



**AGENDA
FOR THE CITY OF OLIVETTE
PLANNING AND COMMUNITY DESIGN
COMMISSION
MEETING OF NOVEMBER 17, 2016
AT 7:00 P.M.
IN THE OLIVETTE CITY COUNCIL
CHAMBERS
AT CITY HALL GOVERNMENT CENTER
LOCATED AT 9473 OLIVE BOULEVARD**

1. Roll Call

2. Review Of Commission Procedures

The Commission Chair shall provide an overview of the scheduling of agenda items, the role of the Commission review, and the actions the Commission may consider.

3. New Business

New Business consist of applications being presented to the Commission for the first time. The Commission may act on New Business items in the form of approval, deferral, or table.

A. 15 Green Oaks Drive

Petition for: Fence variance in accordance with the procedures outlined in Chapter 435.050.

Description: Application to remove and replace an existing 6-foot privacy fence along the front yard setback.

Petitioner/Property Owner: Hamlet Kelley

Documents:

[GREEN OAKS DR- NO 15 PETITION APPLICATION AND ATTACHMENTS.PDF](#)
[GREEN OAKS DR- NO 15 PLANS.PDF](#)

B. 21 Stacy Drive

Petitioner for: Site Plan, Community Design, and Concept Stormwater Management Plan Review

Description: Application to construct a new single-family home

Petitioner: Charlie Brennan, McKelvey Homes

Property Owner: McKelvey Homes, LLC

Documents:

[STACY DR-NO 21 PETITION APPLICATION AND ATTACHMENTS.PDF](#)
[STACY DR-NO 21 CDR PLANS 2016 11-01.PDF](#)
[STACY DR-NO 21 SR AND REVIEW LETTERS.PDF](#)

4. Reports

Under this agenda item, the Planning and Community Design Commission is provided updates by:

- Director of Planning and Community Development regarding planning and development activity; and
- City Council Liaison regarding City Council and city wide activities.

5. Other Business

A. Meeting Minutes

6. Discussion Items

A. Olivette Residential Redevelopment And Design Guidelines.

The Olivette Residential Redevelopment and Design Guidelines were adopted by the City Council in November 2006. Since the adoption, the guidelines have been applied to 140 new homes. The Commission is seeking to review the guidelines, assess their effectiveness, and determine any necessary changes for City Council consideration.

Documents:

[OLIVETTE RESIDENTIAL DESIGN GUIDELINES-FINAL ORD 2329 2016 11-14.PDF](#)

7. Adjournment

AGENDA ITEMS WILL NOT NECESSARILY BE DISCUSSED IN ORDER. IF YOU HAVE ANY QUESTIONS, PLEASE CALL CITY HALL AT (314) 993-0444.

THE NEXT SCHEDULED MEETING IS DATE DECEMBER 1, 2016

The City of Olivette hereby advises the public, employees and qualified job applicants that they are afforded an equal opportunity to participate in the programs and service of the City regardless of race, color, religion, veteran status, national origin, sex, age, sexual orientation, the existence of a physical or mental disability, or any other classification protected by law. If you are a person with a disability and have special needs, please call Barbara Sondag, City Manager at 314.993.0444 as soon as possible but no later than one day prior to the event or call 314.993.3610 VOICE TDD, 1.800.735.2466 RELAY MISSOURI. Thank you..

Posted this 10th day of November, 2016 at 4:00 PM.

Myra G. Bennett

Myra G. Bennett, CMC/MPCC
City Clerk
City of Olivette

PD \$150 ck # 6684
 11/07/16 Rept # 16225

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Hamlet Kelley
 Company Name: ES
 Address: 15 Green Oaks Dr City: Olivette Zip Code: 63137
 E-mail Address: _____ Phone Number: _____

As the applicant, which of the following apply:

- Developer
 Contractor
 Owner
 Registered Engineer
 Registered Architect
 Licensed Surveyor

This petition is for which of the following (Petitions may be for more than one of the items noted below):

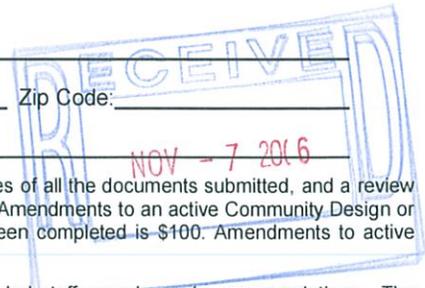
- New Single Family Residential Construction
 Major Residential Addition and/or exterior modification
 Amendment to Active Site Plan or Community Design Review
 Accessory Structure
 Other (Site Plan Review)
 Minor Site Plan Review

PROPERTY INFORMATION

Address of Property: 15 Green Oaks Dr
 St. Louis County Tax ID No. 17L 510162
 Legal Description of Property: Lot 13 Green Oaks Subdivision

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
 Mailing Address: _____ City: _____ Zip Code: _____
 Phone Number: _____ E-mail: _____



The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a review fee must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting. Amendments to an active Community Design or Site Plan Review in which an active Construction Permit under Article XVIII of Chapter 400 has not been completed is \$100. Amendments to active Community Design Review with Site Plan Review is \$150.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

X Hamlet Kelley
 Name of applicant

X 7 Nov. 2016
 Date

Hamlet & Roberta Kelley
15 Green Oaks Drive
Olivette, MO 63132
November 7, 2016

Commissioner of Olivette, MO
re: To Rebuild 6' Fence Along Green Oaks Dr
Carlos Trejo
1200 N Price Road
Olivette, MO 63132

Dear Commissioner of Olivette, MO:

re: To Rebuild 6' Fence Along Green Oaks Drive

Dear Commissioner of Olivette, MO:

