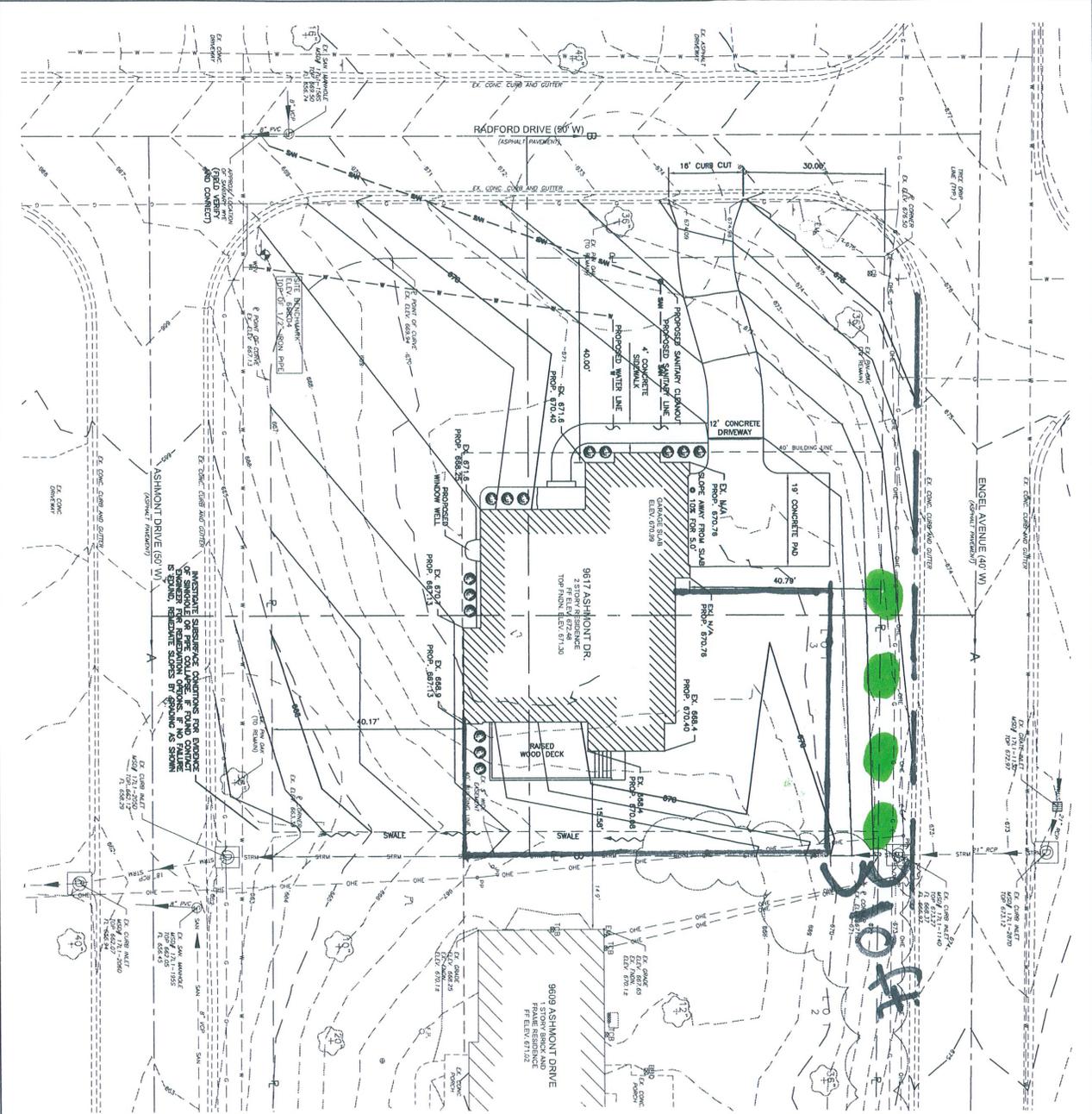
I request that a variance be granted to allow my company to install a privacy fence 10 feet from Engle. I strongly feel that this lot meets all requirements that justifies a variance being granted. This lot is extremely challenging in that it has three front yards, which is unique to Engle in its entirety with the exception of one other house. When planning this home, we were constrained by three 40 foot set-backs, a fact that kept this lot derelict for over a year despite incredibly strong new home construction demand. My company took on the challenge of this lot and did not ask for a single variance. The home we are building is beautiful and tastefully done with the highest quality materials. Please note that the elevation of Engle is a full TWO FEET higher than the elevation of the proposed fence elevation alleviating any chance of the fence detracting from the streetscape. This fence and landscaping will enhance the neighborhood.

Hardships

- 40' setbacks on three sides
- A very narrow yard at the rear of the house. 15 feet from the adjoining property line
- 25' feet from Engle will leave the only fenced in yard 15 feet wide.
- Southern building line (Ashmont side) terminates at the corner of the house. Can't fence this side of the yard in.
- No safe yard to speak of for kids to play without the danger of traffic

Request

- Height - 6' privacy fence with abutting slats
- Placement - 10' from Engle. The natural elevation of Engle in relation of this property will leave only 4' of the fence above the grade of the street. This will eliminate the chance of a tunnel effect. This will continue the line of the driveway. See attached plot plan
- Material – white vinyl.
- Landscaping – Evergreen trees that will enhance the streetscape and block the fence. See attached plot plan
- The proposed fence and combined landscaping will enhance the streetscape not detract from it. A high quality privacy fence will look infinitely better than the alternative wooden ornamental fence that will deteriorate over time and become unsightly.



UTILITY NOTE:
 THE UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE RESPONSIBILITY FOR THE LOCATION OF UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO GRADING OR CONSTRUCTION OF IMPROVEMENTS.



PROPOSED IMPERVIOUS AREAS

BUILDING FOOTPRINT	2,238 SF
DRIVEWAY	1,500 SF
OTHER HARD SURFACES (DECKS/PORCHES/ETC)	452 SF
TOTAL PROPOSED IMPERVIOUS AREAS	4,028 SF

LOT DATA AND ZONING REGULATIONS

PERMITTED SITE COVERAGE	13,000 SF
PERMITTED RESIDENTIAL FLOOR AREA	14,800 SF
LOT WIDTH	1,222 SF
LOT DEPTH	1,222 SF
FRONT YARD SETBACK (PER SUBDIVISION PLAN)	40 FT
SIDE YARD SETBACK (PER 12% OF LOT WIDTH)	14.72 FT
REAR YARD SETBACK (PER 12% OF LOT WIDTH)	14.72 FT
MIN. OVERLAP SETBACK (PER 12% OF LOT WIDTH)	14.72 FT

PROPOSED IMPROVEMENTS:

