



**AGENDA  
FOR THE CITY OF OLIVETTE  
PLANNING AND COMMUNITY DESIGN  
COMMISSION  
MEETING OF AUGUST 4, 2016  
AT 7:00 P.M.  
IN THE OLIVETTE CITY COUNCIL  
CHAMBERS  
AT CITY HALL GOVERNMENT CENTER  
LOCATED AT 9473 OLIVE BOULEVARD**

**1. Roll Call**

**2. Review Of Commission Procedures**

**3. Consent Business**

**4. Old Business**

**5. New Business**

**A. 724 Mansfield Drive**

Petition for: Community Design Review and Concept Stormwater Management Plan Review

Description: New Single Family Home

Petitioner: Pete Uetrecht, Compass Design Build

Owner: Laimmoire and Donya Taylor

Documents:

[MANSFIELD DR-NO 724 CDR PLANS 2016 07-29.PDF](#)

[MANSFIELD DR-NO 724 SR ATTACHMENTS 2016 07-29.PDF](#)

**B. 9626 Olive Boulevard, Lulu's Asian Kitchen**

Site Plan Review & Special Permit Use

Proposed: Amend Existing to Add Wall Signage and Outdoor Dining

Petitioner: Zun Xing Li, J.X. Restaurant, Inc.

Property Owner: Bianco Properties

**C. 9334 Dielman Industrial - Charter Communications**

Community Design Review

Proposed: Exterior Structural Alteration

Petitioner/Property Owner: Charter Communications

**6. Other Business**

**A. Meeting Minutes**

**7. Discussion Items**

**A. Text Amendment For Review Procedures For Site Plan, Community Design, And**

**Stormwater Management Under Title IV Land Use Of The Olivette Municipal Code**

**Amend Review Procedures for Site Plan Review under Chapter 400 Zoning**

**Regulations, Community Design Review under Chapter 425, and Concept Stormwater**

**Management Plan under Chapter 422 Stormwater Management**

**Petitioner: City of Olivette**

B. COR And LID Districts Land Use And Parking

Discussion regarding permitted uses, special permit uses, and off-street parking in the "LID" and "COR" Districts.

**8. Reports**

Under this agenda item, the Planning and Community Design Commission is provided updates by:

- Director of Planning and Community Development regarding planning and development activity; and
- City Council Liaison regarding City Council and city wide activities.

**9. Adjournment**

AGENDA ITEMS WILL NOT NECESSARILY BE DISCUSSED IN ORDER. IF YOU HAVE ANY QUESTIONS, PLEASE CALL CITY HALL AT (314) 993-0444.

**THE NEXT SCHEDULED MEETING IS AUGUST 18, 2016**

The City of Olivette hereby advises the public, employees and qualified job applicants that they are afforded an equal opportunity to participate in the programs and service of the City regardless of race, color, religion, veteran status, national origin, sex, age, sexual orientation, the existence of a physical or mental disability, or any other classification protected by law. If you are a person with a disability and have special needs, please call Barbara Sondag, City Manager at 314.993.0444 as soon as possible but no later than one day prior to the event or call 314.993.3610 VOICE TDD, 1.800.735.2466 RELAY MISSOURI. Thank you..

Posted this 22nd day of July, 2016 at 1:00 PM.

**Myra G. Bennett**

Myra G. Bennett, CMC/MPCC  
City Clerk  
City of Olivette

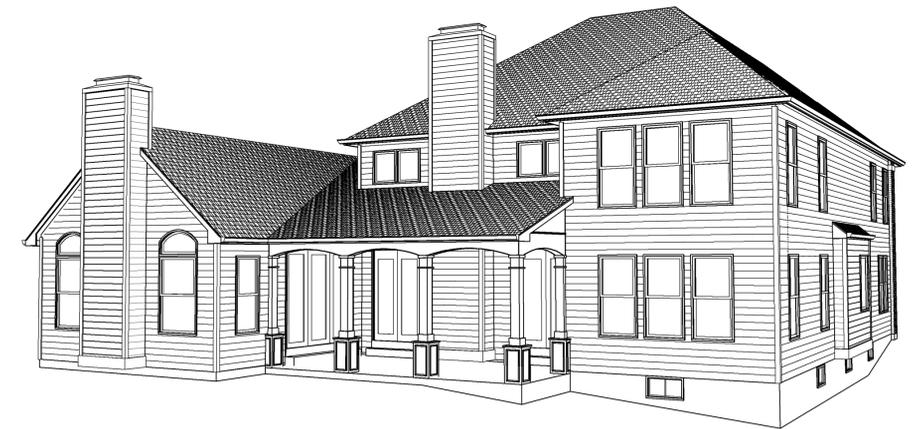
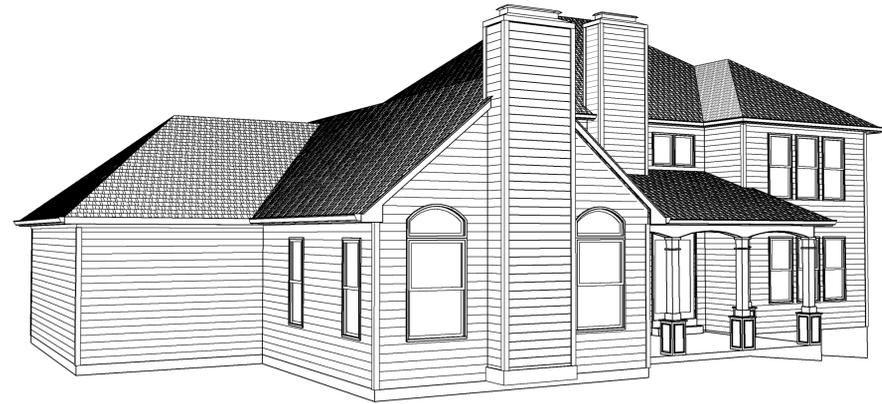
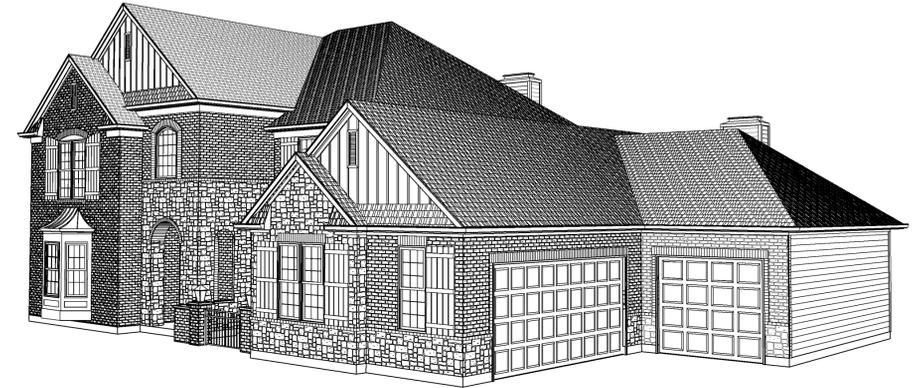
# Lay & Donya Taylor Residence

jeff hampton  
architect  
1187 Stono Mountain Drive  
Farmington, Missouri 63640  
p. 314.270.2940 | jeffhampton@sbcglobal.net  
"Your Source for Design Excellence"



The Professional Architects seal affixed to this sheet indicates that the named Architect has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.

Proposed Single Family Residence for:  
**Lay & Donya Taylor**  
724 Mansfield  
Olivette, Missouri 63132

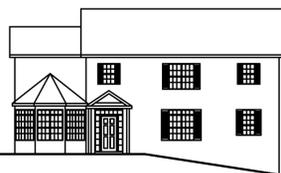


General Contractor:  
**COMPASS**  
DESIGN | BUILD L.L.C.  
Compass Design Build  
2464 Taylor Road, #319  
Wildwood Missouri  
(636) 236-2536

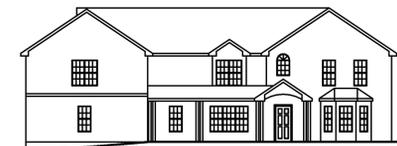
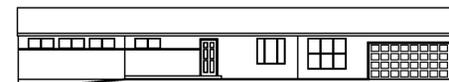
## PERSPECTIVE VIEWS

SCALE: NONE

Date	Remarks
05/09/16	Submit for HOA Review
06/07/16	Revised Per Preliminary Zoning Review
06/21/16	Submit for Olivette Design Review



COMMON  
GROUND



918 Fairgreen

724 Mansfield

712 Mansfield

700 Mansfield

## STREETSCAPE ELEVATIONS

SCALE: NONE

# A001

Sheet 1 Of 9

724 Mansfield  
Olivette, Missouri 63132

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## RESIDENTIAL NOTES

NOTE: THESE NOTES ESTABLISH MINIMUM STANDARDS FOR RESIDENCES. THERE MAY BE SOME THAT HAVE NO APPLICATION TO THIS PARTICULAR JOB. IF THERE ARE ANY VARIANCES BETWEEN THESE NOTES AND NOTES FOUND ELSEWHERE IN THESE PLANS THEN WHICHEVER ARE THE MOST STRINGENT SHALL APPLY.

### GENERAL

- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD EXCEEDING 200.
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- PROVIDE 4" (MIN) CONCRETE STEP DOWN AT ALL HOUSE ACCESS DOORS.
- ALL ACCESS DOORS SHALL BE 1-3/4" BOLD IS CORE.
- PATIO DOORS, SHOWER OR ENCLOSURES, WINDOVS OVER TUBS, OR GLASS WITHIN 12" OF DOORS, SHALL BE FULLY TYPED, LAMINATED SAFETY, APPROVED WIRE GLASS, OR APPROVED SHATTER RESISTANT PLASTIC.
- DROPPED CEILING BELOW WOOD JOIST OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 500 SQ. FT. INTERVALS AND PARALLEL TO FRAMING MEMBERS, A 22"x30" MIN. ACCESS OPENING REQUIRED FOR ATTIC AREAS WHICH HAVE A CLEAR HEIGHT OF AT LEAST 30". ACCESS DOORS IN DRAFTSTOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIALS.

### FOUNDATION

- BOTTOM OF WALL FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE.
- PROVIDE APPROVED 5000 PSI OR POST SHADE WITH 1/2"x12" ANCHOR BOLT SET IN A MINIMUM OF 8" IN CONCRETE FOR ALL WOOD PORCH AND DECK POSTS.
- GARAGE FLOOR SHALL SLOPE A MINIMUM OF 2" TO THE OVERHEAD DOOR.
- PROVIDE 4" MINIMUM CONCRETE CURB IN GARAGE.
- CONCRETE SHALL TEST 5,000 PSI (MIN) AT 28 DAYS. ALL CONCRETE SHALL BE AIR-ENTRAINED.
- FINISH GRADES AT THE BUILDING SHALL BE A MINIMUM OF 8" BELOW THE TOP OF FOUNDATION. FINISH GRADES SHALL SLOPE AWAY FROM THE BUILDING 6" FOR A DISTANCE OF 10'-0".

### CONCRETE SLABS

- CONCRETE FLOORS TO BE POURED ON 4" (MIN) OF GRAVEL OR CRUSHED STONE OVER CUT VIRGIN (UNDISTURBED) OR ANY FILL DEEPER THAN THE REQUIRED 4" SHALL ALSO BE GRAVEL OR CRUSHED STONE.
- 6-MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL GROUND SLABS.
- SMOOTH TROUCEL FINISH ON ALL INTERIOR SLABS.
- SLAB THICKNESS AND WIRE MESH PER PLAN.
- SLOPE FINISH AS REQUIRED FOR DRAINAGE.
- EXTERIOR SILL TO BE SLOPED.
- SLOPE EXTERIOR SLABS WITHIN 10'-0" OF BUILDING 2-PERCENT (MIN) AWAY FROM BUILDING.
- SLOPE GARAGE SLAB 2" (MIN) TOWARD OVERHEAD DOOR.

### CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE:  
2500 PSI - BASEMENT SLABS  
3000 PSI - BASEMENT WALLS, FOUNDATION WALLS, AND FOOTINGS  
3500 PSI - PORCHES, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS.
- CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS AND DRIVEWAYS SHALL BE AIR-ENTRAINED.
- FOUNDATION TO BE WATERPROOFED WITH 6-MIL. POLYETHYLENE JOINTS TO BE LAPPED 6" AND SEALED PER MANUFACTURER'S INSTALLATION INSTRUCTION.
- WATERPROOFING TO BE APPLIED FROM THE BOTTOM OF THE WALL TO AT LEAST 12" ABOVE THE WATER TABLE ELEVATION. THE REMAINDER OF THE WALL TO BE DAMPROOFED.
- ALL JOINTS IN WALLS AND FLOORS TO BE WATER TIGHT.
- DOWNSPOUT DISCHARGE SHALL BE DIRECTED AWAY FROM FOUNDATION.
- SUMP PUMP DISCHARGE SHALL BE PIPED TO STORM DRAIN OR TO APPROVED WATER COURSE, DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.
- DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (8" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES TO AN APPROVED DISPOSAL FACILITY.
- PROVIDE WATERPROOFING MEMBRANE UNDER FLOOR SLAB OF POLYETHYLENE WITH JOINTS LAPPED A MINIMUM OF 6 INCHES AND SEALED.

### CARPENTRY

- ALL FRAMING LUMBER SHALL BE MINIMUM 2015 NDS "S" SOUTHERN YELLOW PINE (TYPICAL UNLESS NOTED OTHERWISE ON PLANS).
- FLOOR JOISTS SHALL BE FASTENED TO RIND SILL WITH THREE 8-PENNY NAILS AT EA. JOIST.
- TIE FLOOR JOIST TOGETHER WITH THREE 16-PENNY NAILS AT EACH TIE.
- NAIL 1X3 TO BOTTOM OF FLOOR JOIST ON EACH SIDE OF ALL STEEL BEAMS.
- ALL EXTERIOR WALLS TO BE BRACED PER ST. LOUIS COUNTY'S SIMPLIFIED BRACING METHOD FOR ONE AND TWO FAMILY DWELLINGS WHEN THE ENTIRE STRUCTURE IS SHEATHED WITH WOOD STRUCTURAL PANELS.
- FIRE STOPPING SHALL BE PROVIDED AT ALL SOFFITS, DROP CEILING AND AT 8'-0" MAX. VERTICAL INTERVALS.
- ALL LINTELS SHALL BE TWO 2x10'S UNLESS OTHERWISE NOTED.
- ALL EXPOSED MATERIALS FOR PORCHES, CARPORTS, SOFFITS, OVERHANGS, CARPORT CEILING AND ETC. TO BE EXTERIOR GRADE MATERIALS.
- SILL PLATE AND ALL OTHER WOOD IN CONTACT WITH CONCRETE SHALL BE TRTD. MATERIAL.
- CUTTING NOTCHES AND/OR BORING HOLES ON WOOD BEAMS, JOISTS, RAFTERS OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS R502.8, R6-02.6, AND R6-02.6.1 OF 2006 IRC.
- REINFORCEMENT OF STUDS SHALL BE DONE IN ACCORDANCE WITH SECTION R6-02.3 2006 IRC.
- NAILING AND FASTENING OF FLOOR, ROOF/CEILING WALL, AND ROOF SHEATHING, AND GYPSUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH TABLE R6-02.3(1) AND R6-02.3(2) OF 2006 IRC.
- DRAFTSTOP FLOOR TRUSSES EVERY 500 SQFT (MIN)
- BASEMENT FOUNDATION FUR WALLS SHALL BE FIREBLOCKED AS PER THE FOLLOWING:
  - FILL THE FLOOR JOIST CAVITY SOLID WITH MINERAL WOOL OR DRYWALL DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA.
  - INSTALL VERTICAL FIREBLOCKING AT 10'-0" INTERVALS IN FURRED OUT WALLS AGAINST A CONCRETE FOUNDATION WALL.
  - INSTALL FIREBLOCKING AT THE INTERSECTION OF CONCEALED VERTICAL SPACES AND CONCEALED HORIZONTAL SPACES.