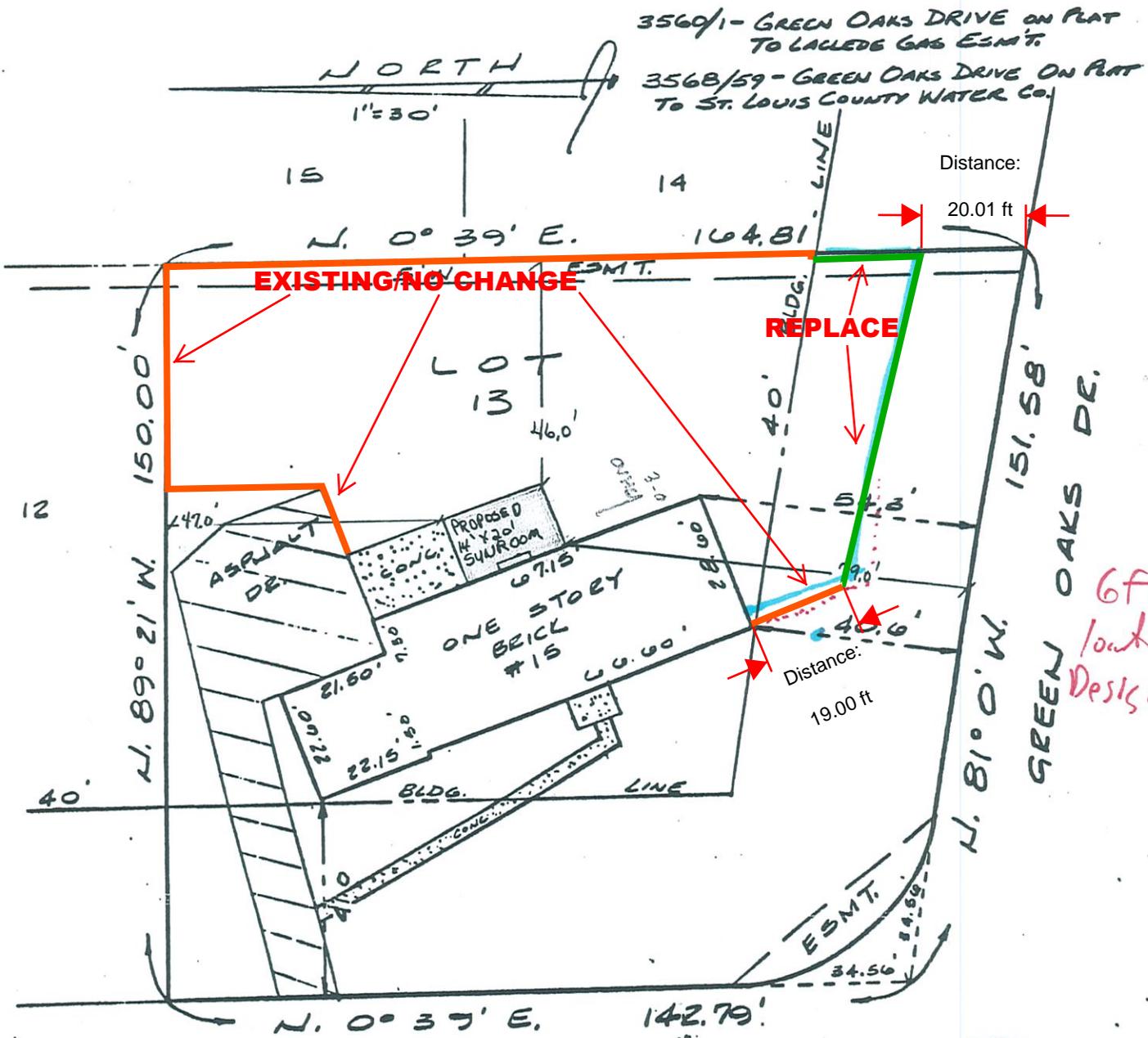
1. We would like permission to replace/rebuild the area of fence along Green Oaks Drive. The same material used in the original fence will be used in order to have continuity and retain the aesthetic required by Olivette.
2. The existing fence along Green Oaks Drive is rotten and is in need of major replacement.
3. We believe this type of fence with it continuous wall will add privacy, additional security and protection plus, enhance the value of the property.
4. We ask that you will grandfather this request because the fence was built before the rule to replace fences built parallel to streets must be of a decorative structure.

Thank you for your attention regarding this matter.

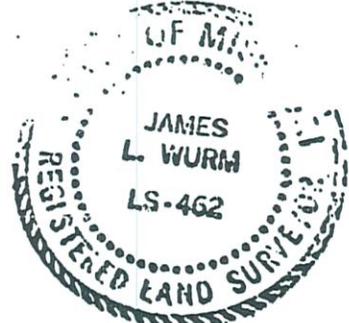
Sincerely,

Hamlet & Roberta Kelley

GREEN OAKS



MR. & MRS. HAMLET A. KELLEY POS.
#15 GREEN OAKS DR.
OLIVETTE, MO 63132



James Engineering and Surveying Company, Inc.
7810 FORSYTH BOULEVARD, SUITE 300, CLAYTON, MISSOURI 63105 OFFICE: 727-4008

This is to certify that at the request of CAPITAL TITLE
we have, on the 16TH day of OCTOBER, 1992 made a survey on LOT 13
OF GREEN OAKS AS RECORDED IN PLAT BOOK 72 PAGE 11

in ST. LOUIS COUNTY, Missouri, and that result of said survey is represented upon this plat.

Survey By: M. CORCORAN Checked By: RW
Drafted By: S. SCHULZ Order# 112511

JAMES ENGINEERING & SURVEYING COMPANY, INC.
By: James L. Wurm
JAMES L. WURM, L.S. 462, PRESIDENT
CAPITAL TITLE

SHEET 1

An agreement has been made by James Engineering & Surveying Company, Inc. and CAPITAL TITLE to perform a survey to locate the existing improvements of said property in accordance with the current Missouri Minimum Standards for Property Boundary Surveys, except: (1) The surveyor will not monument any corners of the parcel; (2) The plat may not show the legal description of the parcel; (3) The easements and assumed bearing reference system shown are obtained from the recorded subdivision plat, unless otherwise referenced; (4) We have not shown fence lines, retaining walls and any material variation between the surveyed lines, lines of surveyed property or adjoining properties, and the range of such variations has not been determined; (5) The dimensions of the parcel and other features will be insufficient to establish property lines and construct fences.



CITY OF OLIVETTE

PETITION FOR COMMUNITY DESIGN REVIEW (RESIDENTIAL)

City of Olivette Public Services
Department of Planning &
Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252 (Office)
www.olivettemo.com

Carlos Trejo, AICP
Director

APPLICANT

All correspondence prepared by staff shall be forwarded to the Applicant. The Applicant is responsible to distribute and forward this information to any other involved parties.

Name and Title: Charlie Brennan, Vice President
Company Name: McKelvey Homes
Address: 218 Chesterfield Towne Centre City: Chesterfield Zip Code: 63005
E-mail Address: cbrennan@mcKelveyhomes.com Phone Number: (636)-530-6900

As the applicant, which of the following apply:

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Developer | <input checked="" type="checkbox"/> Contractor | <input checked="" type="checkbox"/> Owner |
| <input type="checkbox"/> Registered Engineer | <input type="checkbox"/> Registered Architect | <input type="checkbox"/> Licensed Surveyor |

This petition is for which of the following (Petitions may be for more than one of the items noted below):

- | | |
|--|--|
| <input checked="" type="checkbox"/> New Single Family Residential Construction | <input type="checkbox"/> Major Residential Addition and/or exterior modification |
| <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Other (Site Plan Review) |

PROPERTY INFORMATION

Address of Property: 21 Stacy Drive
St. Louis County Tax ID No. 43-1920216
Legal Description of Property: Single Family Home

OWNERSHIP (If applicant is not the owner):

Name of Owner: _____
Mailing Address: _____ City: _____ Zip Code: _____
Phone Number: () _____ E-mail: _____

The petition application, three (3) sets of plans containing all the attached submission standards, PDF files of all the documents submitted, and a fee of \$150 must be submitted to the Department of Public Services thirty (30) days before a scheduled meeting.

Staff will review the Petition for compliance within 10 working days. Completed petitions shall be provided staff remarks and recommendations. The applicant will have 10 days to revise the application and submit any requested revised site plan, site section, building plans and project reports for Planning and Community Design Commission (PCDC) review. By Ordinance, the PCDC must take action on the Petition within 60 days, unless the applicant submits a written request for an extension.

An incomplete petition shall be returned to the applicant. The applicant may resubmit for the next scheduled meeting.

To insure that the applicant has read and understands the Petition and submission standards, described herein, please sign the following:

Charlie Brennan
Name of applicant

10/13/16
Date

Project Report

21 Stacy Drive
Olivette, MO 63132

The petitioner must provide a brief project report addressing each of the following questions:

- ✓ An explanation on how the mass, size and bulk of the new home is compatible with prevailing mass, size and bulk of adjacent.