- Trees to be planted
- Proposed Privacy Fence
- Eagle Road

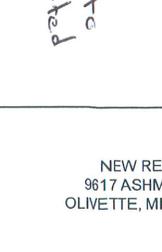
MSD BASEMAP 1711

PROJECT NO: 15-0001
 ISSUE DATE: 10/23/2015
 DESIGNED BY: CB
 CHECKED BY: CB

MARK	DATE	DESCRIPTION

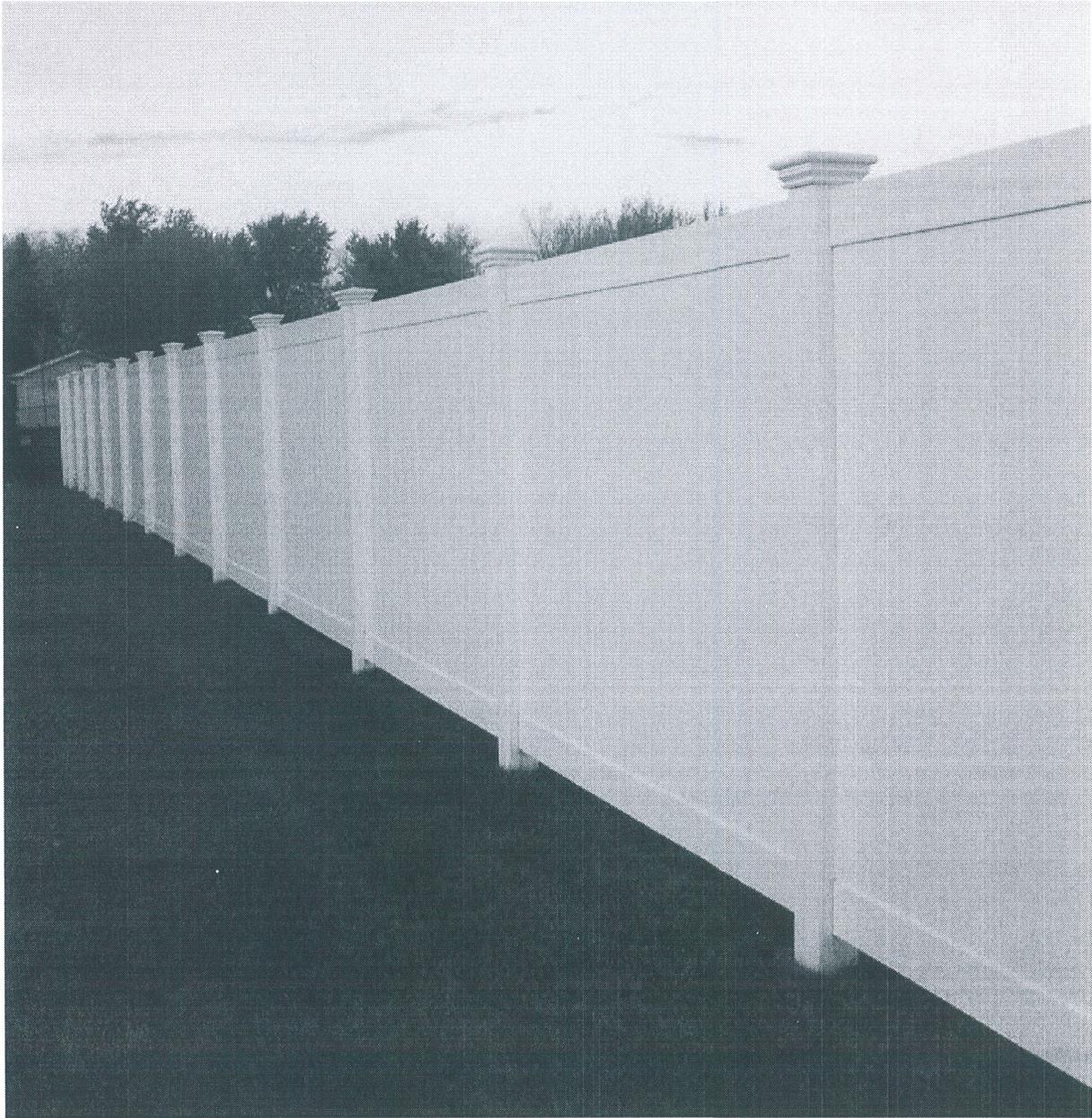
PROPOSED SITE PLAN
 C.200

CHANTAL BLOCK
 PROFESSIONAL ENGINEER
 10222015



NEW RESIDENCE
 9617 ASHMONT DRIVE
 OLIVETTE, MISSOURI 63123





★ Example of proposed material



DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 9321 OLD BONHOMME ROAD
PETITION FOR SITE PLAN REVIEW TO AUTHORIZE FENCE VARIANCE REQUEST

PETITIONER/PROPERTY OWNER: GREG, STL FENCE WORKS
PROPERTY OWNER: PAMELA TAYLOR

SUMMARY OF PETITION:

1. Request for Site Plan Review to authorize a variance for the height and opacity to install a 6-foot tall privacy fence within the Sleepy Hollow front yard setback area. Fence would be 1-foot from the Sleepy Hollow Property line.
2. There is an existing fence on the property grounds, 10-feet that extends onto the front yard setback, that is proposed to be replaced in the same location. Staff has noted that given front yard setback determination, staff does not have administrative authority to issue a building permit to replace the same.
3. Property is a corner lot and double frontage lot. By Code definition, the lot contains 3 front yards. Sleepy Hollow borders to the west, Old Bonhomme Road to the south, and Glenmary Road to the east.
4. Fence variance procedures are authorized under Section 435.050 of Title IV Land Use of the Olivette Municipal Code as follows:

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards

- will impose unnecessary hardship or
- practical difficulty

upon a particular property, the Planning and Community Design Commission may vary the requirement.

In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter.

5. Petitioner cites three front yard 40-foot setbacks, narrow 15-foot side yard setback, and safety concerns as the yard is exposed from two streets.
6. Currently, a privacy fence existing in the exact location. The proposed fence would replace the existing fence.

SUGGESTED MOTION:

Any motion made by the Commission must be in the affirmative to grant the variance request and approve the Petition for Site Plan Review:

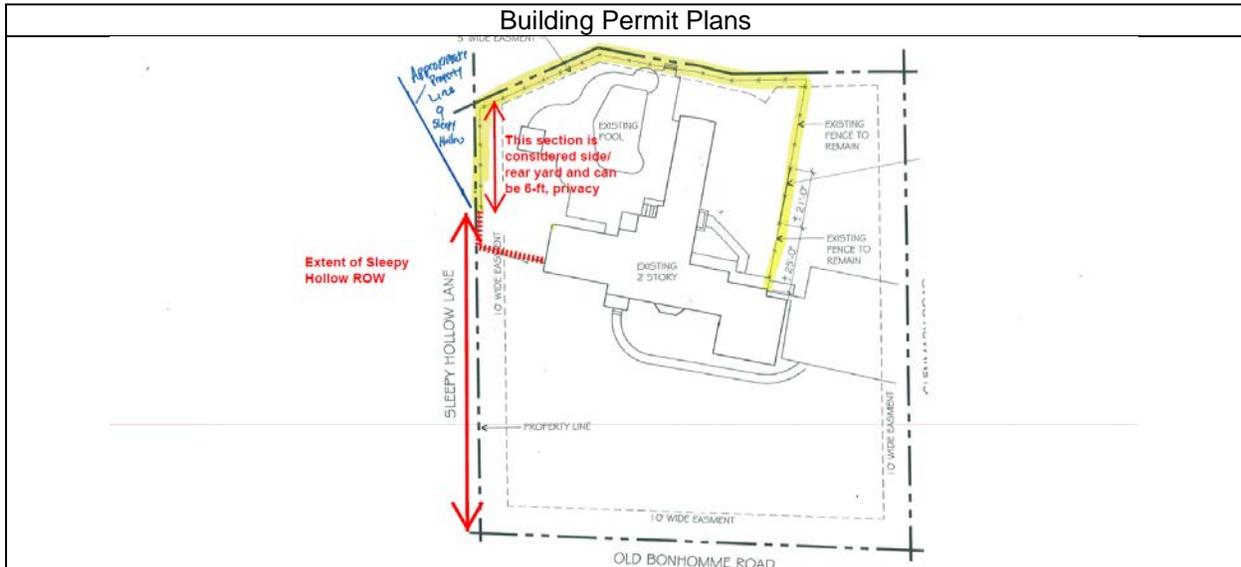
Motion to approve the Petition for Site Plan Review for a variance to allow the construction of a six (6) foot privacy fence located within the west front yard off Sleepy Hollow Lane as illustrated in the Petition application and site plan, as presented in the Memorandum from Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority is required by Code to approve the variance request.

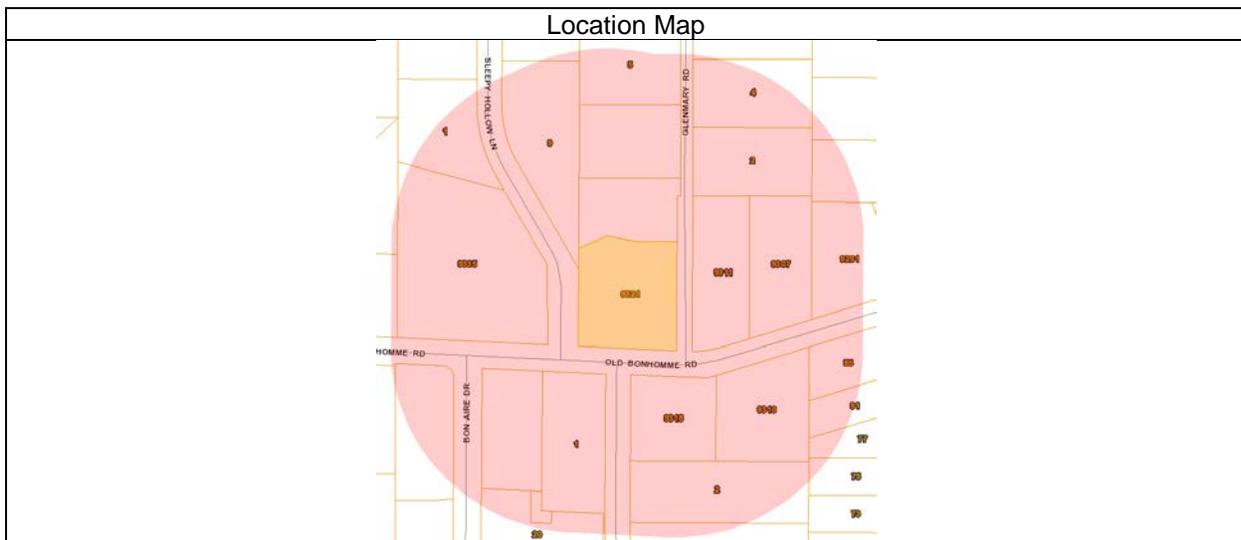
STAFF REPORT

A building permit application was received on May 19, 2016, to replace an existing privacy fence on the lot addressed as 9321 Old Bonhomme Road. The permit is solely to replace what is already installed, noting that the materials have deteriorated and a full replacement was necessary.