### INSULATION

- MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS:

ROOF/CEILING FRAME:	R-30
WALL 4 BAND JOISTS:	R-13
FLOOR OVER UNHEATED CRAWL SPACE:	R-19
FINISHED BASEMENT FOUNDATION WALL:	R-13 (FULL HEIGHT)
UNFINISHED BASEMENT FOUNDATION WALL:	R-5 (20% MIN. OF EXPOSED RND)
SLAB ON GRADE FLOORS:	R-10 (NO DUCTWORK IN THE SLAB)
R-15 (DUCTWORK IN THE SLAB)	R-5
- DUCTWORK IN NON-CONDITIONED SPACE:

- THE BASEMENT FOUNDATION WALL INSULATION SHALL EXTEND DOWN TO THE BASEMENT FLOOR SLAB OR TO A MINIMUM OF 24" BELOW OUTSIDE FINISHED GRADE WHEN THE GRADE IS ABOVE THE FLOOR SLAB ELEVATION.
- BATT OR BLANKET INSULATION INCLUDING THE VAPOR RETARDER, BREATHER PAPER OR OTHER COVERINGS SHALL NOT BE LEFT EXPOSED IN UNFINISHED BASEMENTS UNLESS THE MATERIAL HAS A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 450 OR LESS.
- ALL FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY A THERMAL BARRIER OF 1/2" GYPSUM WALLBOARD.
- ALL FOAM PLASTICS SHALL HAVE A FLAME SPREAD RATINGS OF 75 OR LESS AND A SMOKE DEVELOPMENT RATINGS OF 450 OR LESS.

### SOUND TRANSMISSION

AIR-BORNE SOUND INSULATION FOR WALL AND FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 (OR GREATER) WHEN TESTED IN ACCORDANCE WITH ASTM E 90. SEE APPENDIX K - SOUND TRANSMISSION OF THE 2006 IRC.

### PLUMBING

- DOWNSPOUTS AND FOUNDATION DRAINS WILL NOT BE CONNECTED TO SANITARY SEWER.
- NO LEAD SOLDER IS REQUIRED FOR ALL COPPER WATER SUPPLY PIPING.
- NOTE THAT THE WATER SERVICE PIPE AND THE BUILDING SEWER ARE TO BE A MINIMUM OF 10" APART HORIZONTALLY.
- BASEMENT AREA WAY DRAINS AND FOUNDATION DRAIN TILES ARE NOT TO BE CONNECTED TO A SANITARY SEWER.
- WATER SERVICE LINE SIZE & LOCATION PER FOUNDATION PLAN
- PROVIDE 30 GALLON ELECTRIC WATER HEATER.
- PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS.
- PROVIDE FLOOR DRAIN, SLOPE SLAB TOWARD.

## FLOOR PLAN NOTES

SEE GENERAL NOTES FOR MORE INFORMATION

### (E) ELECTRICAL SYMBOLS

NOTE: NOT ALL NECESSARILY OCCUR ON THIS PAGE.

- ALL OUTLETS LOCATED IN GARAGE, KITCHEN, LAUNDRY, BATHROOMS 4 ON EXTERIOR TO BE GFI CIRCUIT.
- ALL OUTLETS LOCATED ON EXTERIOR TO BE WATERPROOFED ELECTRICAL LAYOUT FOR GENERAL BLDG. USE.
- PROVIDE EXTERIOR WATERPROOF GFI RECEPTACLE WITHIN 25'-0" OF A/C CONDENSING UNIT.
- ALL BRANCH CIRCUITS THAT SUPPLY 120V, SINGLE PHASE, 15 AMP 4 20 AMP OUTLETS IN BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER 2006 IRC.
- PROVIDE INTER-SYSTEM BONDING TERMINAL FOR GROUNDING CONSTRUCTION SYSTEMS (CABLE TV, 4 SATELLITE DISHES).
- IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-50 AND 250-53.

- ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL CODE REQUIREMENTS AND ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
  - 120 V DUPLEX OUTLET
  - 120 V DUPLEX/OUTLET-SPLIT WIRED (1/2 SWITCHED)
  - 220 V OUTLET
  - 120 V DUPLEX OUTLET WITH GROUND FAULT INTERUPTION (GFI)
  - 120 V DUPLEX OUTLET WITH GFI AND WEATHER PROOF (WP) COVER
  - 120 V DUPLEX OUTLET WITH ARC FAULT INTERUPTION (AF)



120 V DUPLEX OUTLET



220 V OUTLET



120 V DUPLEX OUTLET WITH GFI AND WEATHER PROOF (WP) COVER



120 V DUPLEX OUTLET WITH ARC FAULT INTERUPTION (AF)



SINGLE POLE SWITCH



MULTIPLE SINGLE POLE SWITCHES GANGED



WALL LIGHT FIXTURE



INCANDESCENT LIGHT FIXTURE



INCANDESCENT LIGHT FIXTURE WITH PULL CHAIN



INCANDESCENT DOUBLE FLOOD LIGHTS



50 CFM MIN EXHAUST FAN VENTED TO EXTERIOR



SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND LISTED IN ACCORDANCE WITH UL 311 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72-01.



CARBON MONOXIDE DETECTOR SHALL COMPLY WITH UL2034-2006



PADDLE FAN WITH INCANDESCENT LIGHT



CLOSET LIGHTING CLEARANCE REQUIREMENTS

- INSTALL LUMINAIRES IN CLOTHES CLOSETS PER 2006 IRC.
- TYPE OF LUMINAIRES SHALL BE LIMITED TO SURFACE-MOUNTED OR RECESSED INCANDESCENT LUMINAIRES WITH COMPLETELY ENCLOSED LAMPS, AND SURFACE-MOUNTED OR RECESSED FLUORESCENT LUMINAIRES.
- INCANDESCENT LUMINAIRES WITH OPEN OR PARTIALLY ENCLOSED LAMP AND PENDANT LUMINAIRES OR LAMP-HOLDERS SHALL BE PROHIBITED.
- LUMINAIRE INSTALLATIONS SHALL BE IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING:
  - SURFACE-MOUNTED INCANDESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 12-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
  - SURFACE-MOUNTED FLUORESCENT LUMINAIRES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
  - RECESSED INCANDESCENT LUMINAIRES WITH A COMPLETELY ENCLOSED LAMP SHALL BE INSTALLED IN THE WALL OR THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE LUMINAIRE AND THE NEAREST POINT OF A STORAGE SPACE.
  - RECESSED INCANDESCENT LUMINAIRES SHALL BE INSTALLED IN THE WALL OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6-INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

### (R) RAILINGS NOTES

- GUARDRAILS SHALL BE 36" HIGH (MIN)
- INTERIOR HANDRAILS SHALL BE 34" ABOVE AND EXTERIOR HANDRAILS SHALL BE 34" (MIN) TO 38" ABOVE AND PARALLEL TO A LINE TOUCHING THE FRONT OF STAIR NOSING, 36" (MIN) ON OPEN SIDE.
- THE MAXIMUM SPACE BETWEEN PICKETS OR RAILS SHALL NOT ALLOW A 4" DIA. SPHERE TO PASS THRU.
- HANDRAILS SHALL BE ROUND, 1 1/2" (MIN) 4" 2" (MAX) DIAMETER THERE SHALL BE A MINIMUM OF 12" BETWEEN HANDRAIL AND WALL. THE MAXIMUM PROTRUSION INTO REQUIRED STAIR WIDTH IS 3/8".
- HANDRAIL ENDS SHALL RETURN TO A WALL OR NEUEL POST

### FIREPLACE

FIREPLACE SHALL BE AN APPROVED MANUFACTURED PREFAB UNIT, BUILDER OR OWNER TO OBTAIN CURRENT INSTALLATION MANUALS OF MODEL TO BE USED AND FILE REQUIRED COPIES OF SAME WITH THESE PRINTS.

HEARTH SHALL EXTEND 12" (MIN) EITHER SIDE OF AND 20" (MIN) IN FRONT OF FACE OPENING. HEARTH SHALL BE 4" (MIN) MASONRY ON BACKER BOARD.

FIREPLACE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALL MANUAL. INSTALLATION INSTRUCTIONS TO REMAIN ON SITE AT ALL TIMES.

### GARAGE WALL

- PROVIDE 5/8" TYPE "X" DRYWALL ON CEILING AND GARAGE SIDE OF INTERIOR PARTITIONS OF ATTACHED GARAGES. IF GARAGE IS IN BASEMENT OR HAS HABITABLE SPACE ABOVE, USE 5/8" TYPE "X".
- ALL BEARING WALLS, BEAMS, AND COLUMNS SUPPORTING THE FLOOR/CEILING ASSEMBLY MUST PROTECTED WITH 1/2" (MIN) GYP. END.
- PROVIDE 4" (MIN) STEP DOWN AT INTERIOR DOORS. DROP SLAB 4" (MIN) AT INTERIOR PARTITIONS FOR BASEMENT GARAGES. DROP SLAB 4" (MIN) BELOW TOP OF HOUSE FOUNDATION POUR, IF ATTACHED.
- CONNECTING DOORS BETWEEN HOUSE AND GARAGE SHALL BE 1 3/4" SOLID CORE WOOD DOOR OR SOLID HONEYCOMB CORE STEEL DOOR.
- SLOPE CONCRETE SLAB 2" (MIN) TOWARD OVERHEAD DOOR.

### (CK) WOOD SUPPORT COLUMNS (ABOVE FOUNDATION LEVEL)

- PROVIDE A MINIMUM OF FOUR (4) STUDS, IF 2X4 FRAMING, AND THREE (3) STUDS, IF 2X6 FRAMING, SHALL BE INSTALLED OVER EACH STUD POSTS SHALL BE GLUED AND NAILLED TOGETHER. ALL STUDS SHALL BE FULL LENGTH.
- PROVIDE BLOCKING UNDER GANGED STUDS BETWEEN FLOOR JOIST SO THAT ENTIRE AREA OF STUDS IS SUPPORTED.
- SUPPORT SHALL BE FROM UNDERSIDE OF BEAM TO FOUNDATION, MAIN BEAM OR CONCRETE PAD.
- PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEISMIC FORCES.
- BLOCKING REQUIRED AT ALL CONTINUOUS POINT LOADS (SEE "SN" SYMBOLS)

### WINDOW WELLS

- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9-SQFT WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.
- EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R302.1 SHALL BE PERMITTED TO ENCRUGH A MAXIMUM OF 6" INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.
- WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION.
- LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12" AND SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.
- BULKHEAD ENCLOSURES SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.
- A BULKHEAD ENCLOSURE WITH THE DOOR PANELS IN THE FULLY OPEN POSITION SHALL PROVIDE THE MINIMUM NET CLEAR OPENING REQUIRED BY SECTION R302.1 OF THE 2006 IRC.
- BULKHEAD ENCLOSURES SHALL COMPLY WITH SECTION R303.8.2 OF THE 2006 IRC. BARS, GRILLS, COVERS AND SCREENS OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS, BULKHEAD ENCLOSURES, OR WINDOW WELLS THAT SERVE SUCH OPENINGS PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLY WITH SECTIONS R302.1 TO R302.3 OF THE 2006 IRC, AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING.
- WINDOW WELL AREA/WAY DRAINS TO BE 2" OR 3" AS PER PLAN.

## FOUNDATION NOTES

SEE GENERAL NOTES FOR MORE INFORMATION

### (SN) SYMBOLS

NOTE: NOT ALL NECESSARILY OCCUR ON THIS PAGE.

- CONCENTRATED POST LOAD BEARING POINT LOCATION CONTINUOUS TO BEARING.
- CONCENTRATED BEARING POINT CONT. FROM ABOVE. INSTALL BLOCKING AS REQD.
- INDICATES PLUMBING STACK/FLUE LOCATION ABOVE.

FRAME WALL BRICK/MASONRY WALL INTERIOR BEARING WALL DEMO WALL

### (LH) LUMBER

- SILL PLATES AND ALL OTHER WOOD IN CONTACT W/ CONCRETE OR WITHIN 8" OF GRADE IS TO BE TREATED MATERIAL.

### (FF) FOUNDATION

NOTE: FOUNDATION CONTRACTOR SHALL CHECK WITH OTHER TRADES FOR REQUIRED POCKETS AND OPENINGS. VERIFY ALL ROUGH OPENINGS SIZES BEFORE STARTING POUR.

- BASEMENT WALL THICKNESS AND HEIGHT, AS WELL AS FOOTING SIZE SHALL BE AS INDICATED ON PLAN. (SEE SECTIONS 4 DETAILS FOR ADDITIONAL INFORMATION)
- GARAGE OR PORCH: 8"x2'-6" POUR ON 8"x2'-0" FINISH. NO LESS NOTED OTHERWISE.
- FROST WALL FOR SLAB FLOOR: 8"x2'-6" POUR ON 8"x2'-0" FTG, UNLESS NOTED OTHERWISE. SET 1/2"x2" ANCHOR BOLTS AT 4'-0" O.C. (MIN) AND TUD (2) IN EACH SILL FLATE (MIN) ALL BOLTS TO BE EMBEDDED 8" (MIN) AND 2 1/2" ABOVE FOUR. PROVIDE WASHER AND NUT AT EACH BOLT SHALL BE 3" IN FROM OUTSIDE SURFACE FOR FRAME CONSTRUCTION, AND 3" FROM INSIDE SURFACE OF CONCRETE FOR BOTH BRICK VENEER AND LOG CONSTRUCTION.
- SEE SECTIONS AND DETAILS FOR REINFORCING DETAILS.
- WATERPROOFING/DAMP-PROOFING FOUNDATION BELOW GRADE:
  - IF BOILS ENGINEER REPORT ALLOWS USE SPRAY ON ASPHALT EMULSION DAMPROOFING, IF REPORT DOES NOT ALLOW OR WITHOUT REPORT, USE MODIFIED POLYMER ASPHALT MEMBRANE WATERPROOFING.
  - GROUNDWATER PRESENT - PROVIDE DRAIN TILE, PERFORATED PIPE, OR OTHER APPROVED FOUNDATION DRAINAGE SYSTEM BOTH INSIDE AND OUTSIDE OF FOUNDATION.
  - DRAINAGE SYSTEM SHALL DISCHARGE BY GRAVITY TO DAYLIGHT OR BE CONNECTED TO AN APPROVED SUMP (8" IN DIAMETER X 18" DEEP WITH FITTED COVER) HAVING A SUMP PUMP THAT DISCHARGES INTO AN APPROVED DISPOSAL SYSTEM.

### FOOTING SIZES

MINIMUM FOOTING WIDTH SIZES REQUIRED FOR BEARING

	BEARING ON UNDISTURBED SOIL		2000PSI BEARING CERTIFIED BY MO. PROFESSIONAL ENGINEER	
	FRAMED WALL W/ BRICK VENEER	FRAMED WALL W/ BRICK VENEER	FRAMED WALL W/ BRICK VENEER	FRAMED WALL W/ BRICK VENEER
1-STORY SLAB ON GRADE	12"	12"	12"	12"
1-STORY W/ BASEMENT	21"	24"	16"	16"
2-STORY SLAB ON GRADE	18"	21"	12"	16"
2-STORY W/ BASEMENT	24"	30"	18"	23"
3-STORY SLAB ON GRADE	23"	32"	17"	24"
3-STORY W/ BASEMENT	27"	38"	21"	27"

### (SN) SLAB NOTES

- ALL CONCRETE SLABS ARE NOMINAL 4" THICK WITH 6"x6" 10/10 W/LF ADDED TO EXTERIOR AND GARAGE SLABS.
- TIE EXTERIOR SLABS TO MAIN FOUNDATION WITH 4 RODS AT 12" O.C. WITH EXP. JOINTS.
- SLOPE ALL SLABS FOR PROPER DRAINAGE.
- ONLT GRAVEL OR CRUSHED ROCK ALLOWED AS FILL UNDER ALL SLABS. 4" (MIN) SLAB MUST BE DAMPROOFED OR WATERPROOFED DEPENDING ON PRESENCE OR ABSENCE OF GROUND WATER.

### (R) FLOOR JOISTS

- FLOOR JOISTS AT 16" O.C. (MAX), UNLESS NOTED OTHERWISE.
- ALL FLOOR JOISTS TO BE 2" SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
- PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS.