Proposed Dwelling: 21 Stacy Drive

- 1 ½ story Home
- 4,556 sq. ft. of Finished Space
- Masonry Front Elevation
- European Style Home

Property to Left: 23 Stacy Drive

- 1 1/2 story Home
- 4,563 sq. ft.
- Built in 2006
- Combination Masonry and siding Front elevation

The New Home will be compatible with the Home to the left of the Property as they both will be 1 1/2 story homes. Visually the houses will be compatible as they have similar heights and widths. With both houses on each side of the property having hipped roofs, the new home will tie in well with the existing condition.

Property to Right: 19 Stacy Drive

- 1 1/2 story Home
- 3895 sq. ft.
- Built in 2004
- Combination Masonry and Siding Front Elevation
- The New Home will be compatible with the Home to the right of the Property as they both will be 1 1/2 story homes. Visually the houses will be compatible as they have similar heights and widths. With both houses on each side of the property having hipped roofs, the new home will tie in well with the existing condition.

- ✓ An explanation on how the height of the new home is compatible with the prevailing height of adjacent and surrounding detached residences.

The New home will be a 1 ½ story home that will be compatible with the other existing 1 ½ and 2 story homes on the street and in the neighborhood, including each house to the left and the right of the new home. The hipped roof of the new home will help to relate to the existing multi-story homes on the street, which are also hipped roof, but will also keep the house from looming over the smaller ranch homes along the street. Overall, the new home will maintain the similar look already present with the newer homes along the street and in the adjacent neighborhood.

- ✓ An explanation on what architectural features of the new home are intended to compliment the architectural characteristics of adjacent and surrounding detached residences.

The front of the new home will be a mixture of stone and brick masonry. This combination will blend in well with both houses on the right and the left of the new home, as well as throughout rest of the neighborhood, as masonry is the dominate façade material.

The proposed Front Elevation will be composed of stone and brick veneer. The sides and rear exteriors will consist of vinyl siding; such as dominate within the neighborhood. Roof structure complements the majority of new construction as well as most of the older ranches in the community with gables. The courtyard entry garage will coincide well with the side and courtyard garages that rule the properties on Stacy. Lastly, the new home is styled as a European Style Home which is predominately displayed throughout the neighborhood.

- ✓ An explanation on the efforts that will be incorporated on the site development to eliminate any adverse effects on grading and storm water drainage on the adjacent and surrounding properties.

Currently, the property grade slopes from the street to the rear of the property, east to west. We will raise the house foundation enough to provide a slight slope in the driveway from the house to the street to prevent water from entering the garage/house, otherwise we will attempt to maintain the existing slope of the lot.

To accommodate the large footprint of the new home, we will install two gravel infiltration trenches, one in the rear of the house and one in front. The front trench will be 55'L x 3'W x 4'D, with the rear trench being 120'L x 3'W x 2'D. All downspouts from the house will drain into the gravel infiltration trenches to prevent excess runoff from the property.

Project Research and Support

9753 LINDLEY DRIVE PLANNING AND ZONING INFORMATION

UNDERSTAND NEIGHBORHOOD

- ✓ General
 - LOCATION "SOUTH WEST"
 - Many different types of neighborhoods
 - Includes some of the oldest and newest housing developments in City
 - Boundaries of Neighborhood
 - Immediately surround on all sides by existing Single Family Residential
 - Neighborhood is bound on the West by N Warson Road and Monsanto Campus; to the North by Stacy Park; East and south continue on with Single Family Residential



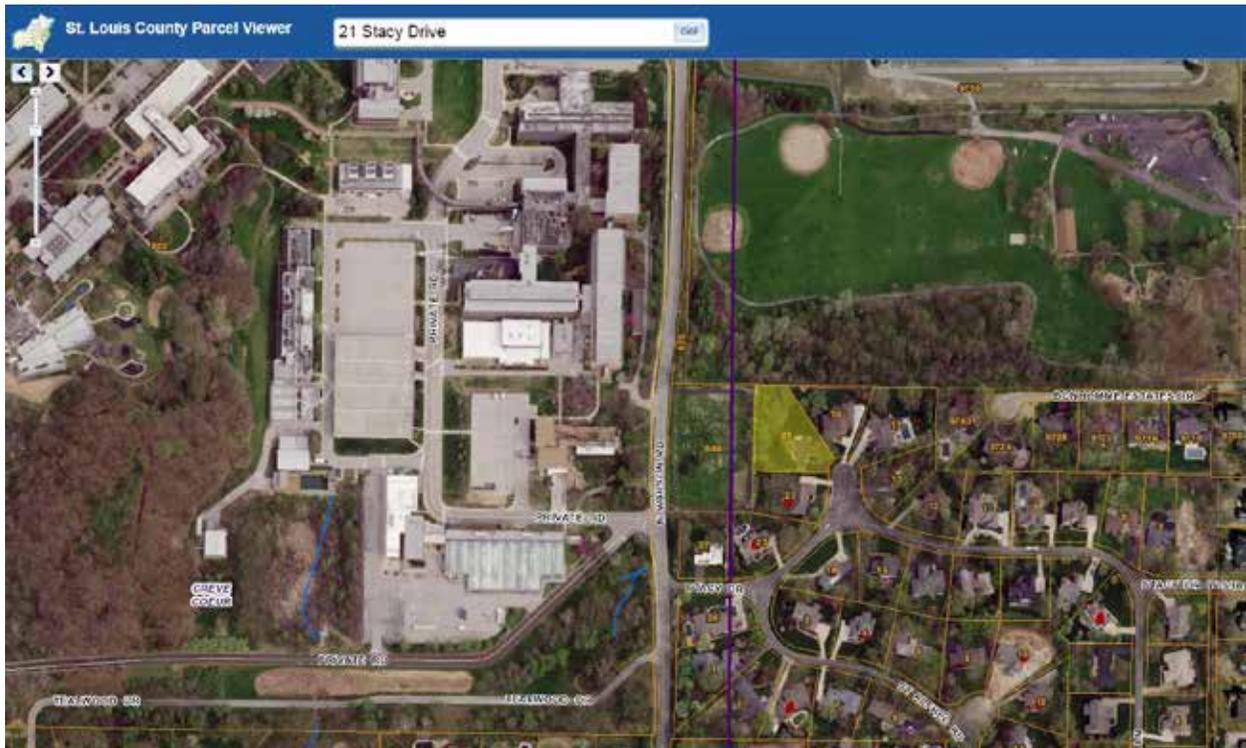
- ✓ Development in Subdivision
 - Mixture of Ranch Homes, built 1940s – 1970s, and Newer 1 ½ and 2 story Homes; mostly Newer Homes.
 - Immediate Left of Lot:
 - § Address: 23 Stacy Drive
 - § 1 ½ story Home
 - § 4,563 sq. ft.
 - § Built in 2006



- Immediate Right of Lot:
 - § Address: 19 Stacy Drive
 - § 1 1/2 story Home
 - § 3895 sq. ft.
 - § Built in 2004



✓ STREET AND LOT ORGANIZATION



- ✓ CHARACTERISTIC STREESCAPE
 - No sidewalks, erratic lining of street with trees; some mature, some adolescent, some lots with no trees along street or front yard
 - Mixture of older ranches and newer multi-story Construction
 - Predominant Materials
 - § Brick
 - § Stone
 - § Siding
 - Roof lines
 - § Shallow pitched gable roofs on older ranches
 - § New Construction – steeper pitch; mixture of gable and hip roofs
 - Neighborhood wooded
 - § Mature shade trees on older lots
 - § Less to no mature shade trees on newer construction lots