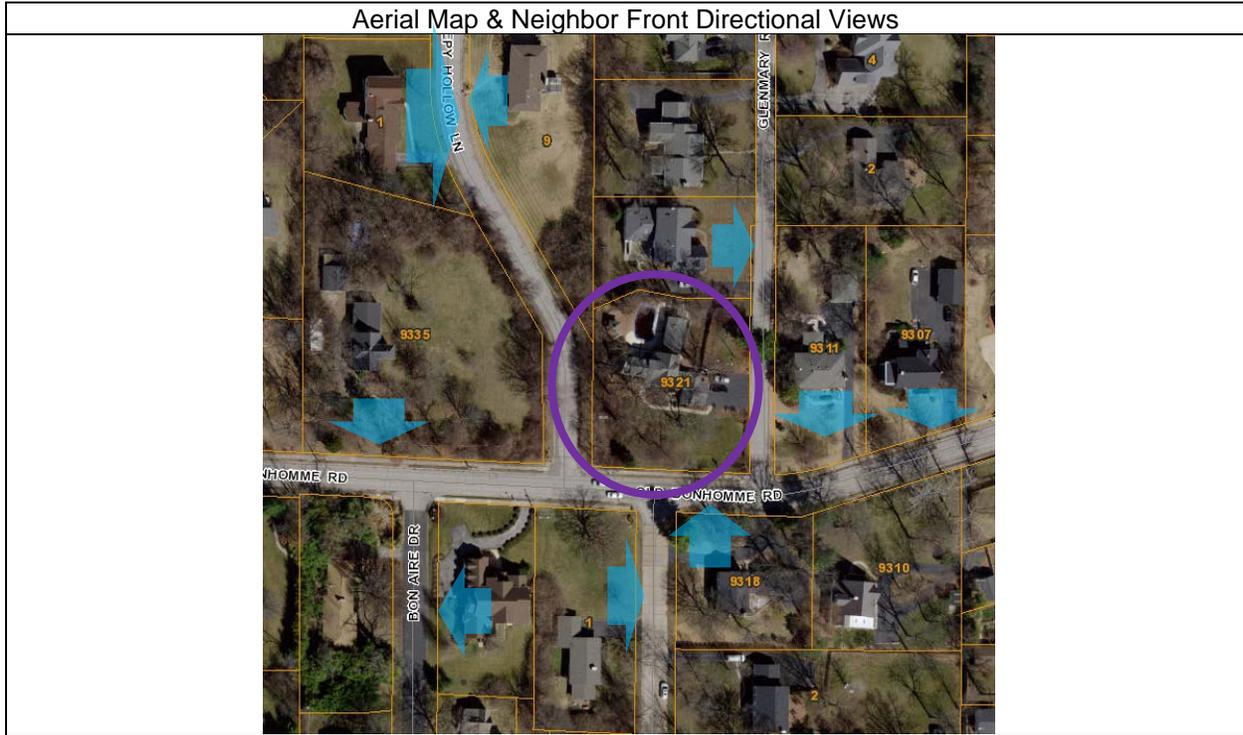
In review of the building application, it was found that a segment of the existing fence is located within the Sleepy Hollow Lane front yard setback (roughly 10 feet of the 120 foot ROW length). That being said, and under the current ordinance regulations, staff does not have the administrative authority to authorize its replacement, even if the location, material, style, and height are the same.



Location. The property is situated between Sleepy Hollow Lane, Glenmary Road, and Old Bonhomme Road. The property is considered a double frontage lot due to Glenmary Road and Sleepy Hollow Lane bordering the property without intersecting. The property is considered a corner lot due to the intersections of Glenmary Road and Old Bonhomme Road and Sleepy Hollow Lane and Old Bonhomme Road. Glenmary Road serves as the primary access for the subject lot.



Nine lots within 300-feet of the subject lot are considered corner lots. According to code, these lots contain two front yards. Three lots within 300-feet of the subject lot are considered double frontage lots. By code, double frontage lots contain a rear yard where principle access is not provided.



Proposal. The petition for the fence variance request the approval to construct a privacy fence enclosure approximately 6-feet tall. The fence extends approximately 25-ft into the front yard setback along Sleepy Hollow and 25-feet from the southwest corner of the home to the west lot line.

Visibility

Brush exists in the right-of-way along Sleepy Hollow Lane. Also, the corner piece of 9 Sleepy Hollow contains brush as well. Pictures depicting visibility may be viewed below.

View of Existing Fence Looking North (Sleepy Hollow West)



Sleepy Hollow Road View Looking East



Old Bonhomme View Looking North



Code regulations. Under Chapter 435 Fences, ornamental fences may be placed within the front yard as long as they do not exceed 36-inches in height. According to Section 435.030.B the open area of an ornamental fence within the front yard must contain a minimum opacity of 50% for a fence with a height of 36-inches.

Petitioner initiated the request for the following variances to Chapter 435 Fences:

- 36-inch height variance for ornamental fences located within residential front yards from the 3-foot height maximum Section 4.
- 0% opacity variance from the required minimum 50% open area requirement.

Variances procedures are authorized under Section 435.050 of the Olivette Municipal Code as follows:

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards

- will impose unnecessary hardship or
- practical difficulty

upon a particular property, the Planning and Community Design Commission may vary the requirement.

In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter.

Petitioner Hardships

Petitioner has noted the following hardships in applying the regulations of Chapter 435:

STAFF REVIEW AND RECOMMENDATION:

Three homes within 300-feet of the subject property are considered double frontage lots. Nine homes within 300-feet of the subject property are considered corner lots. By code, on a corner lot each yard abutting a street is considered a front yard. Staff notes, within 300-feet, this is the only property designated as a corner lot and double frontage lot.

From a site visit on May 20, 2016, and pictures provided below, the existing fence within the same location as the proposed fence is less visible due to the brush.

SUGGESTED MOTION:

Any motion made by the Commission must be in the affirmative to grant the variance request and approve the Petition for Site Plan Review:

Motion to approve the Petition for Site Plan Review for a variance to allow the construction of a six (6) foot privacy fence with no spacing between slats within the front building area along Sleepy Hollow Lane at the property addressed as 9321 Old Bonhomme Road as illustrated in the plans appearing before the Commission and as presented in the Memorandum from Department of Planning and Community Development dated May 26, 2016, subject to any staff conditions noted therein.

Only a simple majority is required by Code to approve the variance request.

EXHIBIT A

SECTION 435.030: ORNAMENTAL FENCES ON RESIDENTIAL LOTS

- A. Upon issuance of a building permit in accordance with this Section, ornamental fences may be erected in front yards and, with respect to corner lots, in front and side yards on residentially zoned property.
- B. All fences permitted hereunder shall conform to the following requirements:
1. Materials shall be compatible with the character of the residence located on the lot and in keeping with the general character of the surrounding neighborhood. Chain link fences, wire fences or other similar material are not permitted.
 2. Fences shall be of durable and substantial construction and shall not contain any barbed wire, sharp or protruding edges, electric charging devices or other dangerous characteristics.
 3. Fences shall be no less than eighteen (18) inches and no more than thirty-six (36) inches in height.
 4. Fences eighteen (18) inches in height shall be set back at least one (1) foot from any sidewalk used by the public and for every six (6) inch increase in height of the fence over eighteen (18) inches of height, the fence shall be located one (1) additional foot away from any sidewalk used by the public. Where no sidewalks exist, the fence shall be located no less than five (5) feet from the street right-of-way abutting the lot. Additional setback distance may be required at street intersections to provide adequate traffic site distance.
 5. The open area of a fence not built entirely of stone, rock, concrete, masonry or brick, expressed as a percentage of total vertical surface area per side, shall be as follows:

Height	Minimum Percent (%) Open Area
Up to 18 inches	None
Up to 30 inches	30%
Up to 36 inches	50%

Any fence built entirely of stone, rock, concrete, masonry or brick shall not be required to have a minimum percentage of open area.