### (PP) PORCH PIERS

- PROVIDE TREATED ENGINEERED BEAM ON 6"x6" TREATED POSTS (OPT. 6x6 HOLLOW FLUTED STD. COL.) ON 8" MIN. DIAMETER PIERS. (SEE PLAN FOR PIER LOCATION AND FOOTING SIZES)
- BOTTOM OF FOOTING MUST BE 24" (MIN) INTO SOLID SOIL AND 30" (MIN) BELOW FINISH GRADE ON UNDISTURBED SOIL.
- PROVIDE APPROVED FOOT SHOES AND CAPS.
- SEPARATE PIER FROM ANY SLAB TOUCHING IT WITH EXPANSION JOINTS.

### (BN) BEAM NOTES

- BEAMS MUST BE SIZED AS NOTED AT ON PLAN.
- PROVIDE 3" DIA. X 150 LB. PIPE COLUMNS.
- PROVIDE 30" X 30" X 12" TIED COLUMN FOOTINGS, UNLESS NOTED OTHERWISE.
- NAIL 1X3 TO BOTTOM OF JOISTS ON BOTH SIDES OF ALL BEAMS.
- MINIMUM BEAM BEARING SHALL BE 3" ON CONCRETE.
- BEAM POCKET SHALL ALLOW 1" CLEARANCE AROUND BEAM TO ALLOW ADJUSTMENT, SHIPPING AND EXPANSION.
- 8MM STBL. BEAM WITH STEEL SHIMS AND GROUT IN PLACE.
- ALL STEEL SHALL BE FACTORY PRIME PAINTED.

### (R) PIPE COLUMN SUPPORT FOR BEAMS

- PIPE COLUMN SHALL BE A MINIMUM SIZE OF 3" DIA. X 150 LBS. PER FOOT.
- COLUMNS SHALL REST ON OTHER BEAMS, FOUNDATIONS, PIERS OR ISOLATED PADS.
- CHECK PLAN FOR LOCATION OF COLUMNS FOR SIZE OR ISOLATED PADS.
- IF "PI" RESTS ON OR SUPPORTS WOOD, SIZE PLATES AND PROVIDE BLOCKING SO THAT THE MAXIMUM PSI DOES NOT EXCEED THE COMPRESSIVE STRENGTH OF THE WOOD PERPENDICULAR TO THE GRAIN.
- PROVIDE SADDLES OR OTHER APPROVED CONNECTIONS WHERE "PI" SUPPORTS OR RESTS ON WOOD.
- PROVIDE APPROVED TIES AT ALL CONNECTIONS TO PREVENT MOVEMENT DUE TO WIND 4 SEISMIC FORCES.

### (EF) ELECTRIC FURNACE

- PROVIDE HI-EFFICIENCY ELECTRIC FURNACE OR HEAT PUMP. HEATING CONTRACTOR SHALL PROVIDE HEAT LOSS AND GAIN CALCULATIONS, DUCT LAYOUT AND SIZE UNITS.
- PROVIDE 30 GALLON ELECTRIC WATER HEATER.
- PROVIDE EXPANSION TANK FOR WATER HEATERS ABOVE 30 GALLONS.
- PROVIDE FLOOR DRAIN, SLOPE SLAB TOWARD.

## ELEVATION NOTES

SEE GENERAL NOTES FOR MORE INFORMATION

### (GN) GRADE NOTES

- TOP OF FOUNDATION SHALL BE 8" (MIN) ABOVE FINISH GRADE AT ALL POINTS.
- BOTTOM OF FOOTING SHALL BE 30" (MIN) BELOW FINISH GRADE AT ALL POINTS.
- FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 6" FOR A DISTANCE OF 10'-0" (MIN)
- INTERVIOUS SURFACES WITHIN 10'-0" OF BUILDING FOUNDATION SHALL BE SLOPED 2-PERCENT (MIN) AWAY FROM BUILDING.

### (DF) DROP FOOTINGS

- DROP FOOTING AS REQUIRED AND INCREASE HEIGHT OF FOUR TO MAINTAIN BOTTOM OF FOOTING AND 30" (MIN) BELOW FINISH GRADE AND 24" (MIN) UNDISTURBED SOIL. DROP DISTANCE TO BE IN MULTIPLES OF 6" INCREMENTS.

### (GU) GUTTERS

- PROVIDE GUTTER, DOWN SPOUTS AND ELBOWS TO WITHIN 6" FROM GRADE AT BOTTOM TO SPLASH BLOCKS.
- DO NOT CONNECT DOWN SPOUTS OR DRAIN TILE TO SANITARY SEWER.

### (PC) PORCH COLUMNS

- PROVIDE APPROVED POST SHADE WITH 1/2" DIA. X 12" ANCHOR BOLTS SET 8" IN CONCRETE FOR ALL PORCH AND DECK COLUMNS.
- WHERE PORCH COLUMN SITS ON WOOD PORCH FLOOR PROVIDE APPROVED TIE BETWEEN COLUMN AND PORCH STRUCTURE OR PIER BELOW.
- PROVIDE APPROVED POST CAPS FOR ALL PORCH AND DECK COLUMNS TO PREVENT WIND LIFT.

### (FL) FLASHING

- PROVIDE GALV. METAL FLASHING AT ALL MEETING LINES WHERE ROOFING MEETS
- WALLS, DORMERS, FLUES, OR OTHER ROOFS.
- PROVIDE PROPER FLASHING AND DRAIN EDGE AROUND ALL OTHER OPENINGS.
- SEE ROOFING NOTES ON LAST PAGE FOR VALLEYS.

### (ML) MASONRY LINTEL SIZES

- OPENINGS UP TO 4'-0" WIDE: 3-1/2"x3-1/2"x1/4" STEEL ANGLE
- OPENINGS 4'-1" TO 7'-0" WIDE: 5-1/2"x5-1/2" STEEL ANGLE
- OPENINGS 7'-1" TO 11'-0" WIDE: 6-1/2"x3/8" STEEL ANGLE
- OPENINGS 11'-1" TO 16'-0" WIDE: 6-1/4"x1/2" STEEL ANGLE

jeff hampton  
architect

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Farmington, Missouri 63640  
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Proposed Single Family Residence for:

Lay & Donya Taylor  
724 Mansfield  
Olivette, Missouri 63132

General Contractor:

COMPASS  
DESIGN | BUILD | L.L.C.

Compass Design Build

2464 Taylor Road, #319

Woodlind Missouri

(636) 236-2536

Date Remarks

05/09/16 - Submit for HOA Review

06/07/16 - Revised Per Preliminary Zoning Review

06/21/16 - Submit for Olivette Design Review

## BUILDING CODE REQUIREMENTS

DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES AND ORDINANCES

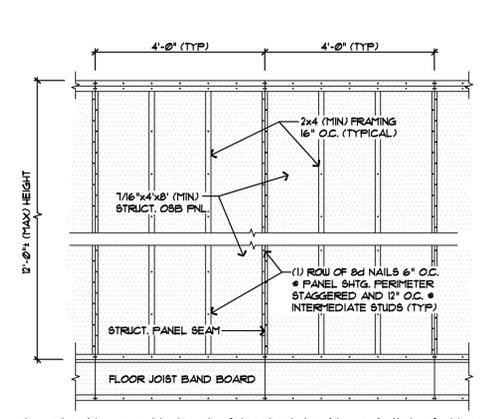
2006 INTERNATIONAL RESIDENTIAL CODE  
2006 INTERNATIONAL BUILDING CODE  
2006 NATIONAL ELECTRICAL CODE  
2006 UNIFORM PLUMBING CODE  
2006 INTERNATIONAL FIRE CODE

## SIMPLIFIED BRACING METHOD

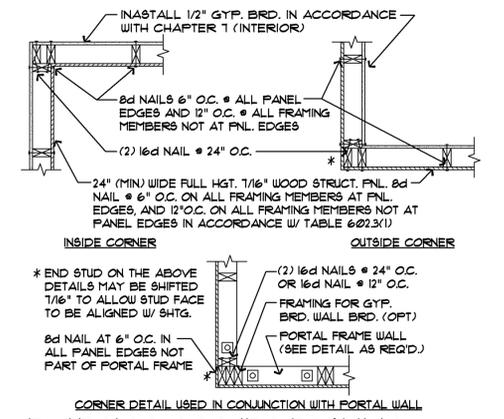
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Proposed Single Family Residence for:

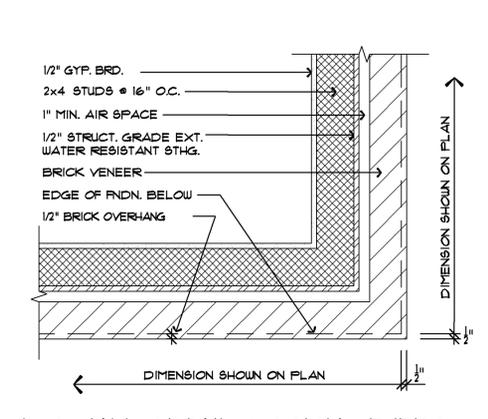
Lay & Donya Taylor  
724 Mansfield  
Olivette, Missouri 63132



TYPICAL CONT. EXT. STRUCTURAL PANEL SHTG.  
SIMPLIFIED BRACING METHOD SCALE: 1/2" = 1'-0"



EXTERIOR CORNER FRAMING  
SIMPLIFIED BRACING METHOD SCALE: 3/4" = 1'-0"



TYP. WALL DETAIL @ BRICK VENEER  
SCALE: 1 1/2" = 1'-0"

SIMPLIFIED BRACING PANEL WIDTHS

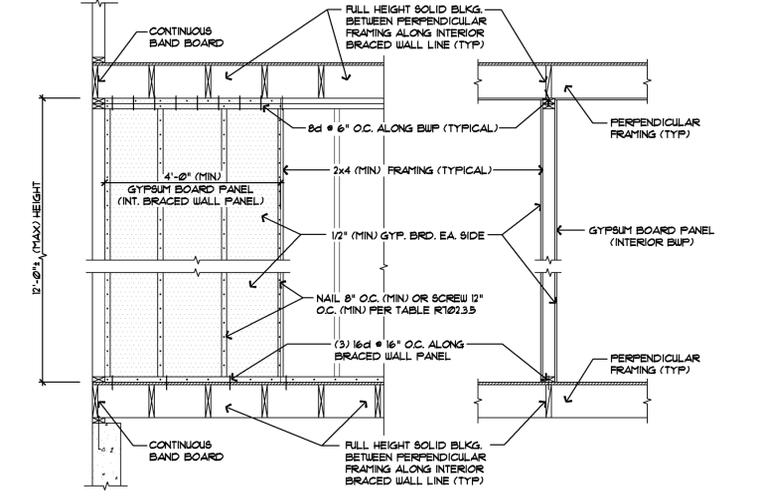
BWP #	PLYWOOD/OSB PANEL	BRACING METHOD	WIDTH OF SOLID PANEL (L.S.)			
			8'-WALL HEIGHT	9'-WALL HEIGHT	10'-WALL HEIGHT	12'-WALL HEIGHT
1	3 : 1	32"	36"	40"	48"	
2	6 : 1	16"	18"	20"	24"	

- (A) - LINEAR INTERPOLATION IS PERMITTED
  - (B) - WALL HEIGHT IS THE VERTICAL DISTANCE FROM THE BOTTOM OF THE SOLE/SILL PLATE TO THE TOP OF THE DOUBLE TOP PLATE. AN ADDITIONAL 2-INCH VARIATION IN HEIGHT IS ALLOWED FOR PRE-CUT STUD FRAMING.
  - (C) - A PORTAL WALL, IF APPLICABLE, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE DETAIL.
  - (D) - A PORTAL WALL WIDTH ASSUMES THE BEAM IS PLACED UNDER THE TOP PLATE OF THE WALL. A SMALLER WIDTH MAY BE CALCULATED FOR A LOWER TOP OF BEAM HEIGHT USING THE 6 : 1 HEIGHT TO WIDTH RATIO
- \* BRACED WALL PANEL  
\*\* NARROW WALL PANEL  
\*\*\* ALTERNATE BRACED WALL PANEL (AWP) - BRACED WALLS OVER 12'-0"

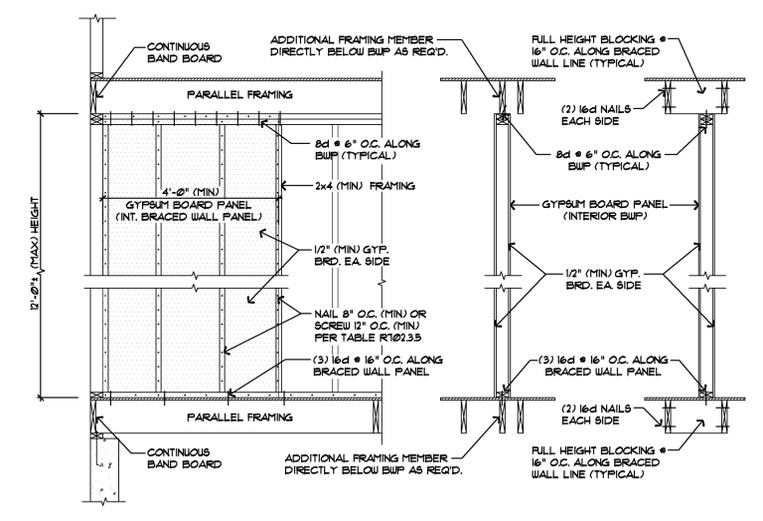
INTERIOR BWP MINIMUM LENGTH REQUIREMENTS

BRACING METHOD	WIDTH OF SOLID PANEL		
	8' TO 10'-WALL HEIGHTS	11'-WALL HEIGHT	12'-WALL HEIGHT
GBWP <sup>1</sup>	4'-0"	4'-5"	4'-10"

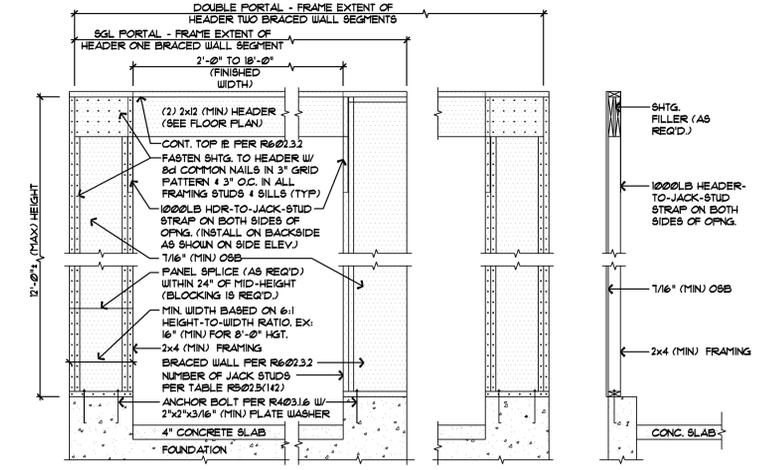
<sup>1</sup> GYPSUM BOARD PANEL  
<sup>2</sup> NAIL OR SCREW PER TABLE 702.3.5



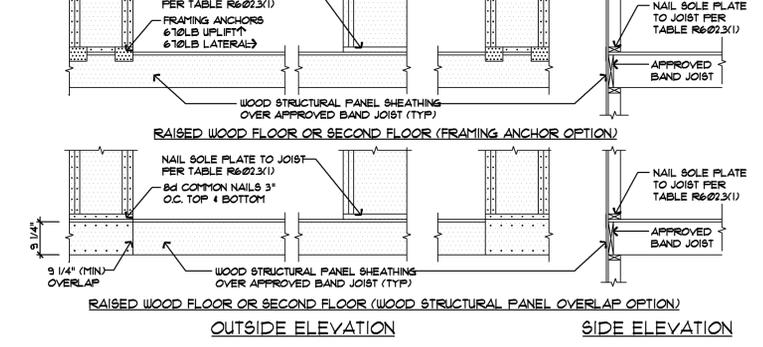
BWP CONN. WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING  
SCALE: 1/2" = 1'-0"



BWP CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING  
SCALE: 1/2" = 1'-0"