Know Your Street

- ✓ SEE NEIGHBORHOOD INFORMATION ABOVE – ALL THAT APPLIES TO THE SPECIFIC STREET IS REFLECTED ABOVE
- ✓ Age of Homes
 - Majority of homes are new construction: 1990s to Present
 - § Majority are multi-story homes
 - § Most new construction lots have limited or lacking mature trees in
 - Remainder range from 1940s to 1970s
 - § Most are smaller ranch homes
- Common Themes
 - Masonry and siding front elevations
 - Side or Courtyard Style Garages- Attached
 - Multi-Story New Construction Homes

SIMILAR CONSTRUCTION TO PROPOSED 9753 LINDLEY DRIVE IN THE NEIGHBORHOOD



18 Stacy Drive



9 Stacy Drive



10 Stacy Drive



25 Stacy Drive



16 Stacy Drive



23 STACY DRIVE



21 STACY DRIVE



19 STACY DRIVE



17 STACY DRIVE



15 STACY DRIVE



STREETSCAPE ELEVATION

NOT TO SCALE

DATE: 10/14/16
REVISIONS:

**STREETSCAPE
ELEVATION**

McKELVEY HOMES, INC.
218 CHESTERFIELD TOWNE CENTRE
CHESTERFIELD, MO 63005
636-530-6900
mckelveyhomes.com

THE "BELLERIVE"
21 STACY DRIVE
OLIVETTE, MO

SHEET NO.

1

OF 2



23 STACY DRIVE



21 STACY DRIVE



19 STACY DRIVE

DATE: 10/14/16
REVISIONS:

**STREETSCAPE
ELEVATION**

McKELVEY HOMES, INC.
218 CHESTERFIELD TOWNE CENTRE
CHESTERFIELD, MO 63005
636-530-6900
mckelveyhomes.com

THE "BELLERIVE"
21 STACY DRIVE
OLIVETTE, MO

SHEET NO.

2

OF 2

STREETSCAPE ELEVATION

NOT TO SCALE

Existing Conditions/Demolition Plan

BENCHMARK

BENCH MARK:
 13211 NAVD88(SLC2011a) Elev = 698.91 F.I.U.S. (or) 213.028 Meter
 NGVD29 Elev = 699.27 F.I.U.S.
 Standard DMR aluminum disk stamped SL-22 situated in an area of gravel and sparse grass south of Olive Boulevard between the on and off ramps connecting northbound Lindbergh Boulevard with eastbound Olive Boulevard; 66.8 feet east of a chiseled "X" 3 feet above ground level on the east face of the northernmost of three steel I-beam support posts for a MoDOT exit sign reading "67 North" with a directional arrow above "Lindbergh Boulevard", roughly 20 feet south of the solid white stripe along the south side of the southernmost eastbound driving lane of Olive Boulevard, and 75 feet northeast of the solid yellow stripe along the northeast side of the exit lane from eastbound Olive Boulevard to northbound Lindbergh Boulevard. (In September 2012, two survey nail markers in the south asphalt shoulder of Olive Boulevard were 20.4 feet northwest of SL-22 and 18 feet northeast of SL-22.)
 <NGS PID="AAB663", Designation="SL 22">
 SP MD East N=315.18, E=258402.84 Meter - Published
 Rough NAD83 Lat=38.672996±(N/+), Long=90.403436±(W/-)

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 SCHEDULE B - SECTION II
 Exceptions
 File No. 3040ARC, dated April 15, 2016.

- Items 1-3. STANDARD EXCEPTIONS
- Item 4. Building lines and easements established by the plat recorded in Plat Book 52 page 38, (Shown) and subject to covenants and restrictions, including a provision for Subdivision Assessments, contained in the Subdivision Indenture recorded in Book 2993 page 299, Book 2911 page 114, Book 2884 page 624, Book 7304 page 1671, Book 10602 page 879, Book 13598 page 826 and Book 18810 page 2221.
- Item 5. Not survey related.
- Item 6. Easement granted to St. Louis County Water by the instrument recorded in Book 2844 page 548. (Shown.)
- Item 7. Easement granted to Laclede Gas Company by the instrument recorded in Book 2844 page 591. (Shown.)
- Item 8. Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2909 page 284. (Shown.)
- Item 9. Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2870 page 238. (Shown.)
- Item 10. Easement granted to The Metropolitan St. Louis Sewer District by the instrument recorded in Book 18652 page 482. (Shown.)
- Items 11-13. Not survey related.

- GENERAL NOTES**
- The easements shown on this survey were plotted from items furnished Pickett, Ray & Silver by Old Republic National Title Insurance Company, per Schedule B-Section II of File No. 3040ARC, dated April 15, 2016.
 - Basis of bearing for this survey is the plat of Heather Hill First Addition, recorded in Plat Book 52, Page 38 of the St. Louis County Records.
 - Class of property - Urban.
 - All dimensions are survey and record.
 - This survey has been executed in accordance with the Current Minimum Standards for Property Boundary Surveys, 20 CSR 2030-16, and the results are shown hereon.

"PLOT PLAN"
THIS DOES NOT CONSTITUTE
A BOUNDARY SURVEY

This is to certify that at the request of MCKELVEY HOMES on the 26TH day of SEPTEMBER, 2016, a plot plan was prepared for the proposed location of improvement for LOT 4 OF HEATHER HILL FIRST ADDITION Sec. and/or U.S. Survey; 6 T.45N, R.6E, ST. LOUIS County, Missouri & that the results of said plot plan are correctly represented hereon. By Professional Land Surveyor: _____ P.L.S. _____ Pickett, Ray, & Silver's Corporate Registration #: LS-54-D

Basis of bearing/angles for this survey is assumed based on the plat of HEATHER HILL FIRST ADDITION recorded in Plat Book 52, Page 38 of the St. Louis County Records.

- Note to the contractor:
- Minimum Setbacks: -Sideyard: 12' -Front Yard: 40' -Rear Yard: 25'
 - Driveways are shown as proposed, however final location may vary.
 - T.F. = Proposed Top of Foundation

PICKETT, RAY & SILVER INC.
 CIVIL ENGINEERING, LAND SURVEYING,
 AND NATURAL RESOURCES SERVICES

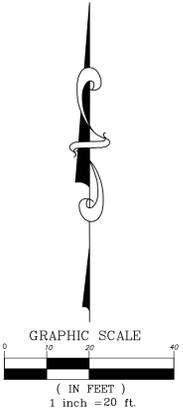
St. Peters
 22 Richmond Center Court
 St. Peters, MO 65376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prs.com 1-800-708-3918

EXISTING CONDITIONS/DEMOLITION PLAN
 Lot 4 of Heather Hill First Addition,
 Plat Book 52, Page 38
 in the Southwest Quarter of Section 6,
 Township 45 North, Range 6 East, St. Louis County, Missouri

Prepared For:
McKelvey Homes, Inc.
 218 Chestnutfield Trains Centre
 Chesterfield, MO 63003
 636-538-0900