6. Where standards established by this Subsection (B) conflict with requirements of Section 623.9 of the Building Code of the City of Olivette governing enclosures around swimming pools or any similar applicable or successor provisions or standards, the requirements of the Building Code shall govern.
- C. Any person, firm or corporation desiring to erect a fence hereunder shall apply to the Building Official for a building permit for the erection thereof on forms supplied by the Building Official and shall deliver with the application eight (8) copies of plans therefor, fully dimensioned, showing:
1. At a scale of no more than 1" = 20' the location, outline and dimensions, both linear and angular, of the lot on which the fence is proposed to be erected, all structures, driveways, easements and setback lines thereon and all adjoining streets; and the proposed location and dimensions, both linear and angular, of the fence.
 2. At a scale of not less than 1/8" = 1', the typical front view, typical side and rear views (if different from front view) and all dimensions thereof.
 3. A description of the materials to be used in the proposed fence and color thereof.
- D. Any person, firm or corporation violating any of the provisions of this Section shall be deemed guilty of an ordinance violation and upon conviction thereof shall be subject to the penalties provided for violation of Olivette ordinances.
- E. Notwithstanding anything in the Municipal Code to the contrary, any fence existing on March 1, 1989 in the front yard of a lot in a residential zone or in the front or side yard of a corner lot in a residential zone shall not be prohibited; provided that any substantial repair or replacement of any such fence shall conform with the requirements of this Section. (R.O. 2008 §40.440; Ord. No. 1621, 2-28-89; Ord. No. 1751, 6-9-92; Ord. No. 1881, 5-14-96; Ord. No. 1906, 12-10-96)

SECTION 435.040: RESIDENTIAL FENCES ON REAR AND SIDE YARDS

Except as otherwise provided in Section 435.030, fences erected on rear and side lots shall be subject to the following provisions:

1. Fences may not exceed six (6) feet in height and may be located only within required rear or side yards. On corner lots, fences may not be located in required front and side yards.
2. All new or replacement fences shall be constructed with posts, framing and other structural support within or toward the area to be enclosed.

3. No fences shall be constructed of lightweight materials such as chicken coop wire, barbed wire or bamboo. Notwithstanding the preceding sentence, chicken coop wire may be used for vegetable gardens located within the perimeter of rear or side yards.
4. All fences shall be properly painted or preserved and shall at all times be kept in good repair.
5. Any person who desires to erect a fence on a residential lot within the City of Olivette shall file an application for a building permit with the Building Official. Such application shall contain information concerning the proposed dimensions and location of such fence and the materials from which it is to be constructed. If the proposed fence conforms to the provisions of this Section, the Building Official shall issue a permit.
6. Reserved.
7. Any person, firm or corporation violating the provisions of this Section shall be deemed guilty of an ordinance violation and upon conviction thereof shall be subject to the penalties provided for the violation of municipal ordinances. (R.O. 2008 §40.450; Ord. No. 1825, 6-28-94; Ord. No. 1947 §1, 10-14-97)

SECTION 435.050: VARIANCES

In accordance with the procedures outlined in Article XI Site Plan Review of Chapter 400 Zoning Regulations, where the Planning and Community Design Commission determines upon written request of an applicant that compliance with any requirement of Section 435.030 Ornamental Fences on Residential Lots or of Section 435.040 Residential Fences on Rear and Side Yards will impose unnecessary hardship or practical difficulty upon a particular property, the Planning and Community Design Commission may vary the requirement. In exercising this authority, the Planning and Community Design Commission shall vary requirements only to the extent necessary to alleviate the unnecessary hardship or practical difficulty consistent with the aesthetic, health and safety objectives of Sections 435.030 and 435.040 of this Chapter. (R.O. 2008 §40.460; Ord. No. 1947 §2, 10-14-97)

From: greg@stlfenceworks.com
To: [Carlos Trejo](#)
Subject: Explanation of Hardship for 9321 Old Bonhomme Fence
Date: Wednesday, May 25, 2016 4:27:31 PM
Attachments: [Taylor Layout Revision.PDF](#)

Requested variance: see attachment (which contains the proposed fence layout at 9321 Old Bonhomme).

Reason for exemption request:

1. The specific section of fence in question is replacing an existing section of fence, nothing new is being installed that hasn't been in place for many years, decades even.
2. The section of fence in question serves as a necessary site barrier to pool equipment.
3. The lot itself abuts streets on 3 sides.
4. The rear yard is identified on plat on west, which does abut to another property.
5. The entire request is nothing more than what has already been permitted by the City of Olivette.

Regards,

Greg Harvey
STL Fenceworks
PO Box 308
O'Fallon, MO 63366
636.791.2160



APPLICATION FOR BUILDING PERMIT
CITY OF OLIVETTE
DEPARTMENT OF PUBLIC SERVICES
 1200 NORTH PRICE
 OLIVETTE, MO 63132
 www.olivettemo.com
 Phone: (314) 993-0252
 Fax: (314) 994-9862

For Office Use Only

Ownership () Current
 Taxes () Current
 Permit Review Fee _____
 Payment Method:
 () Check () Charge () Cash
 Plan Review Nos. _____
 Permit Nos. _____
 Nos. of Inspections (other than final): _____
 Inspection Fee: _____
 Fee Total: _____
 Completion Deposit Amount _____
 () Check () Charge () Cash
 Contacted on: _____

AMOUNT DUE:
 Permit Fee: _____
 Deposit: _____

Notes:

Inspections:

ADDRESS OF PROPERTY: 9321 OLD BONHOMME RD
 LOT NOS.: _____ SUBDIVISION: _____ ZONING: _____
 DESCRIPTION OF PROPOSED WORK (i.e., construct, alter, install, relocate, remodel, change, etc.):
REMOVE EXISTING CEDAR FENCE WITH NEW

ALL RESIDENTIAL ADDITIONS AND EXTERIOR ALTERATIONS REQUIRE COMMUNITY DESIGN REVIEW BY THE CITY'S PLANNING COMMISSION PRIOR TO A BUILDING PERMIT BEING ISSUED

- Four (4) sets of sealed plans are required to be submitted with Commercial- and Industrial-use applications
- Three (3) sets of sealed plans are required to be submitted with Residential-use applications
- A site plan is required for all proposed exterior work

ESTIMATED COST OF PROPOSED WORK: \$ 11,000

APPLICANT INFORMATION:

NAME: Pam Taylor DATE: 5-12-16
 COMPANY NAME (if applicable): N/A
 MAILING ADDRESS: 9321 OLD BONHOMME RD
 PHONE NOS.: 928.308.2376 FAX NOS.: N/A
 E-MAIL ADDRESS: pameriah@aol.com

OWNER INFORMATION: (If same as applicant, check this box skip onto Contractor Information.)

NAME: _____
 MAILING ADDRESS: _____
 PHONE NOS.: _____

CONTRACTOR INFORMATION: (If same as applicant, check this box skip onto Architect/Engineer Information.)

COMPANY NAME: STL FENCEWORKS
 CONTACT: GREG HARVEY
 MAILING ADDRESS: PO BOX 308 O'FALLON MO 63366
 PHONE NOS.: 636.791.2160 FAX NOS.: NONE

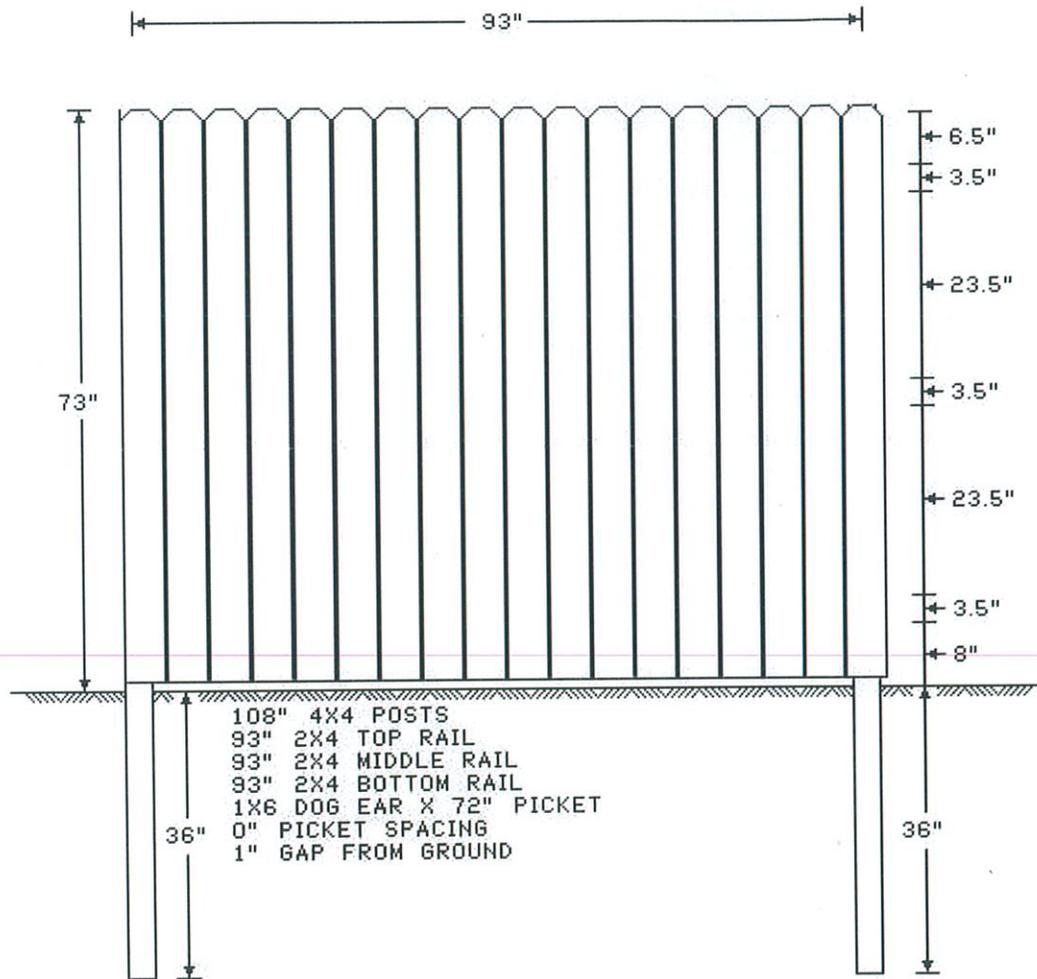
ARCHITECT/ENGINEER: (If same as applicant, check this box skip onto the Signature section.)