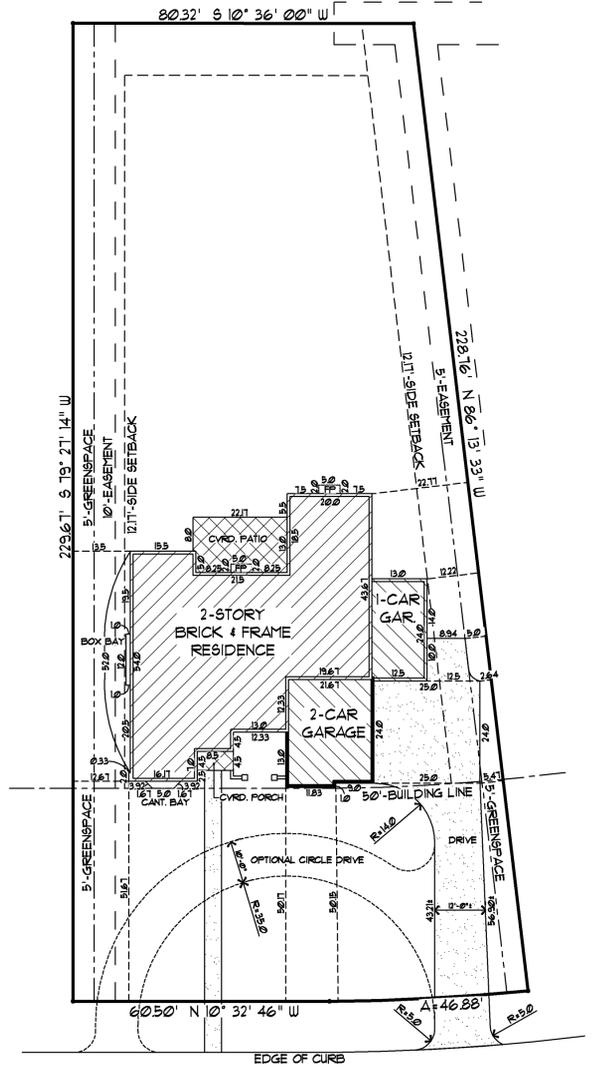


SIMPLIFIED PORTAL WALL  
SCALE: 1/2" = 1'-0"



CRIPPLE WALL FRAMING CONSISTING OF STUD FRAMING, SINGLE BOTTOM PLATE, AND DOUBLE TOP PLATE MAY BE ADDED TO THE TOP OF THE NARROW PORTAL WALL AS LONG AS THE COMBINED HEIGHT OF THE TWO WALLS IS LESS THAN OR EQUAL TO 12 FEET AND THE TWO WALLS ARE STRAPPED TOGETHER ON THE INTERIOR SIDE WITH A 16-GA. METAL 1-1/2" WIDE x 21" LONG STRAP. 10-INCH (MIN) OF THE STRAP SHALL BE CONNECTED TO EACH WALL OR GABLE TRUSS WITH 9-16d NAILS FOR A TOTAL OF 18-16d NAILS IN THE ENTIRE STRAP. STRAPS SHALL BE LOCATED AT EACH END OF THE CONNECTED WALLS OR WALL AND GABLE TRUSS WHERE SPACE ALLOWS FOR THE 10-INCH LENGTH OF STRAP. THE SPACING BETWEEN THE STRAPS MAY NOT EXCEED 4 FEET ON CENTER. THE STRAPS SHALL NOT BE BENT HORIZONTALLY TO ACCOMMODATE WOOD FRAMING. IF APPLICABLE, NAILERS SHALL BE ADDED TO ONE OF THE WALLS OR GABLE END USING A MINIMUM OF 9-16d NAILS TO CREATE THE VERTICAL PLANE NEEDED TO MOUNT THE STRAP.

SIMPLIFIED PORTAL WALL  
SCALE: 1/2" = 1'-0"



PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"

General Contractor:

COMPASS  
DESIGN | BUILD L.L.C.

Compass Design Build  
2464 Taylor Road, #319  
Wildwood Missouri  
(636) 236-2536

Date	Remarks
05/09/16	Submit for HOA Review
06/07/16	Revised Per Preliminary Zoning Review
06/21/16	Submit for Olivette Design Review

A102

Sheet 3 Of 9

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Olivette, Missouri 63132  
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PROPOSED SITE PLAN

THIS SITE PLAN PROVIDED FOR INFORMATIONAL PURPOSES ONLY. PLAN BASED ON OWNER PROVIDED INFO. & PLOT PLAN. DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS SITE PLAN.

SCALE: 1" = 20'-0"



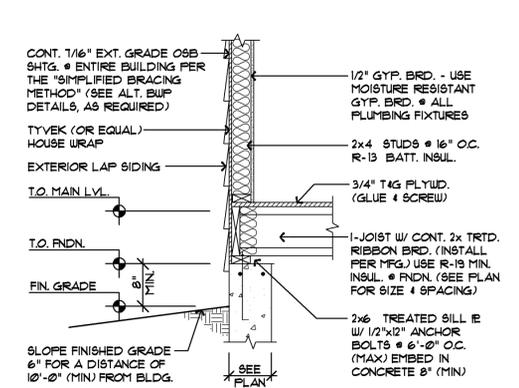
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Proposed Single Family Residence for:  
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724 Mansfield  
Olivette, Missouri 63132

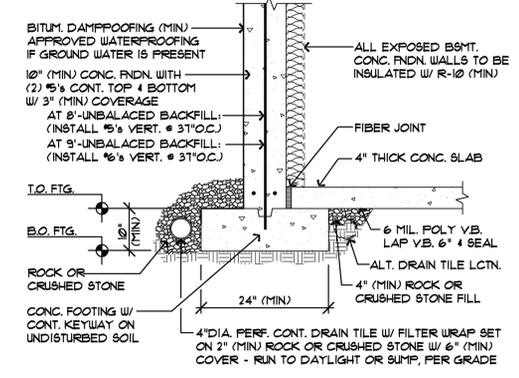
General Contractor:  
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DESIGN | BUILD L.L.C.  
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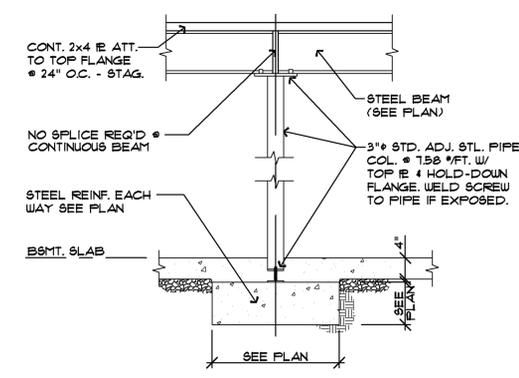
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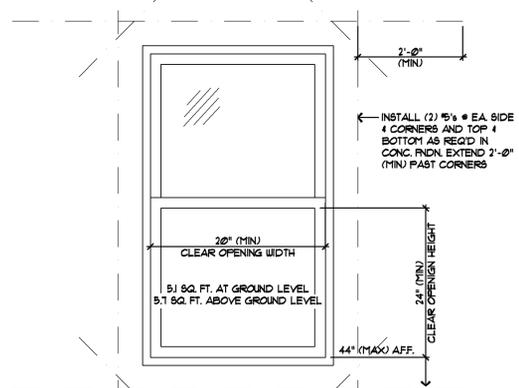
**TYPICAL @ MAIN LEVEL FLOOR**  
LAP SIDING SCALE: 3/4" = 1'-0"  
\*THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SEC. R602.10 OF THE 2006 EDITION OF THE IRC



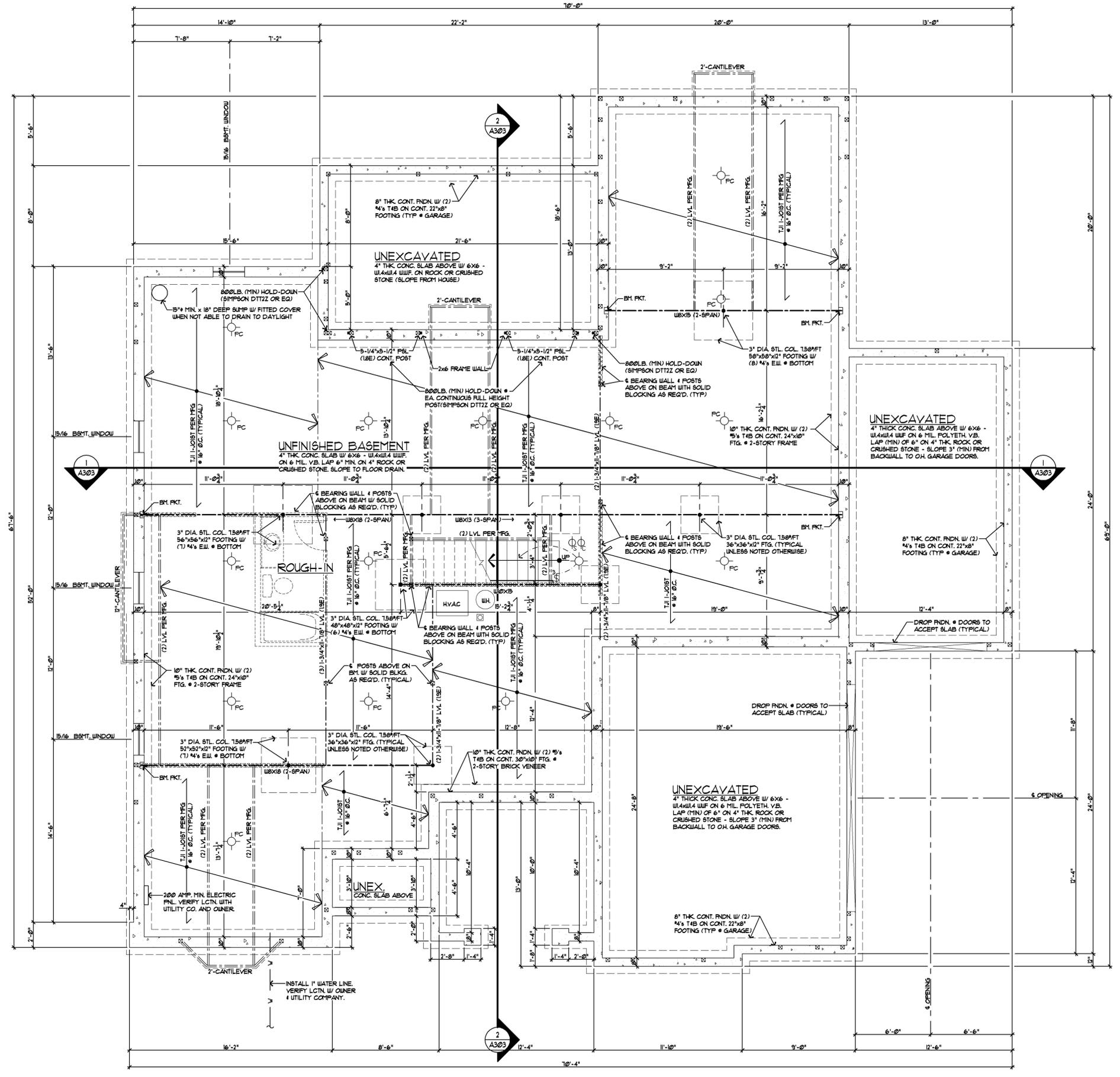
**TYP. @ LOWER LEVEL 9'-FOUNDATION**  
SCALE: 3/4" = 1'-0"



**TYPICAL COLUMN FOOTING**  
SCALE: 3/4" = 1'-0"



**TYP. EMERGENCY EGRESS WINDOW**  
SCALE: 3/4" = 1'-0"



## FOUNDATION PLAN

VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.



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Proposed Single Family Residence for:

Lay & Donya Taylor  
724 Mansfield  
Olivette, Missouri 63132

General Contractor:

**COMPASS**  
DESIGN | BUILD L.L.C.

Compass Design Build  
2464 Taylor Road, #319  
Wildwood Missouri  
(636) 236-2536

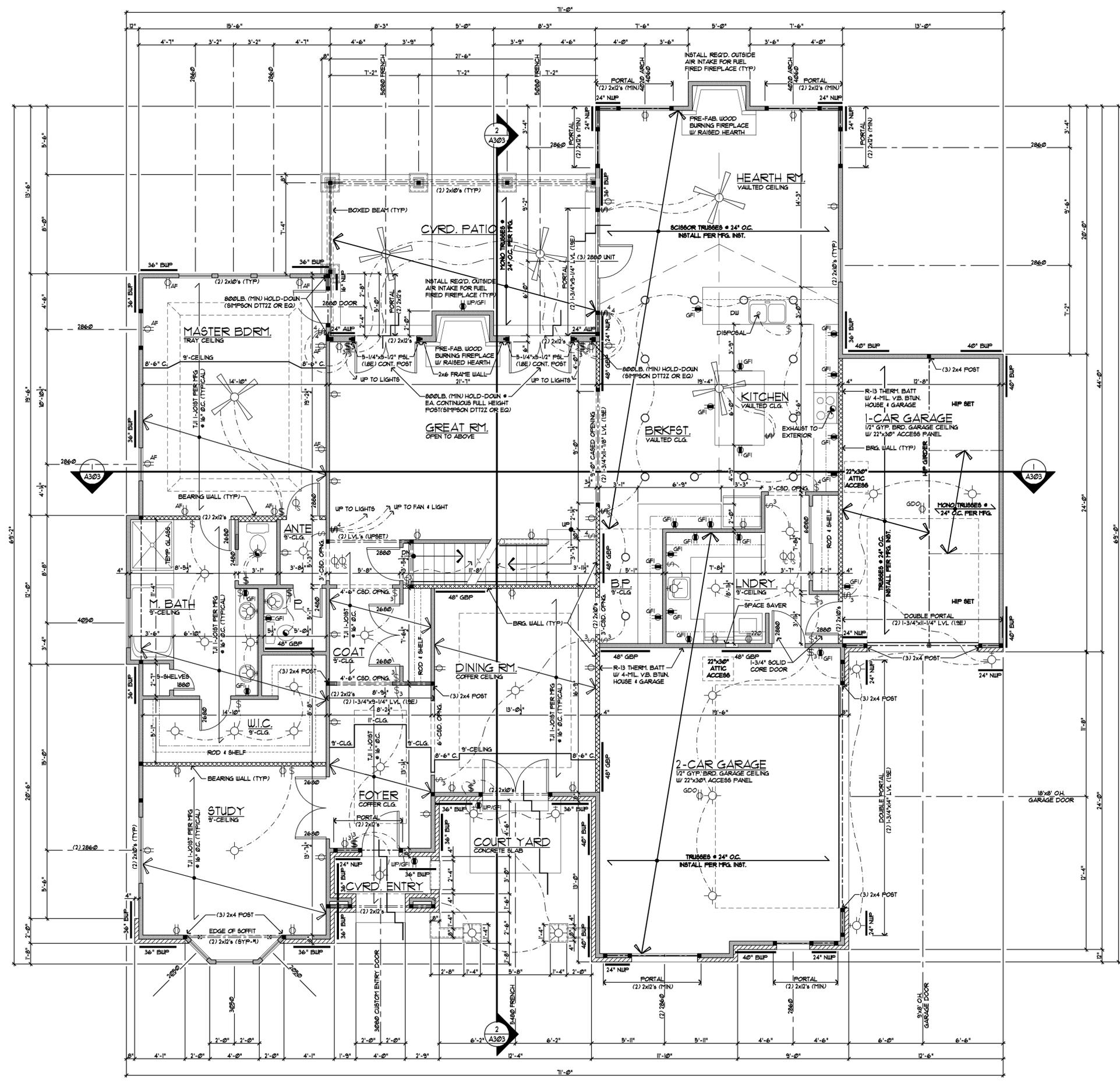
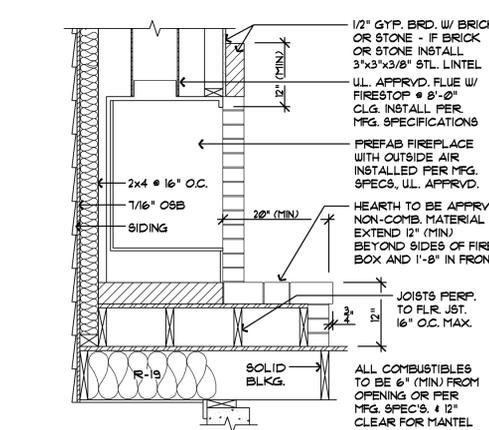
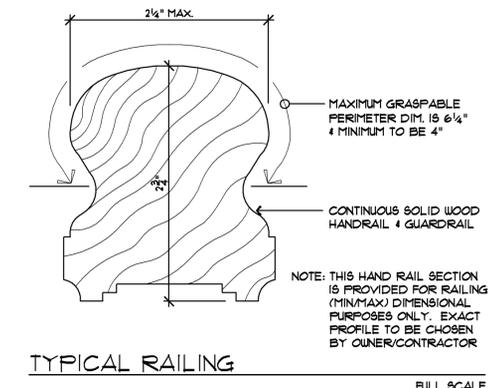
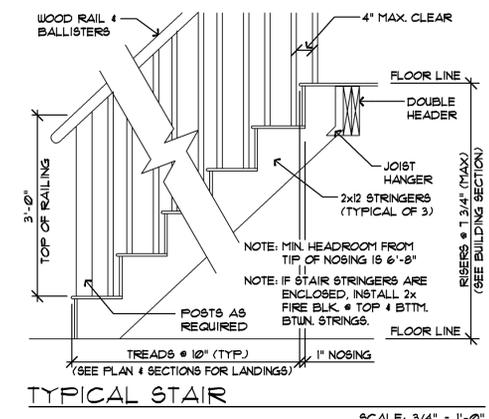
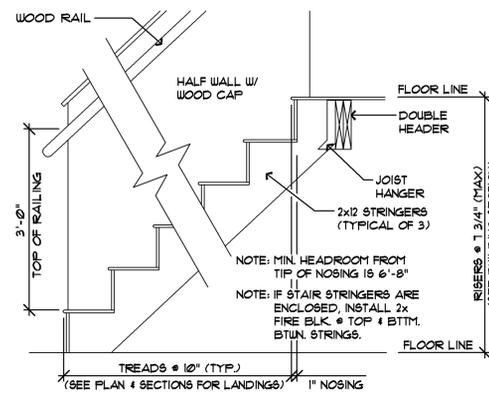
Date	Remarks
05/09/16	- Submit for HOA Review
08/07/16	- Revised Per Preliminary Zoning Review
08/21/16	- Submit for Olivette Design Review