REVISIONS NO.	DATE	DESCRIPTION
1.	10/26/16	REVISED PER CITY 10/21/16

DRAWN	DWD/RGA	DATE	09/26/16
CHECKED	D.F.S.	DATE	
PROJECT #	14011.MCHO.01S	TASK #	2
FIELD BOOK	1440		



LEGEND

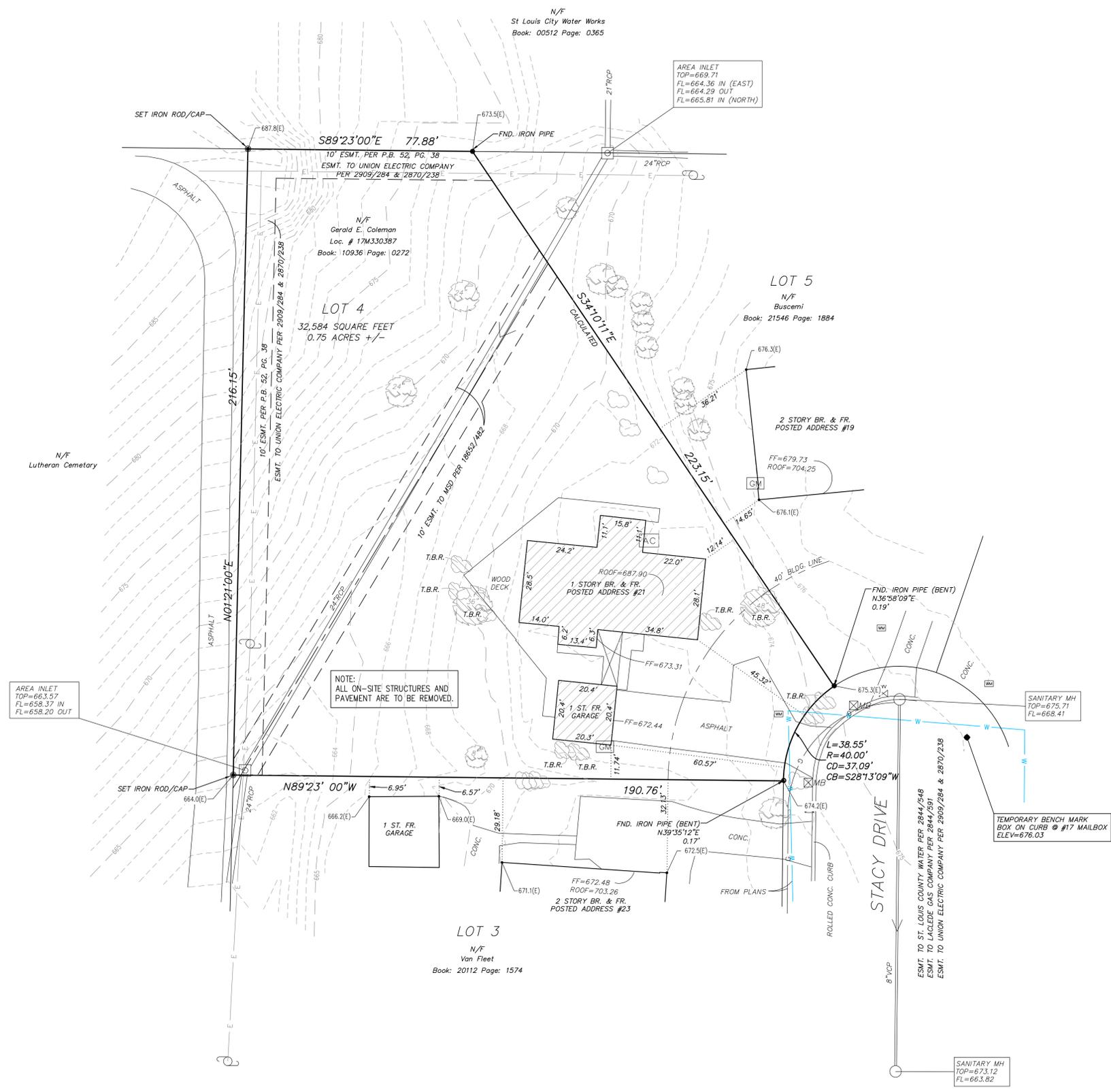
	GAS VALVE
	WATER VALVE
	OVERHEAD UTILITY
	FENCE
	BUILDINGS
	MAILBOX
	MANHOLE
	CURB/AREA INLET
	WATER METER
	UTILITY POLE
	GAS METER
	TREE
	TREE LINE
	BUSH
	AIR-CONDITIONER
	TO BE REMOVED

DESCRIPTION

A tract of land being Lot 4 of Heather Hill First Addition, according to the plat thereof recorded in Plat Book 52, Page 38 of the St. Louis County Records and also being in the SW Quarter of Section 6, T.45N., R.6E., St. Louis County, Missouri
 N/F GERALD E. COLEMAN
 D.B. 10936, PG. 0272
 LOC. #17M33-0387
 #21 STACY DRIVE

NOTE

Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.



N/F
 St. Louis City Water Works
 Book: 00512 Page: 0365

AREA INLET
 TOP=669.71
 FL=664.36 IN (EAST)
 FL=664.29 OUT
 FL=665.81 IN (NORTH)

N/F
 Gerald E. Coleman
 Loc. # 17M330387
 Book: 10936 Page: 0272

LOT 5
 N/F
 Buscemi
 Book: 21546 Page: 1884

AREA INLET
 TOP=663.57
 FL=658.37 IN
 FL=658.20 OUT

NOTE:
 ALL ON-SITE STRUCTURES AND
 PAVEMENT ARE TO BE REMOVED.

LOT 3
 N/F
 Van Fleet
 Book: 20112 Page: 1574

SANITARY MH
 TOP=673.12
 FL=663.82

TEMPORARY BENCH MARK
 BOX ON CURB @ #17 MAILBOX
 ELEV=676.03

SANITARY MH
 TOP=675.71
 FL=668.41

STACY DRIVE
 8" VCP
 ESM. TO ST. LOUIS COUNTY WATER PER 2844/548
 ESM. TO LACLEDE GAS COMPANY PER 2844/591
 ESM. TO UNION ELECTRIC COMPANY PER 2909/284 & 2870/238

2 STORY BR. & FR.
 POSTED ADDRESS #23
 FF=672.48
 ROOF=703.26

1 ST. FR. GARAGE
 FF=672.44

1 STORY BR. & FR.
 POSTED ADDRESS #21
 ROOF=687.90

2 STORY BR. & FR.
 POSTED ADDRESS #19
 FF=679.73
 ROOF=704.25

10' ESM. TO MSD PER 18852/1882

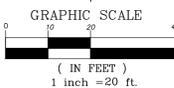
10' ESM. TO UNION ELECTRIC COMPANY PER 2909/284 & 2870/238

10' ESM. PER P.B. 52, PG. 38

SET IRON ROD/CAP

ASPHALT

Site Plan



LEGEND	
	GAS VALVE
	WATER VALVE
	OVERHEAD UTILITY
	FENCE
	BUILDINGS
	MAILBOX
	MANHOLE
	CURB/AREA INLET
	WATER METER
	UTILITY POLE
	GAS METER
	TREE
	TREE LINE
	BUSH
	AIR-CONDITIONER
	TBR TO BE REMOVED
668.5(E) =	EXISTING GROUND
668.0(P) =	PROPOSED GRADE

DESCRIPTION

A tract of land being Lot 4 of Heather Hill First Addition, according to the plat thereof recorded in Plat Book 52, Page 38 of the St. Louis County Records and also being in the SW Quarter of Section 6, T.45N., R.6E., St. Louis County, Missouri N/F GERALD E. COLEMAN D.B. 10936, PG. 0272 LOC. #17M33-0387 #21 STACY DRIVE

LOT DATA AND ZONING REGULATIONS

Lot Area:	32,584 s.f.
Permitted Site Coverage (20%):	6,516 s.f.
Permitted Residential Floor Area (25%):	8,146 s.f.
Lot Width:	83.69 ft.
Lot Depth:	190.76 ft.
Front Yard Setback (per subdivision plat):	40 ft.
Side Yard Setback (as per 12% of Lot Depth):	8.90 ft.
Rear Yard Setback (as per 20% of Lot Depth):	38.15 ft.