COMPANY NAME: _____
 CONTACT: N/A
 MAILING ADDRESS: _____
 PHONE NOS.: _____ FAX NOS.: _____

SIGNATURE OF LEGAL OWNER OF PROPERTY: _____

SIGNATURE OF APPLICANT: _____
 (if not the legal owner)

PERMIT RECEIVED BY: _____ DATE: _____



STL FENCEWORKS
 PO Box 308
 O'fallon, MO 63366
 636.281.0606

6' Cedar Privacy

DRAWN BY: 05/10/16

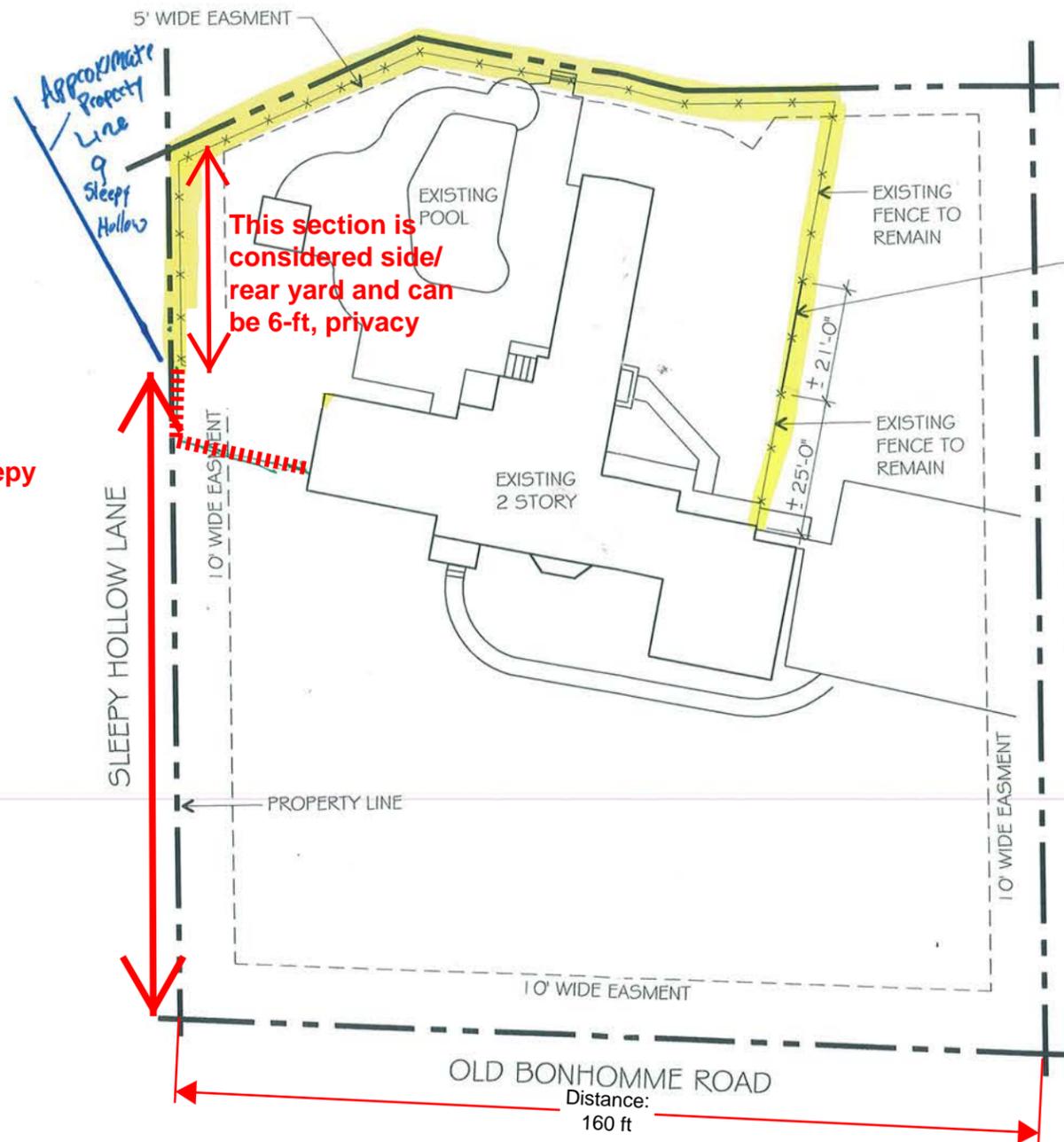
SCALE:

PAGE:

REVISED: 05/10/16

FILE:

1 of 1



Architectural Site Plan

1"=30'-0"



Taylor Residence

Existing Fence Repair

9321 Old Bonhomme
Olivette, Missouri 63132

Locator # 17L221037

738 Westport Plaza St. Louis, Missouri 63146
phone: 314-434-9700 web: sp-stl.com



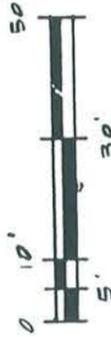
A-1

issue date:
12.11.2014

AT 11:43 O'clock A.M.
 RECORDER OF DEEDS
 ST. LOUIS COUNTY, MO.
 384

GLENMARY SUBDIVISION
 OLIVETTE, MISSOURI
 IN ST. LOUIS COUNTY, MISS

SCALE: 1"=30'