**A202**

Sheet 5 of 9

724 Mansfield  
Olivette, Missouri 63132

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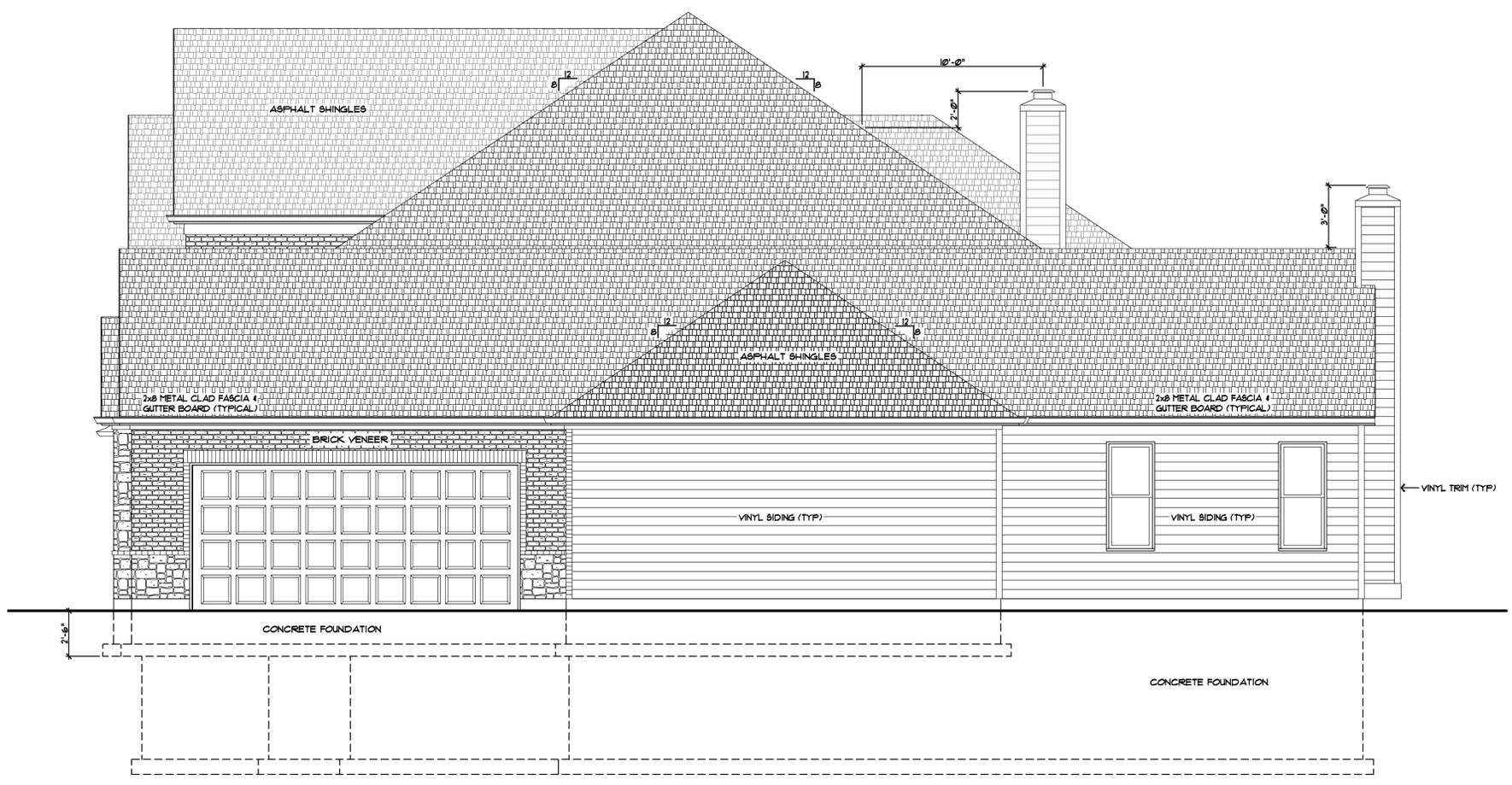






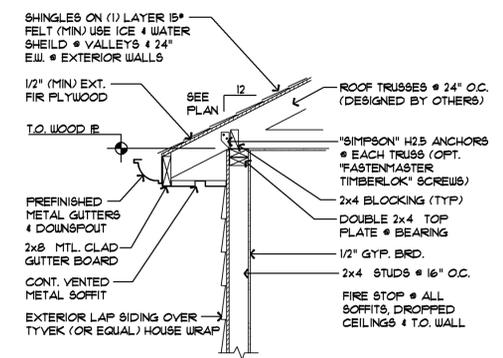
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Proposed Single Family Residence for:  
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724 Mansfield  
Olivette, Missouri 63132

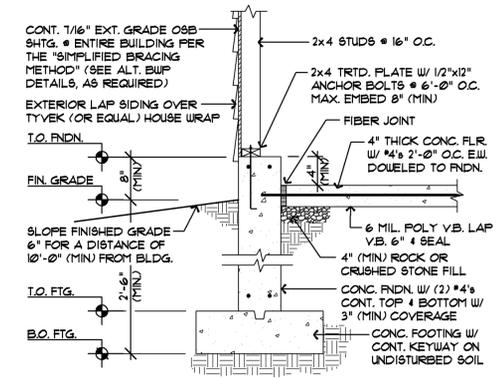


**RIGHT ELEVATION**  
VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

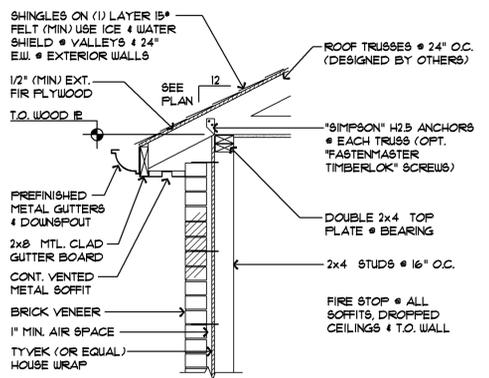
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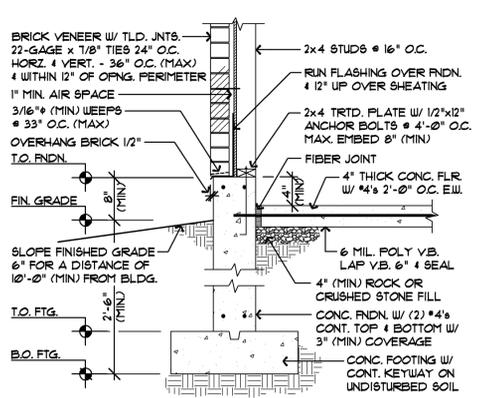
**TYP. TRUSS BEARING @ GARAGE**  
LAP SIDING (VERIFY TYPE & PROFILE W/ OWNER) SCALE: 3/4" = 1'-0"



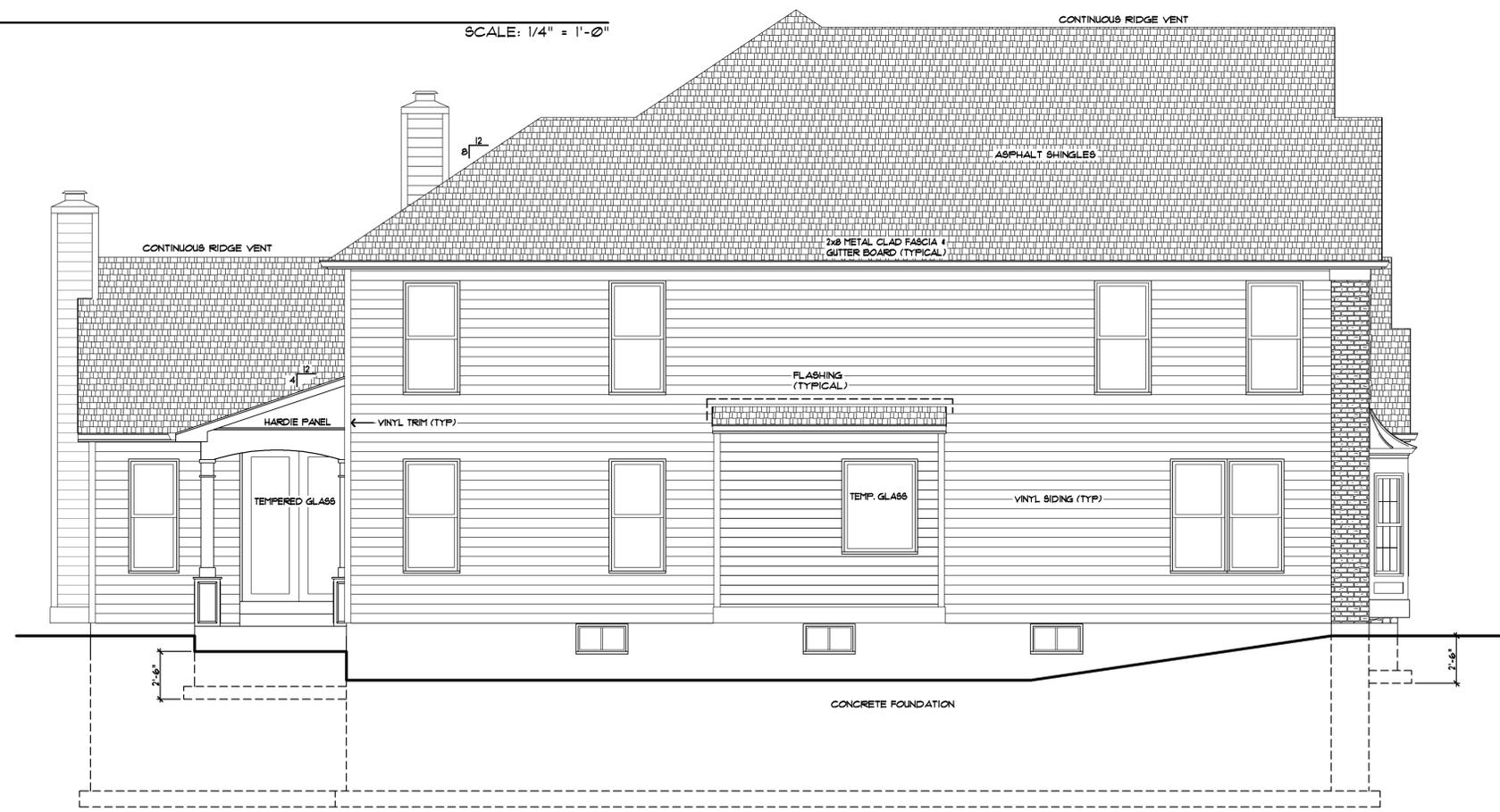
**TYPICAL @ GARAGE FOUNDATION**  
LAP SIDING SCALE: 3/4" = 1'-0"  
\*THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SEC. 602.0.6 OF THE 2006 EDITION OF THE IRC



**TYPICAL TRUSS BEARING @ GARAGE**  
BRICK VENEER SCALE: 3/4" = 1'-0"



**TYPICAL @ GARAGE FOUNDATION**  
BRICK VENEER SCALE: 3/4" = 1'-0"  
\*THE INTERIOR AND EXTERIOR WALL CONFIGURATION BRACES THE STRUCTURE IN ACCORDANCE WITH OR EQUIVALENT TO THE LATERAL BRACING PROVISIONS OF SEC. 602.0.6 OF THE 2006 EDITION OF THE IRC



**LEFT ELEVATION**  
VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD

SCALE: 1/4" = 1'-0"

General Contractor:  
**COMPASS**  
DESIGN | BUILD L.L.C.  
Compass Design Build  
2464 Taylor Road, #319  
Wildwood Missouri  
(636) 236-2536

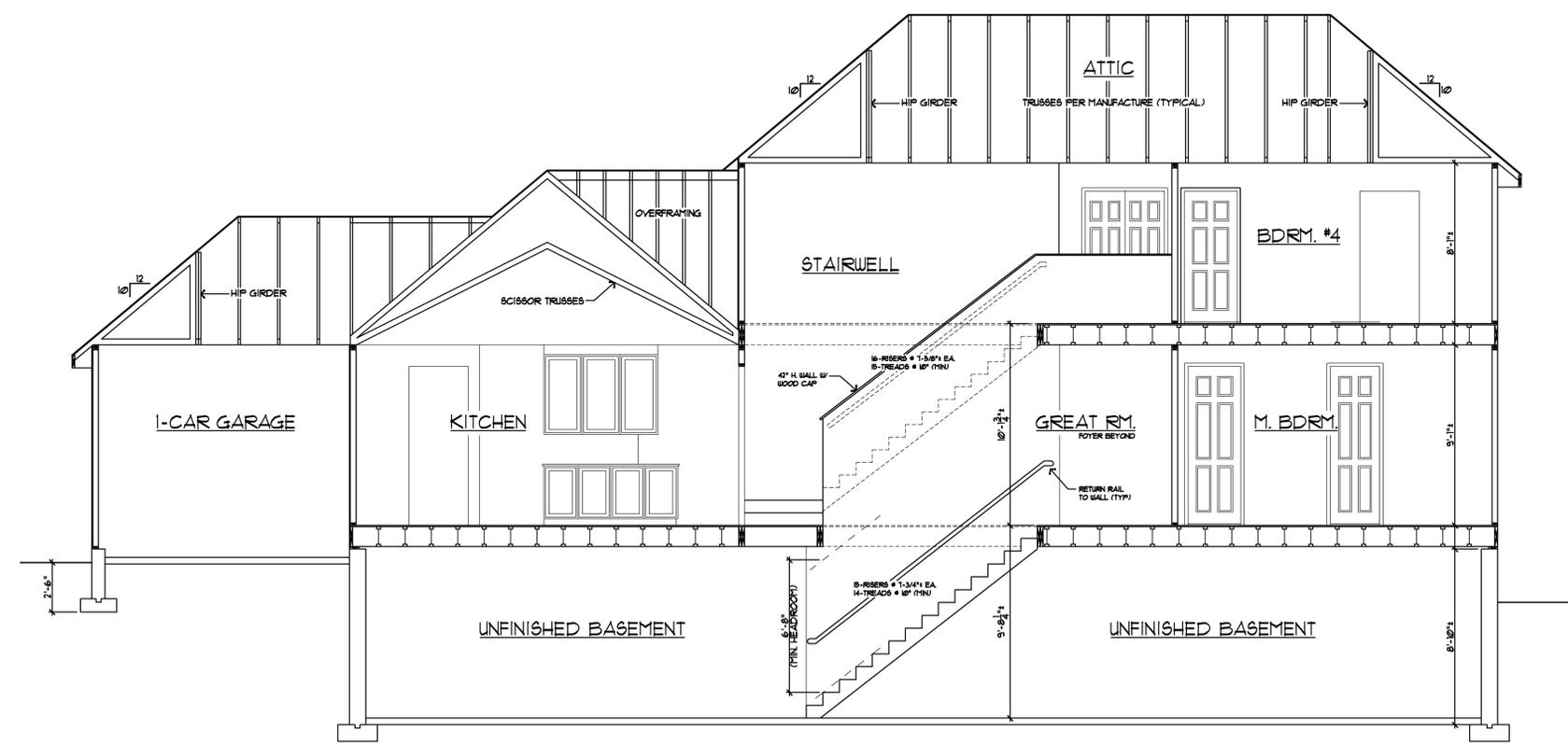
Date	Remarks
05/09/16	- Submit for HOA Review
06/07/16	- Revised Per Preliminary Zoning Review
06/21/16	- Submit for Olivette Design Review