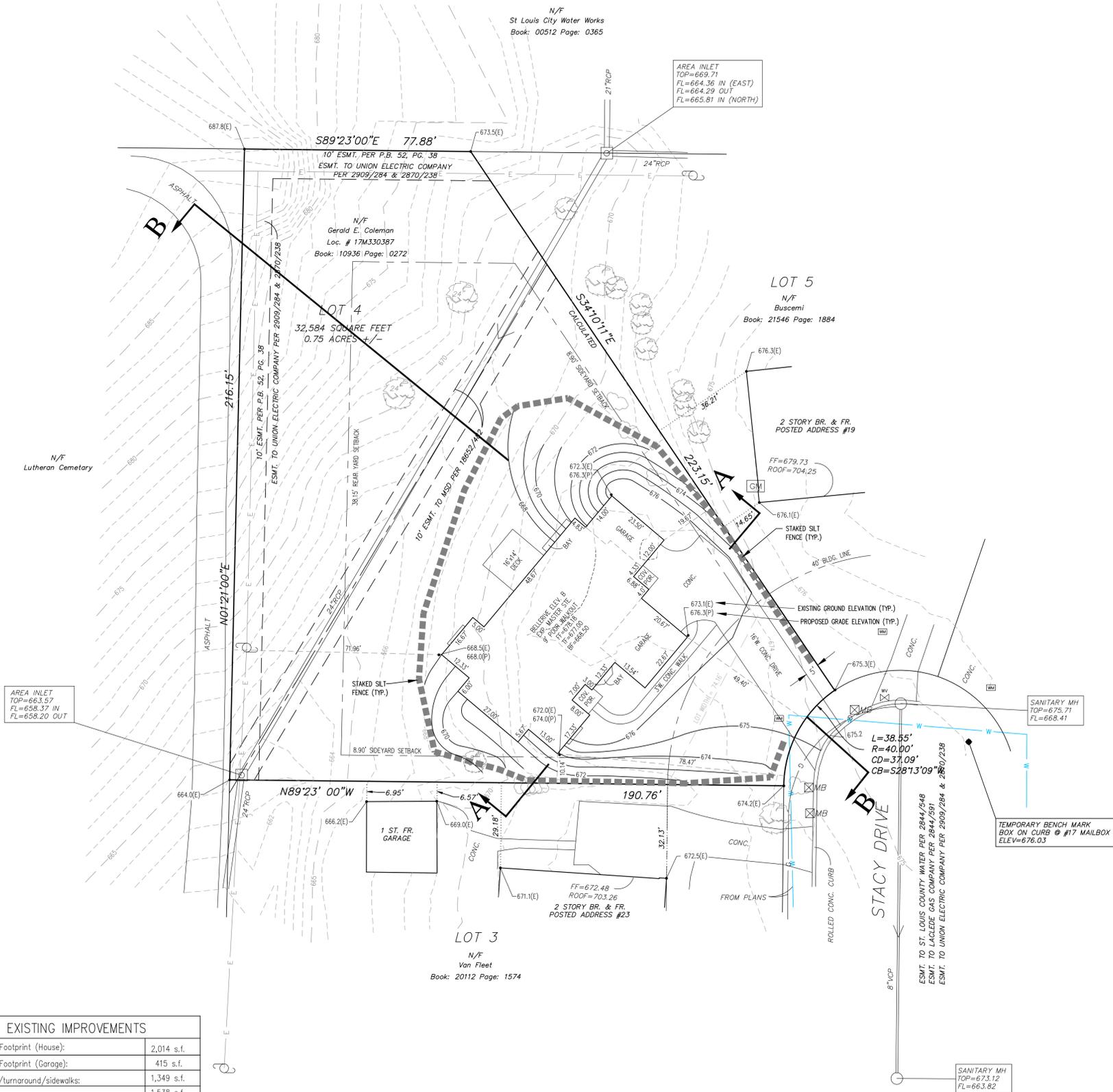
RESIDENTIAL HOUSE RATIO

1ST FLOOR = 2879 Sq.Ft.
2ND FLOOR = 1651 Sq.Ft.
TOTAL FLOOR = 4530 Sq.Ft.
4530 Sq.Ft./32584 Sq.Ft. = 0.14 < 0.25 MAX. RATIO

EXISTING IMPROVEMENTS	
Building Footprint (House):	2,014 s.f.
Building Footprint (Garage):	415 s.f.
Driveway/turnaround/sidewalks:	1,349 s.f.
Other hard surface areas (decks/pools/etc):	1,538 s.f.
TOTAL EXISTING IMPERVIOUS AREAS:	5,316 s.f.

PROPOSED IMPROVEMENTS	
Building Footprint:	3,642 s.f.
Driveway/turnaround/sidewalks:	1,695 s.f.
Other hard surface areas (decks/pools/etc):	224 s.f.
TOTAL PROPOSED IMPERVIOUS AREAS:	5,561 s.f.

NOTE
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.



BENCHMARK
BENCH MARK:
13211 NAD88(SLC2011a) Elev = 698.91 FTUS (or) 213.028 Meter
NGVD29 Elev = 699.27 FTUS
Standard DNR aluminum disk stamped SL-22 situated in an area of gravel and sparse grass south of Olive Boulevard between the on and off ramps connecting northbound Lindbergh Boulevard with eastbound Olive Boulevard; 66.8 feet east of a chiseled "X" 3 feet above ground level on the east face of the northernmost of three steel I-beam support posts for a M&DOT exit sign reading "67 North", with a directional arrow above "Lindbergh Boulevard", roughly 20 feet south of the solid white stripe along the south side of the southernmost eastbound driving lane of Olive Boulevard, and 75 feet northeast of the solid yellow stripe along the northeast side of the exit lane from eastbound Olive Boulevard to northbound Lindbergh Boulevard. (in September 2012, two survey nail markers in the south asphalt shoulder of Olive Boulevard were 20.4 feet northwest of SL-22 and 18 feet northeast of SL-22.)
<NGS PID="AA8663", Designation="SL 22">
SP MO East N=315136.1± E=258402.8± Meter - Published
Rough NAD83 Lat=38.672996±(N/+) Long=90.403436±(W/-)

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
SCHEDULE B - SECTION II
Exceptions
File No. 3040ARC, dated April 15, 2016.