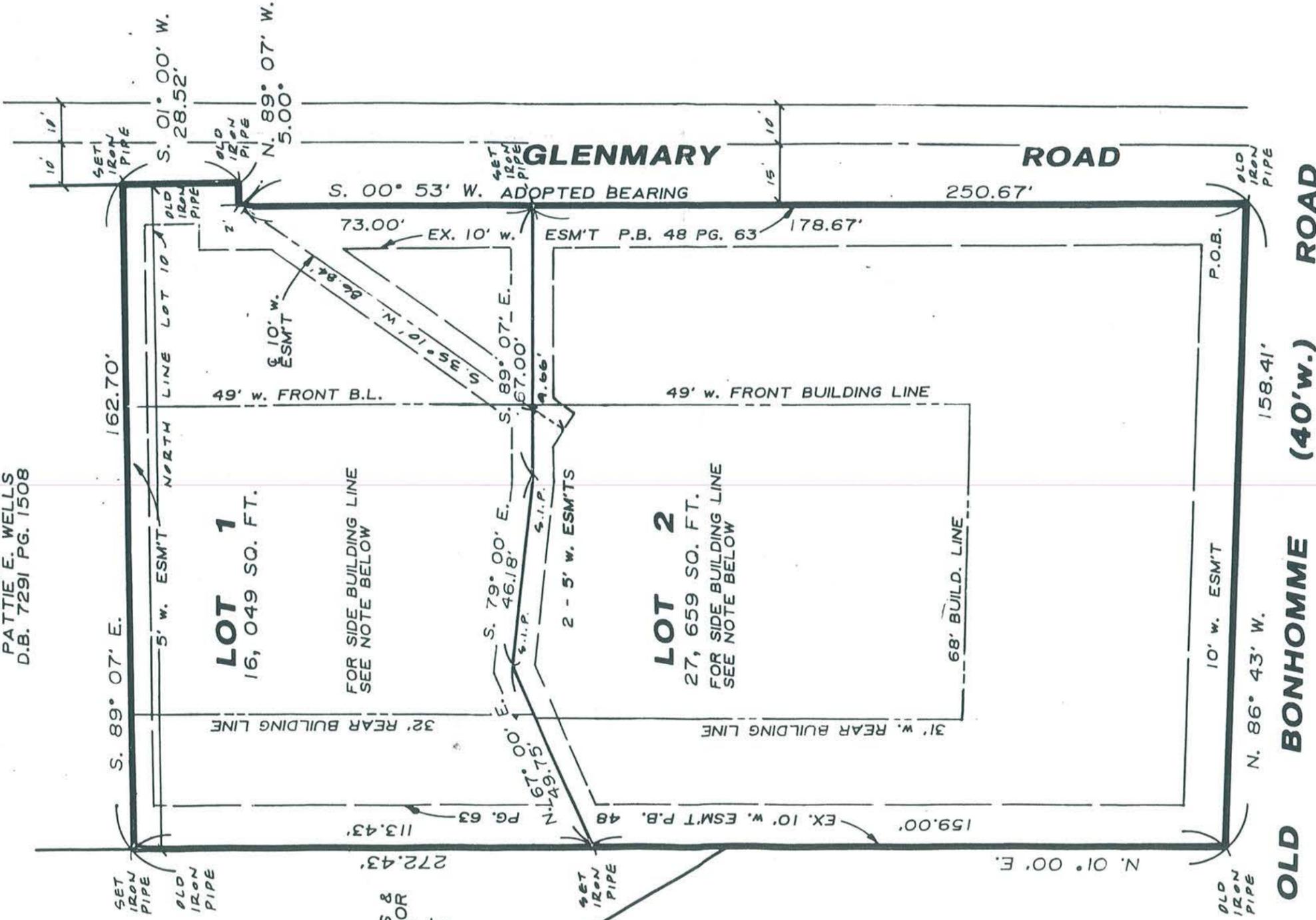
LAND BOUNDARY DESCRIPTION

LOT 10 AND THE SOUTH 7 FEET OF LOT 9 OF GLENMARY SUBDIVISION, A SUBDIVISION RECORDED IN PLAT BOOK 43 PAGE 63 OF THE ST. LOUIS COUNTY RECORDS AND DESCRIBED TOMT:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF OLD BONHOMME ROAD (40 FEET WIDE) AND THE WEST LINE OF GLENMARY ROAD (25 FEET WIDE); THENCE ALONG THE NORTH LINE OF OLD BONHOMME ROAD, NORTH 86 DEGREES 43 MINUTES WEST A DISTANCE OF 158.41 FEET TO THE WEST LINE OF SAID SUBDIVISION; THENCE ALONG SAID WEST LINE, NORTH 01 DEGREES 00 MINUTES EAST A DISTANCE OF 272.43 FEET; THENCE ON A LINE 7 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID LOT 9, SOUTH 89 DEGREES 07 MINUTES EAST A DISTANCE OF 162.70 FEET TO THE WEST LINE OF GLENMARY DRIVE (20 FEET WIDE); THENCE ALONG THE SAID WEST LINE SOUTH 00 DEGREES 53 MINUTES WEST A DISTANCE OF 28.52 FEET TO AN OFFSET IN SAID RIGHT OF WAY; THENCE NORTH 89 DEGREES 07 MINUTES WEST A DISTANCE OF 5.00 FEET TO THE WEST LINE OF A 25 FEET RIGHT OF WAY; THENCE ALONG SAID WEST LINE, SOUTH 00 DEGREES 53 MINUTES WEST, A DISTANCE OF 250.67 FEET TO THE POINT OF BEGINNING AND CONTAINING: 43,708 SQUARE FEET OR 1.003 ACRES MORE OR LESS.

LOT 9 GLENMARY SUBDIVISION

NIF
 PATTIE E. WELLS
 D.B. 7291 PG. 1508



WE, THE UNDERS
 DESCRIBED IN T
 SURVEYED AND S
 HEREAFTER TO BE

ALL EASEMENTS
 MISSOURI, LACLE
 COMPANY, SOUTH
 SEWER DISTRICT,
 INTEREST MAY AP
 PUBLIC UTILITIES,
 TEMPORARY USE (C
 AND STORAGE (C
 UTILITIES, SEWERS
 THE BUILDING LIN
 THIS SUBDIVISION

IT IS HEREBY CER
 AND DATE OF REC
 IN WITNESS WH
 MYRA K. TENZER

Cathy
 MYRA K. TENZER

COUNTY OF ST. LO
 STATE OF MISSOL

ON THIS 25th
 TO ME KNOWN TO
 ACKNOWLEDGED

IN TESTIMONY WH
 STATE AFORESAID
 MY COMMISSION

Cathy
 NOTARY PUBLIC (C
 SIGNATURE

WE THE UNDERS
 RECORDED IN F
 HEREBY-JOIN IN

IN WITNESS WHE
 THIS DAY

BANK NAME: _____

OFFICER: _____

PRINTED NAME: _____

TITLE: _____

STATE OF MISSO
 COUNTY OF ST. LO

ON THIS _____

MISSOURI CORP
 OF SAID CORP
 CORPORATION I
 ACKNOWLEDGED

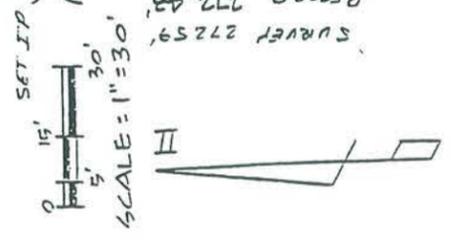
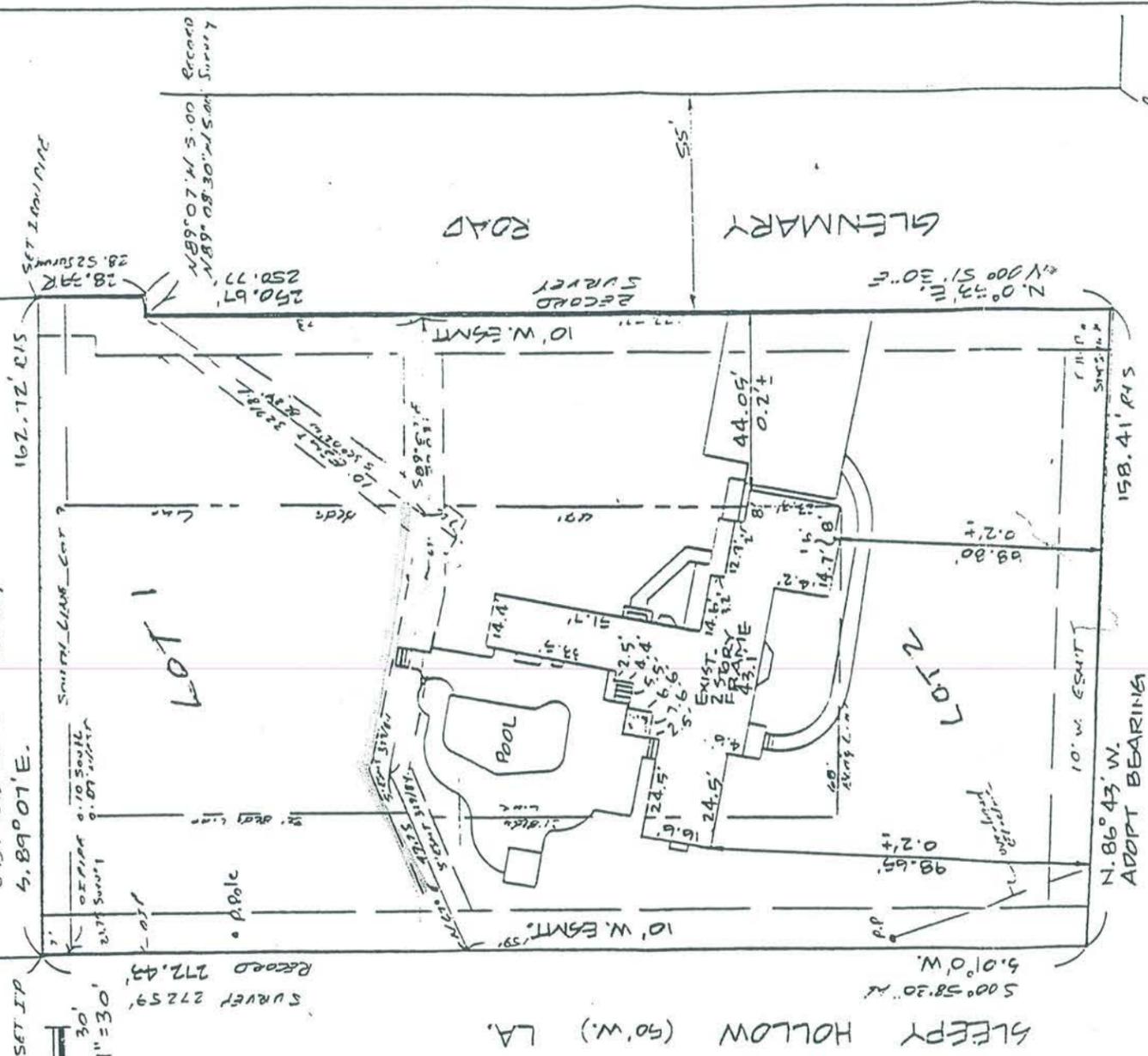
IN TESTIMONY WH
 LAST ABOVE WRI