**A302**



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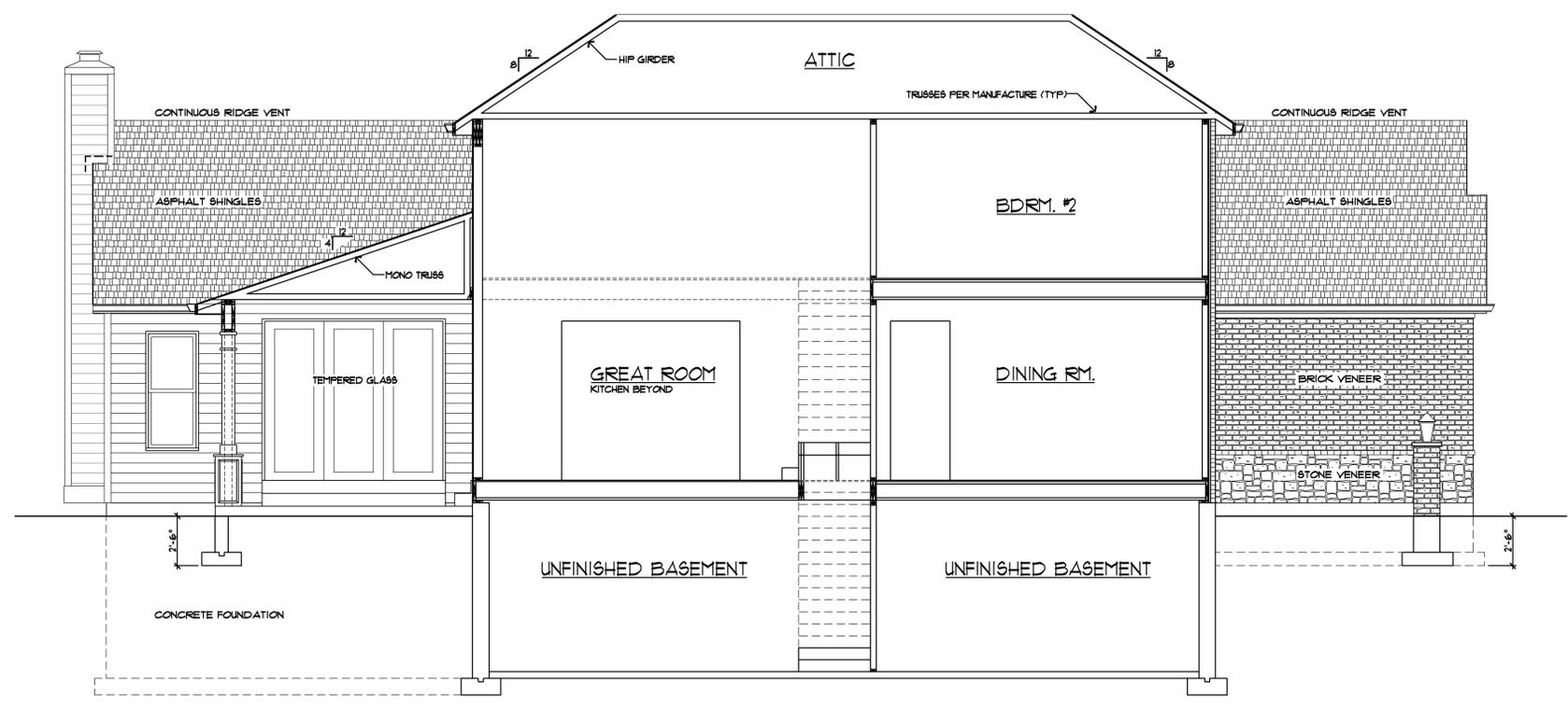
Proposed Single Family Residence for:  
**Lay & Donya Taylor**  
724 Mansfield  
Olivette, Missouri 63132



**1 SECTION**

VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

SCALE: 1/4" = 1'-0"



**2 SECTION**

VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

SCALE: 1/4" = 1'-0"

General Contractor:



Compass Design Build  
2464 Taylor Road, #319  
Wildwood Missouri  
(636) 236-2536

Date	Remarks
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08/07/16	- Revised Per Preliminary Zoning Review
08/21/16	- Submit for Olivette Design Review

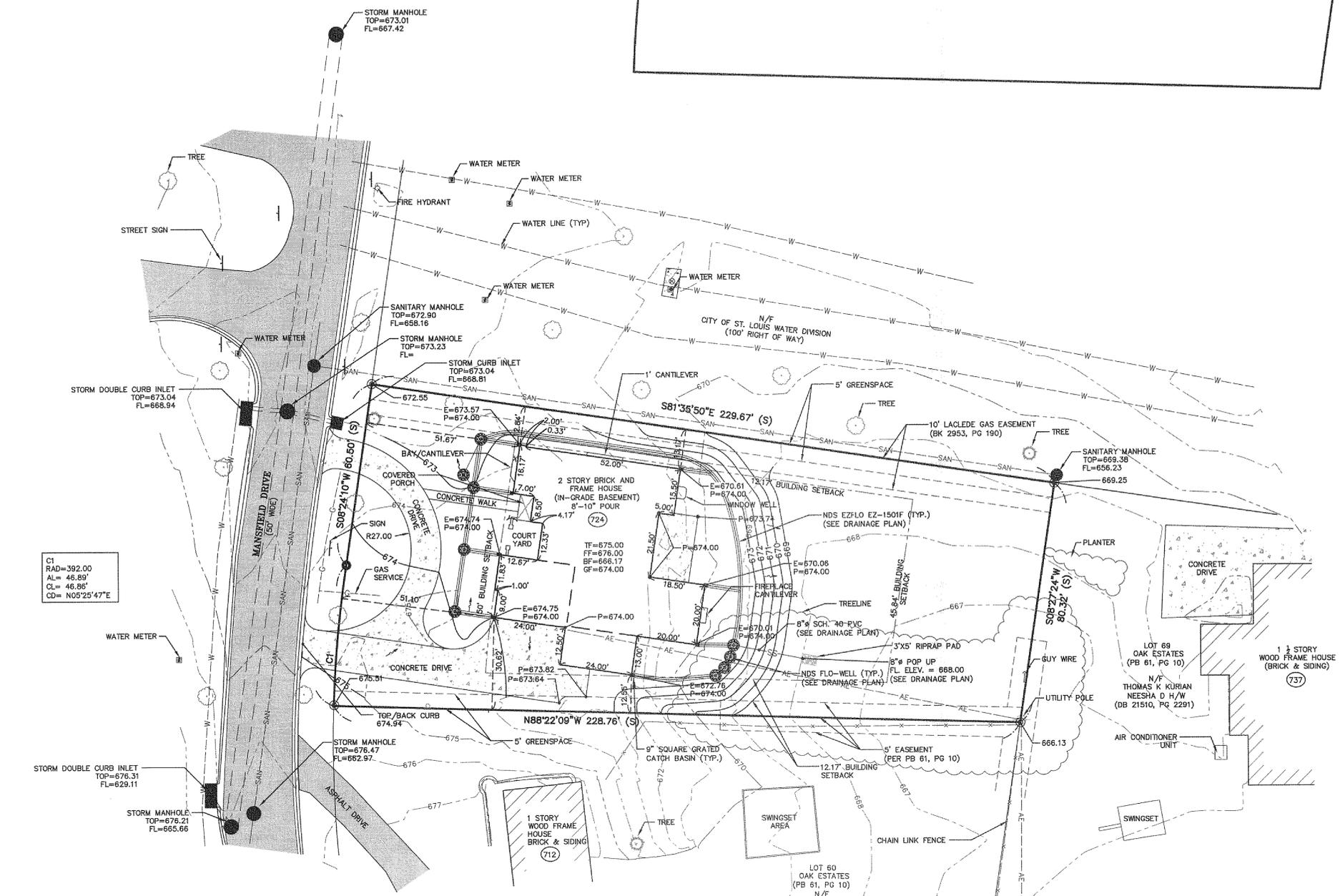
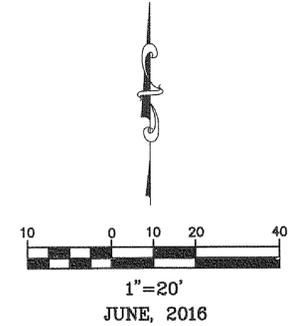
**A303**





# SITE PLAN

LOT 59, BLOCK 9 OF OAK ESTATES (PB 61, PG 10)  
 A SUBDIVISION SITUATED IN SECTION 6,  
 TOWNSHIP 45 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN,  
 CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI



C1  
 RAD=392.00  
 AL= 46.89'  
 CL= 46.86'  
 CD= N05°25'47"E

LOT DATA AND ZONING REGULATIONS	
LOT AREA:	21,538 SF
PERMITTED SITE COVERAGE:	5,000 SF
PERMITTED RESIDENTIAL FLOOR AREA:	6,000 SF
LOT WIDTH:	101.42 FT
LOT DEPTH:	228.21 FT
FRONT YARD SETBACK (PER SUBDIVISION PLAT)	50 FT
SIDE YARD SETBACK (AS PER 12% OF LOT WIDTH):	12.17 FT
REAR YARD SETBACK (AS PER 20% OF THE LOT DEPTH)	45.84 FT

EXISTING IMPROVEMENTS	
BUILDING FOOTPRINT	3,093 SF
DRIVEWAY/TURNAROUND/SIDEWALKS	1,812 SF
OTHER HARD SURFACE AREAS (DECKS/POOLS/ETC.)	438 SF
TOTAL EXISTING IMPERVIOUS AREAS	5,343 SF

PROPOSED IMPROVEMENTS	
BUILDING FOOTPRINT	3,849 SF
DRIVEWAY/TURNAROUND/SIDEWALKS	1,537 SF
OTHER HARD SURFACE AREAS (DECKS/POOLS/ETC.)	0 SF
TOTAL PROPOSED IMPERVIOUS AREAS	5,386 SF

LEGEND	
PROPERTY LINE	---
ADJOINER PROPERTY LINE	---
EASEMENT	---
SETBACK	---
WATERLINE	W
GASLINE	G
SANITARY LINE	SAN
OVERHEAD UTILITIES	AE
FENCE	---
TREELINE	---
WATER VALVE	⊗
WATER METER	⊙
SANITARY MANHOLE	⊙
CURB INLET	⊙
FOUND IRON MONUMENT	⊙
EVERGREEN TREE	⊙
HARDWOOD TREE	⊙
BUILDING	▨
CONCRETE	▨
ASPHALT	▨
UTILITY POLE	⊙
GUY WIRE	---
ADDRESS SIGN	⊙
FIRE HYDRANT	⊙

636-332-4574 (cell)  
 636-332-0700 (fax)  
 636-332-0700 (voice)  
 www.dba-cochran.com

**COCHRAN**

North Office  
 8 East Main Street  
 Warrenton, Missouri 63385

Civil Engineering  
 Surveying  
 Architecture  
 Site Development  
 General Consulting  
 Master Planning

SITE PLANS FOR  
 724 MANSFIELD DRIVE  
 OLIVETTE, MISSOURI

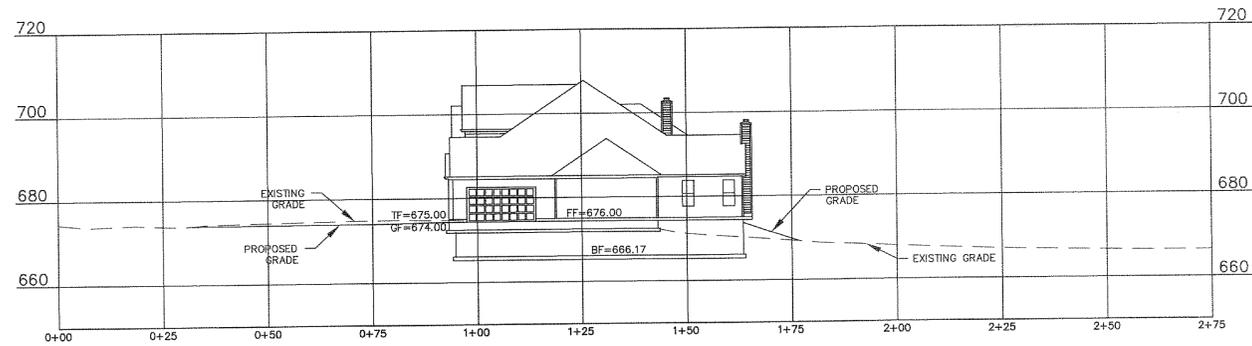


M. ENGINEERING, LLC  
 (D.B.A. COCHRAN)  
 LS-2005011846 D

JAMES R. PARK, JR., PLS  
 MISSOURI LS 2000147868  
 FOR COCHRAN

DATE	BY	REVISION
7-27-16	LKD	REVISED PER CITY COMMENTS
7-28-16	JRP	REVISED PER CITY COMMENTS

DATE: JUNE 23, 2016  
 SCALE: 1"=20"  
 PROJECT NO: M16-7258  
 SHEET NO: 3 of 5



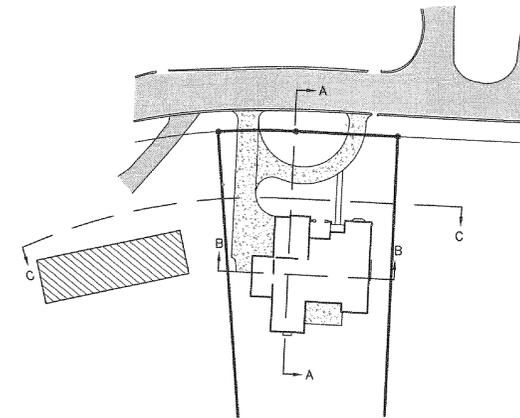
SECTION VIEW A-A



SECTION VIEW B-B



SECTION VIEW C-C



PLAN VIEW OF SECTIONS  
SCALE: 1"=30'

NOTE:  
ANY FOUNDATION THAT IS ABOVE FINISH GRADE SHALL BE COVERED IN MATERIAL MATCHING THE APPROVED MATERIAL ON THE REMAINDER OF RESIDENCE.