Items 1-3. STANDARD EXCEPTIONS

- Building lines and easements established by the plot recorded in Plat Book 52 page 38, (Shown) and subject to covenants and restrictions, including a provision for Subdivision Assessments, contained in the Subdivision Indenture recorded in Book 2993 page 299, Book 2911 page 114, Book 2884 page 624, Book 7304 page 1671, Book 10602 page 879, Book 13598 page 826 and Book 18810 page 2221.
- Not survey related.
- Easement granted to St. Louis County Water by the instrument recorded in Book 2844 page 548. (Shown.)
- Easement granted to Laclede Gas Company by the instrument recorded in Book 2844 page 591. (Shown.)
- Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2909 page 284. (Shown.)
- Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2870 page 238. (Shown.)
- Easement granted to The Metropolitan St. Louis Sewer District by the instrument recorded in Book 18652 page 482. (Shown.)
- Not survey related.

GENERAL NOTES

- The easements shown on this survey were plotted from items furnished Pickett, Ray & Silver by Old Republic National Title Insurance Company, per Schedule B-Section II of File No. 3040ARC, dated April 15, 2016.
- Basis of bearing for this survey is the plot of Heather Hill First Addition, recorded in Plat Book 52, Page 38 of the St. Louis County Records.
- Class of property - Urban.
- All dimensions are survey and record.
- This survey has been executed in accordance with the Current Minimum Standards for Property Boundary Surveys, 20 CSR 2030-16, and the results are shown hereon.

'PLOT PLAN' THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY

This is to certify that at the request of MCKELVEY HOMES on the 26TH day of SEPTEMBER, 2016, a plot plan was prepared for the proposed location of improvement for LOT 4 OF HEATHER HILL FIRST ADDITION Sec. and/or U.S. Survey: 6, T.45N., R.6E., ST. LOUIS County, Missouri; and that the results of said plot plan are correctly represented hereon. By Professional Land Surveyor: _____ P.L.S. Pickett, Ray, & Silver's Corporate Registration #: LS-54-D

Basis of bearing/angles for this survey is assumed based on the plot of HEATHER HILL FIRST ADDITION recorded in Plat Book 52, Page 38 of the St. Louis County Records.

- Note to the contractor:
1) Minimum Setbacks: -Sideyard: 12'
-Front Yard: 40' -Rear Yard: 25'
2) Driveways are shown as proposed, however final location may vary.
3) T.F. = Proposed Top of Foundation

PICKETT, RAY & SILVER INC.
CIVIL ENGINEERING, LAND SURVEYING,
AND NATURAL RESOURCES SERVICES
St. Peters
22 Richmond Center Court
St. Peters, MO 63376
Phone (636) 397-1211 Fax (636) 397-1104
www.prs3.com 1-800-708-3918

SITE PLAN

Lot 4 of Heather Hill First Addition,
Plat Book 52, Page 38
in the Southwest Quarter of Section 6,
Township 45 North, Range 6 East, St. Louis County, Missouri

Prepared For:

McKelvey Homes, Inc.

218 Chesterfield Towne Centre
Chesterfield, MO 63003
636-530-6900

REVISIONS NO.	DATE	DESCRIPTION	REVISION PER CITY
1.	10/26/16		10/21/16

DRAWN	DWD/RGA	DATE	09/26/16
CHECKED	D.F.S.	DATE	
PROJECT #	14011.MCHO.01S	TASK #	2
FIELD BOOK	1440		

LOT 4 OF HEATHER HILL FIRST ADD.
SITE PLAN

SHEET 2 OF 4
Copyright 2016 by Pickett, Ray & Silver Inc.

Stormwater Management Plan



DIFFERENTIAL RUNOFF CALCULATIONS

PRE-DEVELOPED
 IMPERVIOUS AREA: 5316 Sq.Ft. = 0.122 Ac. x 3.54 = 0.432 cfs
 PERVIOUS AREA: 27268 Sq.Ft. = 0.626 Ac. x 1.70 = 1.064 cfs
 0.748 Ac. 1.496 cfs

POST-DEVELOPED
 IMPERVIOUS AREA: 5561 Sq.Ft. = 0.128 Ac. x 3.54 = 0.453 cfs
 PERVIOUS AREA: 27023 Sq.Ft. = 0.620 Ac. x 1.70 = 1.054 cfs
 0.748 Ac. 1.507 cfs

STORMWATER REMEDIATION

100% OF ROOF AREA (15-YR., 20-MIN.)
 FRONT YARD (DOWNSPOUTS D8-D10): 2,528 s.f.
 2,528 s.f. = 0.058 Ac. x 3.54 = 0.21 cfs
 (0.21 cfs)(60 sec/min)(20 min) = 252 cu.ft.

REAR YARD (DOWNSPOUTS D1-D7): 2,678 s.f.
 2,678 s.f. = 0.061 Ac. x 3.54 = 0.22 cfs
 (0.22 cfs)(60 sec/min)(20 min) = 264 cu.ft.

VOLUME TO BE DETAINED:
 FRONT YARD = 252 Cu.Ft.

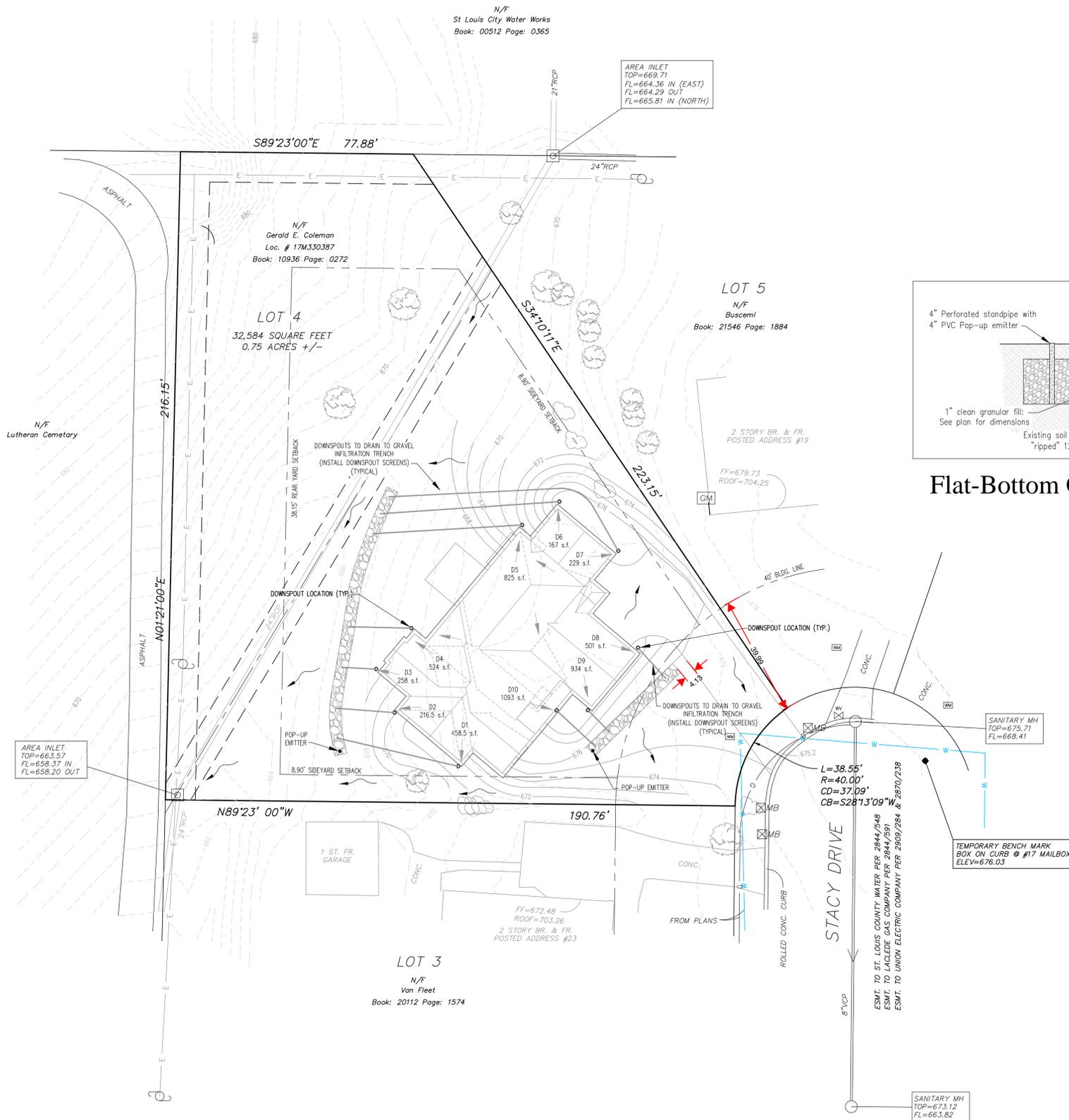
A 40'L x 4'W x 4'D (ON LOW SIDE) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VIDS IN THE GRAVEL YIELDS A VOLUME OF 256 Cu.Ft.