MY COMMISSION

NOTARY PUBLIC
 (PRINT)

BENCHMARK
 U.S.G.S. DATUM 14-14
 M.S.D. REF. NO. 14-14
 50' 6" EAST OF THE WEST END OF FIRST CONCRETE STEP AT YARD
 ENTRANCE TO CENTRAL SCHOOL, NORTHEAST CORNER OLD BONHOMME
 AND PRICE ROADS, # 9137 OLD BONHOMME ROAD.
 F.I.F.V. 620 44

LOTS 1 & 2 OF TENZER ESTATES
 LOT 10 AND PART OF LOT 9 OF
 GLENMARY SUBDIVISION
 IN ST. LOUIS COUNTY, MISSOURI



Office COPY

This is to declare that, at the request of **TITLE INSURERS (DEBTY)** we have, on **Nov. 16, 1995**, executed a Chasubon survey on **Lot 10** and the **Southern seven feet of Lot 9 of GLENMARY**, a subdivision recorded in St. Louis County, Missouri, **Plat Book 329, Page 288 of the St. Louis County Records**. A **Survey** recorded in **Plat Book 329, Page 288 of the St. Louis County Records** that conforms to the standards set by the Missouri Board for Architects, Professional Engineers and Land Surveyors, and to the best of my knowledge, is correctly shown hereon. Address: **#9321 Bonhomme, Source of Platting 48/63**
 Source of Record: **Plat Book 48 Page 63**



St. Louis County Surveying & Engineering Inc.
 12015 MARCHESTER, SUITE 140, 63131
 Phone: 965 6732

REVISED 12-5-95

Fence - Construction - wood plank - 4" wide x 3/4" deep
 HT - 6'
 Depth of posts in ground - 2 1/2 to 3 feet
 Shadow Box

"APPROVED" *per attached*
 DATE *1/16/96*
 CITY OF OLIVETTE, MO.
 BY *[Signature]*
 BUILDING COMMISSIONER



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132

(314) 993-0252 (Office)
(314) 994-9862 (Fax)

DEPARTMENT MEMORANDUM

DATE: MAY 26, 2016

TO: MEMBERS OF THE PLANNING AND COMMUNITY DESIGN COMMISSION

**FROM: CARLOS TREJO
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT**

**RE: CHAPTER 400 ZONING REGULATIONS
ARTICLE IX: "LID" LIGHT INDUSTRIAL DISTRICT
ADULT ENTERTAINMENT BUSINESSES OR ESTABLISHMENTS**

As many communities are reassessing their liquor control regulations and zoning regulations regarding adult entertainment businesses or establishments, the City Council has held a first reading to amend current regulations regarding liquor control.

In review of the zoning regulations, in which the City updated in August 8, 2006, under Ordinance 2319 (attached), it was found that this use was inadvertently removed in a subsequent amendment to the LID District.

To correct this matter, the attached draft ordinance would insert the following to the list of 24-special permit uses under Article IX "LID" Light Industrial District:

25. Adult Entertainment Businesses or Establishments

Said use would be subject to the conditions already identified in Section 400.850 Restricted Uses.

No variations from the original Ordinance 2319 are proposed. Should the Commission wish to reconsider and amend the ordinance as adopted, staff suggest this be done in a separate process. The sole goal in this ordinance is to correct the deletion that has occurred.

**AN ORDINANCE TO AMEND SECTION 400.840 SPECIAL PERMIT USES OF
ARTICLE IX "LID" LIGHT INDUSTRIAL DISTRICT BEING PART OF CHAPTER 400
ZONING REGULATIONS OF TITLE IV LAND USE OF THE OLIVETTE MUNICIPAL
CODE SO AS TO PERMIT ADULT ENTERTAINMENT BUSINESSES OR
ESTABLISHMENTS**

(Version 2016 05-26)

WHEREAS, the City Attorney of the City of Olivette brought to staff's attention the clause authorizing adult entertainment businesses and establishments for special permit uses within the "LID" Light Industrial District has been inadvertently removed from Section 400.840 Special Permit Uses; and

WHEREAS, special conditions apply to adult entertainment businesses and establishments under Section 400.850 Restricted Uses; and

WHEREAS, on May 26, 2016, the Commission reviewed this ordinance, and by a unanimous vote motioned to recommend approval of this ordinance and to forward to the City Council following a Public Hearing in accordance with the procedures outlined in Article XX Changes and Amendments of Chapter 400 Zoning Regulations; and

WHEREAS, due and lawful notice of a public hearing on the proposed amendment to Section 400.840 Special Permit Uses of Article IX "LID" Light Industrial District, being part of Chapter 400 Zoning Regulations of Title IV Land Use of the Olivette Municipal Code, to be held by the City Council on June xx, 2016, at 7:00 PM in the City Council Chambers at City Hall, 9473 Olive Boulevard, Olivette, Missouri, was published in the St. Louis Countian, a newspaper of general circulation in the City of Olivette, on June XX, 2016; and

WHEREAS, a public hearing was duly and properly held by the City Council at the time and place provided for in the notice and all comments, statements, objections, and suggestions concerning the adoption of the proposed amendments to the City's regulations regarding miniwarehouses and self-storage units in the "LID" Light Industrial District were duly heard and considered by the City Council; and

WHEREAS, the City Council, after careful and due deliberation, has determined that the proposed amendments to Section 400.840 Special Permit Uses of Article IX "LID" Light Industrial District, being part of Chapter 400 Zoning Regulations of Title IV Land Use of the Olivette Municipal Code, is in the interest of the public health, safety, welfare, and morals of the City of Olivette.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS

SECTION 1. Section 400.840 Special Permit Uses of Article IX "LID" Light Industrial District, being part of Chapter 400 Zoning Regulations of Title IV Land Use of the Olivette Municipal Code, is amended to add to subsection 25, to read as follows:

25. Adult entertainment businesses or establishments

SECTION 2. If any article, section, subsection, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, such decision shall not affect or invalidate the remaining portions of this ordinance.

SECTION 3. BE IT FURTHER ORDAINED THAT this ordinance shall become effective from and after its adoption according to law.

Passed and approved this _____ day of _____, 2016.

MAYOR

ATTEST:

CITY CLERK

ORIGINAL ORDINANCE REGULATIONS

AN ORDINANCE AMENDING CHAPTER 280, THE ZONING ORDINANCE OF THE CITY OF OLIVETTE, PERTAINING TO ADULT ENTERTAINMENT BUSINESSES AND ESTABLISHMENTS.