SCALE:  
1"=20' HORIZONTAL  
1"=20' VERTICAL

M. ENGINEERING, LLC  
(D.B.A. COCHRAN)  
LS-2005011846 D



*[Signature]* 7/28/16  
DATE  
JAMES R. PARK, JR., PLS  
MISSOURI LS 2000147868  
FOR COCHRAN

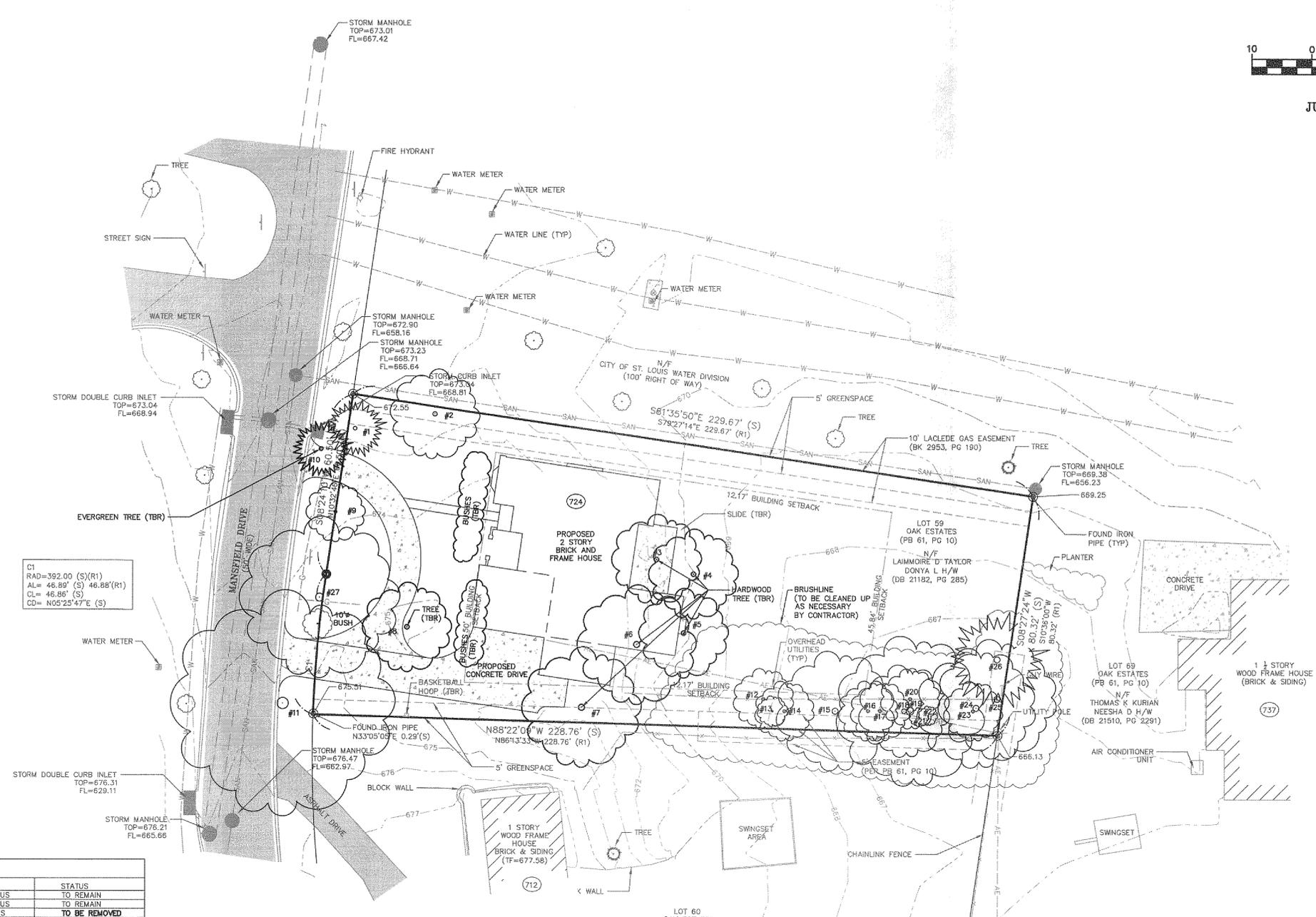
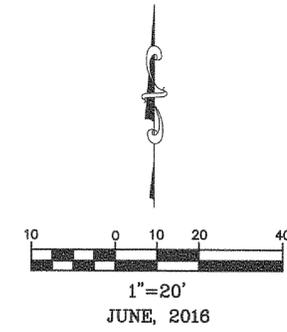


SITE PLANS FOR  
724 MANSFIELD DRIVE  
OLIVETTE, MISSOURI

DATE	REVISION	BY	APP'D BY
7-28-16	REVISED PER CITY COMMENTS.	LKD	JRP
JUNE 23, 2016		LKD	JRP
SCALE: 1"=20'			
PROJECT NO: M16-7258			
DRAWING NO: 4 of 5			

# TREE EXHIBIT

LOT 59, BLOCK 9 OF OAK ESTATES (PB 61, PG 10)  
 A SUBDIVISION SITUATED IN SECTION 6,  
 TOWNSHIP 45 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN,  
 CITY OF OLIVETTE, ST. LOUIS COUNTY, MISSOURI



C1  
 RAD=392.00 (S)(R1)  
 AL= 46.89' (S) 46.88'(R1)  
 CL= 46.86' (S)  
 CD= N05°25'47" E (S)

#	TRUNK SIZE	DRIP LINE RAD.	TYPE	STATUS
1	8"	10'	CONIFEROUS	TO REMAIN
2	12"	15'	CONIFEROUS	TO REMAIN
3	30"	15'	DECIDUOUS	TO BE REMOVED
4	12"	15'	DECIDUOUS	TO BE REMOVED
5	8"	15'	DECIDUOUS	TO BE REMOVED
6	24"	20'	DECIDUOUS	TO BE REMOVED
7	12"	20'	DECIDUOUS	TO BE REMOVED
8	24"	15'	DECIDUOUS	TO BE REMOVED
9	10"	10'	DECIDUOUS	TO REMAIN
10	8"	10'	CONIFEROUS	TO BE REMOVED
11	36"	35'	HARDWOOD	TO REMAIN
12	12"	10'	HARDWOOD	TO REMAIN
13	6"	5'	HARDWOOD	TO REMAIN
14	20"	10'	HARDWOOD	TO REMAIN
15	18"	20'	HARDWOOD	TO REMAIN
16	8"	10'	HARDWOOD	TO REMAIN
17	8"	10'	HARDWOOD	TO REMAIN
18	8"	15'	HARDWOOD	TO REMAIN
19	24"	25'	HARDWOOD	TO REMAIN
20	6"	10'	HARDWOOD	TO REMAIN
21	6"	3'	HARDWOOD	TO REMAIN
22	6"	3'	HARDWOOD	TO REMAIN
23	10"	10'	HARDWOOD	TO REMAIN
24	22"	20'	HARDWOOD	TO REMAIN
25	22"	20'	HARDWOOD	TO REMAIN
26	18"	15'	EVERGREEN	TO REMAIN
27	24"	25'	HARDWOOD	TO REMAIN

NOTE:  
 TREE NUMBERS 1, 2, AND 9, AND ALL THE TREES WITHIN THE TREELINE ALONG THE SOUTH PROPERTY LINE ARE NOT TO BE DISTURBED DURING DEMOLITION OF THE EXISTING RESIDENCE AND CONSTRUCTION OF THE PROPOSED RESIDENCE. APPROPRIATE TREE PROTECTION OF THE TREES SHOWN HEREON, TREE NUMBERS 3-8 AND 10 WILL BE REMOVED TO MAKE ROOM FOR CONSTRUCTION OF THE PROPOSED RESIDENCE.

M. ENGINEERING, LLC  
 (D.B.A. COCHRAN)  
 LS-2005011846 D

JAMES R. PARK JR., PLS  
 MISSOURI LS 2000147868  
 FOR COCHRAN



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- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

SITE PLANS FOR  
 724 MANSFIELD DRIVE  
 OLIVETTE, MISSOURI

DATE	BY	REVISION	APP'D BY
7-2-16	LKD	REVISION PER CITY COMMENTS.	JRP
7-28-16	LKD	REVISION PER CITY COMMENTS.	JRP

DATE: JUNE 23, 2016  
 SCALE: 1"=20'  
 BOOK NO: M16-7258  
 SHEET NO: 5 of 5





City of Olivette Public Services  
Department of Planning and Community Development  
1200 North Price Road  
Olivette, MO 63132

(314) 993-0252 (Office)  
(314) 994-9862 (Fax)

**DEPARTMENT MEMORANDUM**

**DATE:** JUNE 16, 2016  
**TO:** PLANNING AND COMMUNITY DESIGN COMMISSION  
**FROM:** CARLOS TREJO, AICP  
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT  
**RE:** 724 MANSFIELD DRIVE  
PETITION FOR COMMUNITY DESIGN REVIEW & CONCEPT STORMWATER MANANGEMENT  
PLAN REVIEW

**PETITIONER/ARCHITECT:** Pete Utrecht  
Compass Design Build  
**ENGINEER:** Cochran Engineering  
**PROPERTY OWNER:** Donya & Laimmoire Taylor

**SUMMARY OF PETITION:**

**Item introduced: August 4, 2016 Commission has sixty (60) days to act. No later than October 3, 2016**

1. Petition for a two level home with 2-car side-entry garage and 1-car recessed front entry garage.
2. Zoning: The proposed plans do not comply with the Minimum Standards For Off-Street Parking Areas of Article XIV Off-Street Parking and Loading.
3. Variance request to authorize the off-street parking pad to encroach 2.5 feet into the required 5-foot setback for off-street parking areas. Variances to Minimum Standards for Off-Street Parking Areas are authorized under Article XIV Off-Street Parking and Loading.
4. Petitioner provided verification of Subdivision Trustee notification. Petitioner provided survey illustrating encroachment with adjacent neighbor approval.
5. Community Design Review: Foundation exposure exceeds 12-inches on the architectural drawings. Condition of approval notes any exposed portions of the foundation wall greater than 12-inches shall have an exterior finish cover. Staff finds the proposed home conforms to the guidelines.
6. Concept Stormwater Management Review: Plans provide Stormwater drainage for the roof as well as surface grate inlets for additional runoff generated on the off-street parking area. The system overflows at least 39-feet from an adjacent property line.

**ATTACHMENTS:**

- Staff Report
- Staff Review Letter (June 29, 2016)
- Subdivision Trustee Email
- Neighbor Approval
- Project Report
- Petition Application

**SUGGESTED MOTIONS:** The Commission should consider the following motions in the affirmative as follows:

Motion to authorize a variance to allow the off-street parking pad to be placed no less than 2.6 feet from the south side property line.

Motion to approve the Petition for Community Design Review and Concept Stormwater Management Plan Review for a New Single Family Home at 724 Mansfield Drive, as presented in the Memorandum from the Department of Planning and Community Development dated August 4, 2016, subject to any staff conditions noted therein.

## STAFF REPORT 724 MANSFIELD DRIVE

### **Pre-Consultation**

Prior to submitting for review, the Petitioner consulted with staff regarding the design, footprint, and encroachment of the home. The original developed plans illustrated a three-car side entry garage. It was noted to staff the 25-foot off-street turnaround pad would sit less than 5-feet from the south side property line.

Staff offered a design alternative which features a two-car side entry and one-car recessed front entry garage. This design typically reduces the minimum dimensions of the off-street turnaround pad compared to the space requirements of a three-car side entry. Staff noted the recently approved and constructed home across the street which features a two-car side entry garage and two-car front entry garage.

### **Zoning**

The plans received on June 23, 2016, illustrate a two-car side entry garage and a recessed one-car front entry garage. The proposed site plan fails to conform to Article XIV Off Street Parking and Loading of Chapter 400 Zoning Regulations, specifically Section 400.1410 Minimum Standards for Off-Street Parking Areas. The proposed site plan notes the turnaround pad to be 2.6-feet from the side property line to the south, which has been found non-compliant with the following Section 400.1410.A.2.b.1

*(b.iv) All paved driveway and turnaround areas shall be located at least five (5) feet from any adjacent property line.*

### **Variance Procedure**

Section 400.1410.A.2.e

*Variance. When a property owner or other person, firm or association or corporation can show that the strict application of the minimum standards will impose practical difficulties or particular hardships, such owner or other person, firm, association or corporation may apply for a variance and the Commission may consider and allow such variations to the strict application of the terms hereof as are in harmony with the purpose and intent of this Article to provide minimum standards for the design and construction of off-street parking areas so as to create conditions of safety for both pedestrian and vehicular traffic thereon when the Commission is satisfied and makes a finding, under the evidence presented to it, that the granting of a variance will alleviate some demonstrable hardship or difficulty so great as to warrant said variance and that the off-street parking area will meet all reasonable and necessary conditions for the safety of persons using same. Any applicant may appeal the denial of a variance to the City Council and the City Council shall have the right to grant a variance under the standards hereinabove provided.*

### **Purpose and Intent**

The variance procedures states the intent of the standard is *“to provide minimum standards for the design and construction of off-street parking areas so as to create Conditions of Safety for both pedestrian and vehicular traffic...”*

The turnaround pad and driveway both meet the minimum width distances. The home of the adjacent neighbor sits 23-feet from the side property line. The distance between the turnaround pad and the adjacent home is 25-feet. The elevation of the home is 3-feet higher than the elevation of the turnaround pad.

### **Neighborhood Characteristics**

The Oak Estates Subdivision contains a mixture of garage styles and off-street parking areas. The garage styles may include two-car front entry, two-car side entry, two-car front entry and two-car side entry, two-car side entry and one-car recessed, and three-car side entry.

### **Existing Conditions**

- Concrete walk encroaches into the neighboring property to the south
- Driveway is less than 2-feet from the south side property line
- Home footprint is less than 4-feet from the south side property line
- Entire encroachment area totals 250 square feet

**RECOMMENDED CONDITIONS FOR APPROVAL:**

Should the Commission consider approving the petition as submitted, staff recommends that at a minimum the Commission consider the following conditions as part of any action:

1. The top of foundation elevation be limited to no more than 675.00. As noted above, a revised site plan shall be submitted illustrating approved grading. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation, as necessary to control/limit stormwater runoff on the site and to adjacent properties.
2. Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of architectural plans provided by Compass Design Build, dated April 19, 2016, and site improvement plans provided by Cochran Engineering, with a revision date of July 28, 2016, subject to required modifications noted herein.
3. Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
4. Any exposed portions of the foundation wall along Mansfield Drive and the site elevation along the north and south in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

**SUGGESTED MOTION:** The Commission should consider the following motion in the affirmative as follows:

Motion to authorize a variance to allow the off-street parking pad to be placed no less than 2.6 feet from the south side property line.

Motion to approve the Petition for Community Design Review and Concept Stormwater Management Plan Review for a New Single Family Home at 724 Mansfield Drive, as presented in the Memorandum from the Department of Planning and Community Development dated August 4, 2016, subject to any staff conditions noted therein.

Only a simple majority of the Commission is necessary to approve the Petitions for Community Design Review and Concept Stormwater Management Plan Review.

BUILDING AREA AND COVERAGE						
PROPOSED BUILDING				SITE COVERAGE		
First Floor Habitable	2,594	sf.		Lot Area	21,538	sf.
Attached Garage	810	sf.				
<b>Total Building Footprint</b>	<b>3,404</b>	<b>sf.</b>		<b>Existing Site Coverage</b>		<b>Percent</b>
				Building Footprint	3,093	sf. 14.4%
Second Floor	1,238	sf.		All other areas	2,250	sf. 10.4%
<b>TOTAL</b>	<b>4,642</b>	<b>sf.</b>		<b>TOTAL EXISTING</b>	<b>5,343</b>	<b>sf. 24.8%</b>
<b>w/o garage</b>	<b>3,832</b>	<b>sf.</b>				
				<b>Proposed site coverage</b>		<b>Percent</b>
<b>Maximum Code Allowed</b>				Building Footprint	3,404	<b>15.8%</b>
Resd. FAR @ 0.30 or 3,500	6,461	sf.		All other areas	1,586	<b>7.4%</b>
Site Coverage @ 25% or 2,500 sf.	5,385	sf.		<b>TOTAL PROPOSED</b>	<b>4,990</b>	<b>23.2%</b>
	50	1		<b>Change</b>		<b>Numerical Percent</b>
				Building Footprint	311	sf. 20.1%
				All other areas	(664)	sf. -29.5%
				<b>TOTAL</b>	<b>(353)</b>	<b>sf. -6.6%</b>

BUILDING SETBACKS, existing and proposed						
		Code Rqd.	Building Setbacks		Distance from Neighbor	
			Existing	Proposed	Existing	Proposed
Front yard	Mansfield west)	50.0 ft.	50.0 ft.	50.0 ft.	not applic.	not applic.
Side yard	(Left- south)	12.2 ft.	4.0 ft.	12.6 ft.	26.0 ft	34.6 ft.
Side yard	Right- north)	12.2 ft.	15.8 ft.	13.2 ft.	not applic.	not applic.
Rear yard	(Rear- east)	35.6 ft.	112.0 ft.	110.0 ft.	not applic.	not applic.

FOUNDATION WALL EXPOSURE-per building corner						
Corner Grades		Existing	Proposed	T.O. F.	Wall Exposure	
SW	Mansfield left	674.8	674.0	675.0	1.0	
NW	Mansfield right	673.6	674.0	675.0	1.0	
SE	Rear- left	672.8	674.0	675.0	1.0	
NE	Rear- right	670.6	674.0	675.0	1.0	

RESIDENTIAL BUILDING HEIGHT-per building elevation							
Mansfield Dr - Building Elevation-West		Left	Right	Average Grades	T.O.F.	Bldg. Height	Overall Bldg. Height
	<b>Existing</b>	<b>674.8</b>	<b>673.6</b>	<b>674.2</b>	675.0	<b>32.2</b>	<b>33.0</b>
	Proposed	674.0	674.0	674.0	675.0	32.2	33.2
Left side building elevation-South							
	<b>Existing</b>	674.8	672.8	673.8	675.0	32.2	33.4
	Proposed	674.0	674.0	674.0	675.0	32.2	33.2
Right side building elevation-North							
	Existing	673.6	670.6	672.1	675.0	32.2	<b>35.1</b>
	Proposed	674.0	674.0	674.0	675.0	32.2	33.2
Rear Building Elevation-East							
	Existing	672.8	670.6	671.7	675.0	32.2	35.5
	Proposed	674.0	674.0	674.0	675.0	32.2	33.2
* All grades and heights are measured in feet.							





June 29, 2016

Pete Uetrecht  
Compass Design Build  
2464 Taylor Road  
Wildwood, MO 63040

RE: 724 MANSFIELD DRIVE  
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN REVIEW AND  
STORMWATER CONCEPTUAL REVIEW

Dear Mr. Uetrecht:

A petition for a new single family home was submitted for Planning and Community Design Commission (Commission) consideration and approval. The Petition will be reviewed for filing deficiencies, compliance with Zoning, the Olivette Residential Design Guidelines, and the Concept Stormwater Management Plan Review. Only complete Petitions will be scheduled and forwarded for Commission review as in accordance with Section 425.050 Review Procedure. Once the noted submission requirements are provided, a more thorough review for compliance with the Olivette Residential Design Guidelines and Concept Stormwater Management will ensue.

#### Summary of Letter

- Submit revisions for filing deficiencies
- Off-Street Parking Variance Request statement not provided
- Top of foundation and finish floor height must be verified
- Concept Stormwater Management Plan must be submitted
- Tree Placement and Preservation
- Exposed Foundation exceeds 12 inches
- Window well not shown on plans

**Initial Review.** *Please note items will not be scheduled for a Commission meeting until the filing deficiencies are met.*

#### **Filing Deficiencies**

The filing deficiencies noted in Exhibit 'Submission Requirements' must be provided in the form of one paper copy and an electronic PDF copy. The Petition will not be schedule for a Commission meeting until a revised Petition contains the requirements as outlined in Exhibit 'Submission Requirements'.

No window well was illustrated on the site plan or the architectural drawings. Window wells must be shown on the site plan and illustrated on the architectural plans.

#### **Off-Street Parking Variance Request**

The proposed site plan fails to conform to Article XIV Off Street Parking and Loading of Chapter 400 Zoning Regulations, specifically Section 400.1410 Minimum Standards for Off-Street Parking Areas. Staff measured the turnaround pad to be 2.6-feet from the side property line to the south, which has been found non-compliant with the following Section 400.1410.A.2.b.1

*(b.iv) All paved driveway and turnaround areas shall be located at least five (5) feet from any adjacent property line.*

Variences to regulations within Article XIV Off Street Parking and Loading may be granted by the Planning and Community Design Commission as stated below. Staff received an illustration of the site plan signed by the adjacent neighbor in support of the proposed placement of the driveway. No written statement has been provided that notes how the strict application of the aforementioned standard will impose practical difficulties or particular hardships. A statement must be provided that notes the difficulties for the proposed development to be in compliance with the 5-foot setback.

*When a property owner or other person, firm or association or corporation can show that the strict application of the minimum standards will impose practical difficulties or particular hardships, such owner or other person, firm, association or corporation may apply for a variance and the Commission may consider and allow such variations to the strict application of the terms hereof as are in harmony with the purpose and intent of this Article to provide minimum standards for the design and construction of off-street parking areas so as to create conditions of safety for both pedestrian and vehicular traffic thereon when the Commission is satisfied and makes a finding, under the evidence presented to it, that the granting of a variance will alleviate some demonstrable hardship or difficulty so great as to warrant said variance and that the off-street parking area will meet all reasonable and necessary conditions for the safety of persons using same. Any applicant may appeal the denial of a variance to the City Council and the City Council shall have the right to grant a variance under the standards hereinabove provided.*

### **Top of Foundation & Finished Floor**

The top of foundation is proposed at 676.00. The finished floor is 675.00. Please revise the proposed top of foundation and finished floor foundation.

**Stormwater Management.** Chapter 422 Stormwater Management is intended to ensure that the development of land in the City of Olivette occurs in a manner that protects, provides for and promotes the public health, safety, convenience, comfort and general welfare of the residents of Olivette.

At the time of application, a Concept Stormwater Management Plan is required in conjunction with the plans for Community Design Review. The Concept Stormwater Management Plan should demonstrate detention areas have been provided to accommodate Stormwater runoff generated on site. The Commission requires all new homes to capture the equivalent to the amount of Stormwater runoff generated on the accumulated roof area based on a 15-year 20-minute storm event. Please review the submission criteria and provide the Concept Stormwater Management Plan with the revisions. Please contact staff for further details.

A revised site plan sheet must provide the following details for the Concept Stormwater Management Plan review:

- Provide illustrations of the lot grounds showing the lot zoned into drainage areas for the existing lot conditions and with the proposed improvements. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.
- For each drainage zone, note the amount of pervious area and impervious site coverage.
- For each drainage zone, note the amount of roof area.
- For each drainage zone, note the volume of Stormwater runoff generated on the pervious and impervious surface areas based on a 15-year 20-minute storm event in cubic feet per second.
- For each drainage zone, note the volume of Stormwater runoff generated on the roof area based on a 15-year 20-minute storm event in cubic feet per second.
- For each drainage zone, provide a concept as to how Stormwater detention will accommodate the volume of runoff equivalent to the amount generated on the proposed roof area within such drainage zone.
- Provide details and specifications of all proposed acceptable Urban post-construction Stormwater BMPs.

### **Tree Preservation**

Not enough data has been provided to review the impact on existing trees. The drip line and caliper of each tree have not been provided. Also, the area noted as "treeline" must illustrate trees 4 inches and over in caliper.

### **Foundation Exposure**

The amount of foundation exposure cannot exceed 12-inches above the grade. The rear and left elevations both need to be revised to lower the exposure to 12-inches or less.

### **Window Well**

No window well was illustrated on the site plan or the architectural drawings. Window wells must be shown on the site plan and illustrated on the architectural plans.

**Notification.** In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Oak Estates Subdivision

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

**Site maintenance.** It appears that the existing home on the site is vacant. It is important that the site and home be properly maintained at all times. The building should be secured and bolted to ensure that access into the house is restricted. The grass, limbs, leaves and other vegetation should be maintained at all times. Failure to ensure the maintenance of the site will result in the City pursuing any and all necessary legal action to ensure compliance, including requesting the Commission defer action until full compliance is ascertained.

**Unauthorized/Illegal Demolition.** At no time shall unauthorized or illegal demolition take place on the site. The City of Olivette has strict rules and regulations regarding demolition of any structure. Any unauthorized or illegal demolition taking place on the site should be reported to the police immediately.

Unauthorized demolition includes removal of gutters, kitchen fixtures, bathroom fixtures, doors, etc. If demolition has begun without City approval, a citation will be issued immediately, you will have 30 days to raze the home and restore the site, and the petition for review shall be placed on hold until the Court rules on the matter.

### **SUMMARY AND CONCLUSION**

The petition application and plans submitted to the Planning and Community Design Commission for a single family home proposed at 724 Mansfield Drive must be revised to address the outstanding submission requirements. Furthermore, additional information must be provided for the Concept Stormwater Management Plan and the statement supporting the driveway variance. The Petition will be schedule for a Commission meeting once the submission requirements have been provided.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at [jroper@olivettemo.com](mailto:jroper@olivettemo.com).

Respectfully,



Jonathan Roper  
Planner/GIS Coordinator

### Submission Requirements

#### Existing Site Conditions:

- The minimum measured distance of the existing home from the front, **rear** and side lot lines.
- The **drip line** of each tree identified above and a designation of those trees to be retained.

#### Proposed Improvements:

- Location and general design (width and material) of all driveways, curb cuts and sidewalks, including connections to building entrances.
- Location of downspouts and sump pumps discharge pipes.
- Proposed elevation of the top of garage floor slab.
- Proposed elevation of the top of foundation wall. **Top of Foundation is proposed to be higher than the finished floor.**

#### Adjacent Property Information

- Grade elevation of the **two** nearest corner grades of the footprint of the adjacent residence.
- The minimum measured distance of the neighboring home from the side lot line nearest the proposed home.
- Grade elevation of the top of foundation wall of adjacent residence.

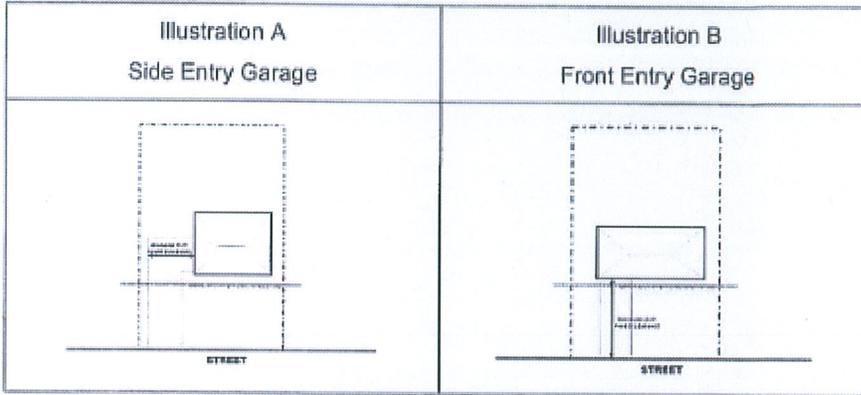
### Submission Requirements – Concept Stormwater Management Plan

- Provide illustrations of the lot grounds showing the lot zoned into drainage areas for the existing lot conditions and with the proposed improvements. The drainage area is a boundary in which theoretically any drop of stormwater that falls will eventually make its way to a single known point. Each drainage basin is separated topographically from adjacent basins by a perimeter.
- For each drainage zone, note the amount of pervious area and impervious site coverage.
- For each drainage zone, note the amount of roof area.
- For each drainage zone, note the volume of Stormwater runoff generated on the pervious and impervious surface areas based on a 15-year 20-minute storm event in cubic feet per second.
- For each drainage zone, note the volume of Stormwater runoff generated on the roof area based on a 15-year 20-minute storm event in cubic feet per second.
- For each drainage zone, provide a concept as to how Stormwater detention will accommodate the volume of runoff equivalent to the amount generated on the proposed roof area within such drainage zone.
- Provide details and specifications of all proposed acceptable Urban post-construction Stormwater BMPs.

**Parking Code - Section 400.1410 Minimum Standards For Off-Street Parking Areas**

Driveways shall:

- (i) Provide a minimum of ten (10) feet in paved width;
- (ii) Provide a minimum of twenty-five (25) feet of paved clearance from any vehicle exit door (See illustrations A and B below.);



- (iii) Openings shall be located no closer than thirty (30) feet to any intersecting street right-of-way;
- (iv) All paved driveway and turnaround areas shall be located at least five (5) feet from any adjacent property line; and
- (v) Width of a driveway opening shall not be less than sixteen (16) feet measured along the intersection with the adjacent street pavement.

**Off-Street Parking Variance Section**

Section 400.1410.A

2.e Variance

When a property owner or other person, firm or association or corporation can show that the strict application of the minimum standards will impose practical difficulties or particular hardships, such owner or other person, firm, association or corporation may apply for a variance and the Commission may consider and allow such variations to the strict application of the terms hereof as are in harmony with the purpose and intent of this Article to provide minimum standards for the design and construction of off-street parking areas so as to create conditions of safety for both pedestrian and vehicular traffic thereon when the Commission is satisfied and makes a finding, under the evidence presented to it, that the granting of a variance will alleviate some demonstrable hardship or difficulty so great as to warrant said variance and that the off-street parking area will meet all reasonable and necessary conditions for the safety of persons using same. Any applicant may appeal the denial of a variance to the City Council and the City Council shall have the right to grant a variance under the standards hereinabove provided.

## Jonathan Roper

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**From:** Carlos Trejo <CTrejo@olivettemo.com>  
**Sent:** Wednesday, July 20, 2016 1:40 PM  
**To:** jroper@olivettemo.com  
**Subject:** FW: 724 Mansfield  
**Attachments:** TAYLOR\_01K\_06-22-2016.pdf; ATT00001.htm

FYI . Please put in file.

Thanks,

*Carlos Trejo*, AICP

Director of Planning and Community Development  
City of Olivette Public Services  
1200 North Price Road  
Olivette, MO 63132

(314) 993-0252 office  
(314) 994-9862 fax  
[ctrejo@olivettemo.com](mailto:ctrejo@olivettemo.com)  
[www.olivettemo.com](http://www.olivettemo.com)



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**From:** Gregg A. Kinney [mailto:Gregg.Kinney@heplerbroom.com]  
**Sent:** Wednesday, July 20, 2016 1:32 PM  
**To:** Carlos Trejo <ctrejo@olivettemo.com>  
**Cc:** pete@compass-stl.com  
**Subject:** Fwd: 724 Mansfield

Carlos,

The Oak Estates Trustees have reviewed and approve the submitted plans for 724 Mansfield. Great looking house Pete.

Thanks, Gregg

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vCard<[http://www.heplerbroom.com/cmss\\_files/attachmentlibrary/vCards/Gregg-Kinney.vcf](http://www.heplerbroom.com/cmss_files/attachmentlibrary/vCards/Gregg-Kinney.vcf)> |  
Bio<<http://www.heplerbroom.com/st-louis-attorney-Gregg-Kinney.html>>

[HB]

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HeplerBroom LLC  
130 N. Main St.  
Edwardsville, IL 62025

[cid:62d81e5c-55f7-4796-a0ef-1f18ff1637e1.jpg]

ST. LOUIS, MO - EDWARDSVILLE (MADISON COUNTY, IL)  
SPRINGFIELD, IL - CHICAGO, IL - CRYSTAL LAKE, IL

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...in the center of it all

City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132

www.olivettemo.com
(314) 993-0252 (Office)
(314) 994-9862 (Fax)

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: PETE UETRECHT
Company Name: COMPASS DESIGN BUILD
Address: 2464 TAYLOR RD City: WILDWOOD Zip Code: 63040
E-mail Address: pete@compass-stl.com Phone Number: (636) 236-2536

As the applicant, which of the following apply:

- Developer, Contractor (checked), Owner, Registered Engineer, Registered Architect, Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- New Single Family Residential Construction (checked), Major Residential Addition and/or exterior modification, Amendment to Active Site Plan or Community Design Review, Accessory Structure, Other (Site Plan Review), Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 724 MANSFIELD DR OLIVETTE 63132
St. Louis County Tax ID No. 17M620089
Legal Description of Property:

OWNERSHIP (If applicant is not the owner):

Name of Owner: LAY & DONYA TAYLOR
Mailing Address: 724 MANSFIELD DR City: OLIVETTE Zip Code: 63132
Phone Number: (314) 249-6224 E-mail: TAYLOR.LAY@gmail.com

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

Name of applicant: [Signature] PETER UETRECHT

Date: 6/21/16