* * * * *

WHEREAS, adult entertainment businesses and establishments are acknowledged to have special characteristics which may affect the use and enjoyment of adjacent properties; and

WHEREAS, it is the intent of this ordinance to provide for the confinement of these establishments and businesses to those areas in the city in which these special impacts are judged to be least disruptive to the use and enjoyment of adjacent properties; and

WHEREAS, this ordinance is further intended to require that these establishments and businesses shall not be permitted to locate in such concentration that their operational features may establish the dominant character of any industrial area; and

WHEREAS, this ordinance is further intended to protect and balance lawful rights of expression with other lawful rights to the enjoyment and use of properties; and

WHEREAS, adult entertainment businesses and establishments are recognized as having serious objectionable operational characteristics, particularly if several such uses are concentrated, thereby having a deleterious effect upon adjacent areas and could contribute to blight and degradation of the surrounding neighborhood; and

WHEREAS, the special regulation of these businesses and establishments is necessary to ensure that the secondary effects of such uses will not contribute to the blighting of surrounding neighborhoods, whether residential or non-residential by location or concentration, and to ensure the stability of such neighborhood; and

WHEREAS, on June 15, 2006, the Planning and Community Design Commission of the City of Olivette reviewed this ordinance, considered evidence regarding the secondary effects of adult entertainment businesses, and recommended passage of this ordinance amending Chapter 280, The Zoning Ordinance, to the Olivette City Council; and

WHEREAS, due and lawful notice of a public hearing on the proposed amendments to Chapter 280 was held by the City Council on July 25, 2006, at 7:30 PM in the City Council Chambers at City Hall, 9473 Olive Boulevard, Olivette, Missouri, was published in the St. Louis Countian, a newspaper of general circulation in the City of Olivette on July 25, 2006; and

WHEREAS, a public hearing was duly and properly held by the City Council at the time and place provided for in the notice to hear evidence regarding the secondary effects of adult entertainment businesses; and all comments, statements, objections, and suggestions concerning the adoption of the proposed amendments to the City's regulations regarding adult entertainment businesses and establishments were duly heard and considered by the City Council, and

WHEREAS, the City Council, after careful and due deliberation and upon consideration of such evidence regarding the secondary effects of adult entertainment businesses, the Olivette City Council finds it necessary and appropriate to regulate the secondary effects of the following businesses in the interest of the public health, safety, welfare, and morals of the City of Olivette.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF OLIVETTE, MISSOURI,
AS FOLLOWS:**

Section One.

Section 280.012 of Article II, Definitions, of Chapter 280 of the Municipal Code, being the Zoning Ordinance of the City of Olivette, is hereby amended by adding the following definitions to said section:

ADULT BOOKSTORE or NOVELTY STORE: An establishment having either ten percent (10%) or more of (1) its stock in trade, in books, photographs, magazines, films for sale or viewing on or off the premises by use of motion picture devices, video players, DVD players, computers or coin operated means, or other periodicals which are distinguished or characterized by their principal emphasis on matters depicting, describing or relating to sex or sexual activity or the principal purpose of which is to sexually stimulate or sexually arouse the patron viewer or reader; or (2) instruments, devices, or paraphernalia that are designed or marketed for use in connection with specified sexual activities.

ADULT ENTERTAINMENT BUSINESS OR ESTABLISHMENT: Any of the establishments, businesses, buildings, structures or facilities which fit within the definition of adult bookstore or novelty store, adult entertainment facility, bathhouse, massage parlor or shop and/or modeling studio.

ADULT ENTERTAINMENT FACILITY: Any building, structure or facility which contains or is used entirely or partially for commercial entertainment, including theaters used for presenting live presentations, video tapes, DVDs or films predominantly distinguished or characterized by their principal emphasis on matters depicting, describing, or relating to specified sexual activities, and exotic dance facilities (regardless of whether the theater or facility provides a live presentation, video tape, DVD, or film presentation), where the patrons either: (1) engage in personal contact with, or allow personal contact by employees, devices or equipment, or by personnel provided by the establishment which appeals to the prurient interest of the patrons; or (2) observe any live presentation, video tape, DVD or film presentation of persons wholly or partially nude, unless otherwise prohibited by ordinance, with their genitals or pubic region exposed or covered only with transparent or opaque covering, or in the case of female persons with the areola and nipple of the breast exposed or covered only with transparent or opaque covering or to observe specified sexual activities.

BATHHOUSE: An establishment or business which provides the services of baths of all kinds, including all forms and methods of hydrotherapy, unless operated or supervised by a medical or chiropractic practitioner or Professional physical therapist licensed by the state.

MASSAGE PARLOR or SHOP: An establishment which has a fixed place of business having a source of income or compensation which is derived from the practice of any method of pressure on or friction against or stroking, kneading, rubbing, tapping, pounding, vibrating or stimulation of external parts of the human body with the hands or with the aid of any mechanical electric apparatus or appliances with or without such supplementary aids as rubbing alcohol, liniments, antiseptics, oils, powders, creams, lotion, ointment or other similar preparations commonly used in the practice of massage under such circumstances that is reasonably expected that the person to whom the treatment is provided or some person on his or her behalf will pay money or give any other consideration or gratuity; provided that this term shall not include any establishment defined in this code or operated or supervised by a medical or chiropractic practitioner or professional physical or massage therapist licensed by the State of Missouri.

MODELING STUDIO: An establishment or business which provides for a fee or compensation the services of modeling on premises for the purpose of reproducing the human body wholly or partially in the nude by means of photography, painting, sketching, drawing or otherwise. This does not apply to public or private schools in which persons are enrolled in a class

SPECIFIED SEXUAL ACTIVITIES: Sexual conduct, being actual or simulated, acts of human masturbation; sexual intercourse; or physical contact, in an act of apparent sexual stimulation or gratification, with a person's clothed or unclothed genitals, pubic area, buttocks, or the breast of a female; or any sadomasochistic abuse or acts including animals or any latent objects in an act of apparent sexual stimulation or gratification.

Section Two.

Section 280.082.1, Special Permit Uses, of Article VII, LID-1 Light Industrial District 1, of Chapter 280 of the Municipal Code, being the Zoning Ordinance of the City of Olivette, is hereby amended by adding a new subsection W, to read as follows:

W. Adult entertainment businesses or establishments.

Section Three.

Section 280.082.2, Restricted Uses, of Article VII, LID-1 Light Industrial District 1, of Chapter 280 of the Municipal Code, being the Zoning Ordinance of the City of Olivette, is hereby amended by adding a new subsection A, to read as follows:

- A. In addition to all other pertinent and applicable regulations, the following special conditions shall apply to adult entertainment businesses and establishments:
- (1) No adult entertainment business or establishment shall be permitted within 750 feet of any religious institution, school, public park or any property zoned for residential use, or within 750 feet of the centerline of Olive Boulevard. such distance shall be measured in a straight line without regard to intervening properties from the closest exterior structural wall of the establishment to the closest point on any property line of the religious institution, school, or public park, or the property zoned for residential use, or to the Olive Boulevard centerline.
 - (2) No adult entertainment business or establishment shall be allowed to locate or expand within 750 feet of any other such business or establishment or of any business licensed to sell or serve alcoholic beverages, whether or not such business is also an establishment as defined in this section. The distance between any two (2) adult entertainment businesses or establishments or between such a business or establishment and a business selling or serving alcoholic beverages shall be measured in a straight line without regard to intervening structures from the closest exterior structural wall of each business.
 - (3) All access to and from an adult entertainment business or establishment shall be provided from a street classified as a public right-of-way.
 - (4) The property on which an adult entertainment business or establishment is located shall have a minimum of 100 feet of frontage on a public or private right-of-way.
 - (5) The property on which an adult entertainment business or establishment is located and the parking for such facility shall have a minimum front yard setback of fifty feet (50'), a side yard setback of twenty feet (20') and a rear yard setback of twenty five feet (25').
 - (6) Off-street parking shall be provided pursuant to the City Code.
 - (7) All landscaping and screening requirements otherwise required by the Olivette City Code shall be observed.

- (8) The facility in which an adult entertainment business or establishment is located shall be designed in such a fashion that all openings, entries and windows prevent view into such facilities from any pedestrian, sidewalk, walkway, street or other public area. No activity shall take place partially or totally outside the facility.
- (9) The facility in which an adult entertainment business or establishment is located shall be limited to one (1) wall-mounted sign no greater than one (1) square foot of sign per 1 foot of wall length, not to exceed a total of fifty (50) square feet; said sign shall not flash, blink or move by mechanical means and shall not extend above the roof line of the building. Said sign shall not exceed eight (8) feet in height from ground level. Further, no merchandise, symbol, or pictures of products or entertainment on the premises shall be displayed in window areas or on any sign or any area where such merchandise or pictures can be viewed from the exterior of the building. No flashing lights and/or lighting which leaves the impression of motion or movement shall be permitted. No temporary signs shall be allowed.
- (10) Lighting of the parking area shall conform to the requirements of the City Code.

Section Four.

The Chapter, Article, Division and/or Section assignments designated in this Ordinance may be revised and altered by the codification company servicing the City's Code of Ordinances upon supplementation of such code if, in the discretion of the editor, an alternative designation would be more reasonable. In adjusting such designations the editor may also change other designations and numerical assignment of code sections to accommodate such changes.

Section Five.

It is hereby declared to be the intention of the City Council that each and every part, section and subsection of this Ordinance shall be separate and severable from each and every other part, section and subsection hereof and that the City Council intends to adopt each said part, section and subsection separately and independently of any other part, section and subsection. In the event that any part of this Ordinance shall be determined to be or to have been unlawful or unconstitutional, the remaining parts, sections and subsections shall be and remain in full force and effect.

Section Six.

This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

Passed and approved this _____ day of _____, 2006.

JIM BAER, MAYOR

ATTEST:

MYRA BENNETTE, CITY CLERK