VOLUME TO BE DETAINED:
 REAR YARD = 264 Cu.Ft.

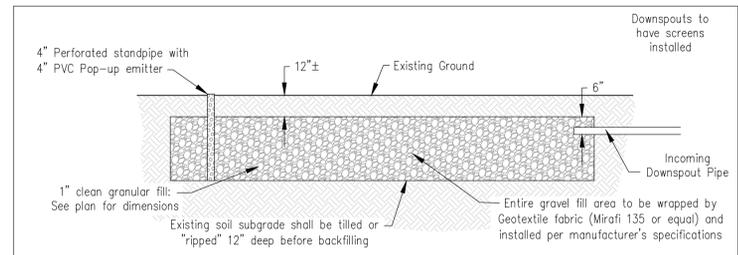
A 90'L x 4'W x 2'D (ON LOW SIDE) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VIDS IN THE GRAVEL YIELDS A VOLUME OF 288 Cu.Ft.

EXISTING IMPROVEMENTS	
Building Footprint (House):	2,014 s.f.
Building Footprint (Garage):	415 s.f.
Driveway/turnaround/sidewalks:	1,349 s.f.
Other hard surface areas (decks/pools/etc.):	1,538 s.f.
TOTAL EXISTING IMPERVIOUS AREAS:	5,316 s.f.

PROPOSED IMPROVEMENTS	
Building Footprint:	3,642 s.f.
Driveway/turnaround/sidewalks:	1,695 s.f.
Other hard surface areas (decks/pools/etc.):	224 s.f.
TOTAL PROPOSED IMPERVIOUS AREAS:	5,561 s.f.



BENCHMARK
 BENCH MARK:
 13211 NAVD88(SLC2011a) Elev = 698.91 FIUS (or) 213.028 Meter
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 Standard DNR aluminum disk stamped SL-22 situated in an area of gravel and sparse grass south of Olive Boulevard between the on and off ramps connecting northbound Lindbergh Boulevard with eastbound Olive Boulevard: 66.8 feet east of a chiseled "X" 3 feet above ground level on the east face of the northernmost of three steel I-beam support posts for a MoDOT exit sign reading "67 North" with a directional arrow above "Lindbergh Boulevard", roughly 20 feet south of the solid white stripe along the south side of the southernmost eastbound driving lane of Olive Boulevard, and 75 feet northeast of the solid yellow stripe along the northeast side of the exit lane from eastbound Olive Boulevard to northbound Lindbergh Boulevard. (In September 2012, two survey nail markers in the south asphalt shoulder of Olive Boulevard were 20.4 feet northwest of SL-22 and 18 feet northeast of SL-22.)
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 SP MO East N=315136.1± E=258402.8± Meter - Published
 Rough NAD83 Lat=38.672996±(N/+) Long=90.403436±(W/-)



Flat-Bottom Gravel Infiltration Trench Detail

"PLOT PLAN"
THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY
 This is to certify that at the request of MCKELVEY HOMES on the 26TH day of SEPTEMBER, 2016, a plot plan was prepared for the proposed location of improvement for LOT 4 OF HEATHER HILL FIRST ADDITION Sec. and/or U.S. Survey 6, T.45N, R.6E, ST. LOUIS County, Missouri & that the results of said plot plan are correctly represented hereon. By Professional Land Surveyor: _____ P.L.S.
 Pickett, Ray & Silver's Corporate Registration #: LS-54-D

Basis of bearing/angles for this survey is assumed based on the plat of HEATHER HILL FIRST ADDITION recorded in Plat Book 52, Page 38 of the St. Louis County Records.

Note to the contractor:
 1) Minimum Setbacks: -Sideyard: 12' -Rear Yard: 25'
 2) Driveways are shown as proposed, however final location may vary.
 3) T.F. = Proposed Top of Foundation

NOTE
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

PICKETT, RAY & SILVER INC.
 CIVIL ENGINEERING, LAND SURVEYING, AND NATURAL RESOURCES SERVICES
 St. Peters
 22 Richmond Center Court
 St. Peters, MO 63376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prs.com 1-800-768-3918

STORMWATER MANAGEMENT PLAN
 Lot 4 of Heather Hill First Addition,
 Plat Book 52, Page 38
 In the Southwest Quarter of Section 6,
 Township 45 North, Range 6 East, St. Louis County, Missouri
 Prepared For:
McKelvey Homes, Inc.
 218 Chesterfield Towne Centre
 Chesterfield, MO 63003
 636-530-6000

REVISIONS	NO.	DATE	DESCRIPTION
1.	10/26/16	REVISED PER CITY 10/29/16	REVISED STORMWATER MANAGEMENT PLAN
2.	11/01/16		

DRAWN	DWD/RGA	DATE	09/26/16
CHECKED	D.F.S.	DATE	
PROJECT #	14011.MCHO.01S	TASK #	2
FIELD BOOK	1440		

Site Cross Sections

Lot 3

Lot 5



SECTION A-A
1/8"=1'



SECTION B-B
1/8"=1'

"PLOT PLAN"
THIS DOES NOT CONSTITUTE
A BOUNDARY SURVEY
 This is to certify that at the request of
 MCKELVEY HOMES
 on the 26TH day of SEPTEMBER, 2016, a plot plan
 was prepared for the proposed location of
 improvement for LOT 4 OF HEATHER HILL FIRST ADDITION
 Sec. and/or U.S. Survey 6 T.45N
 R.6E ST. LOUIS County, Missouri & that
 the results of said plot plan are correctly
 represented hereon. By Professional Land
 Surveyor: _____ P.L.S.
 Pickett, Roy, & Silver's Corporate Registration #:
 LS-54-D

Basis of bearing/angles for this survey is
 assumed based on the plat of HEATHER HILL
 FIRST ADDITION recorded in Plat Book 52,
 Page 38 of the St. Louis County Records.

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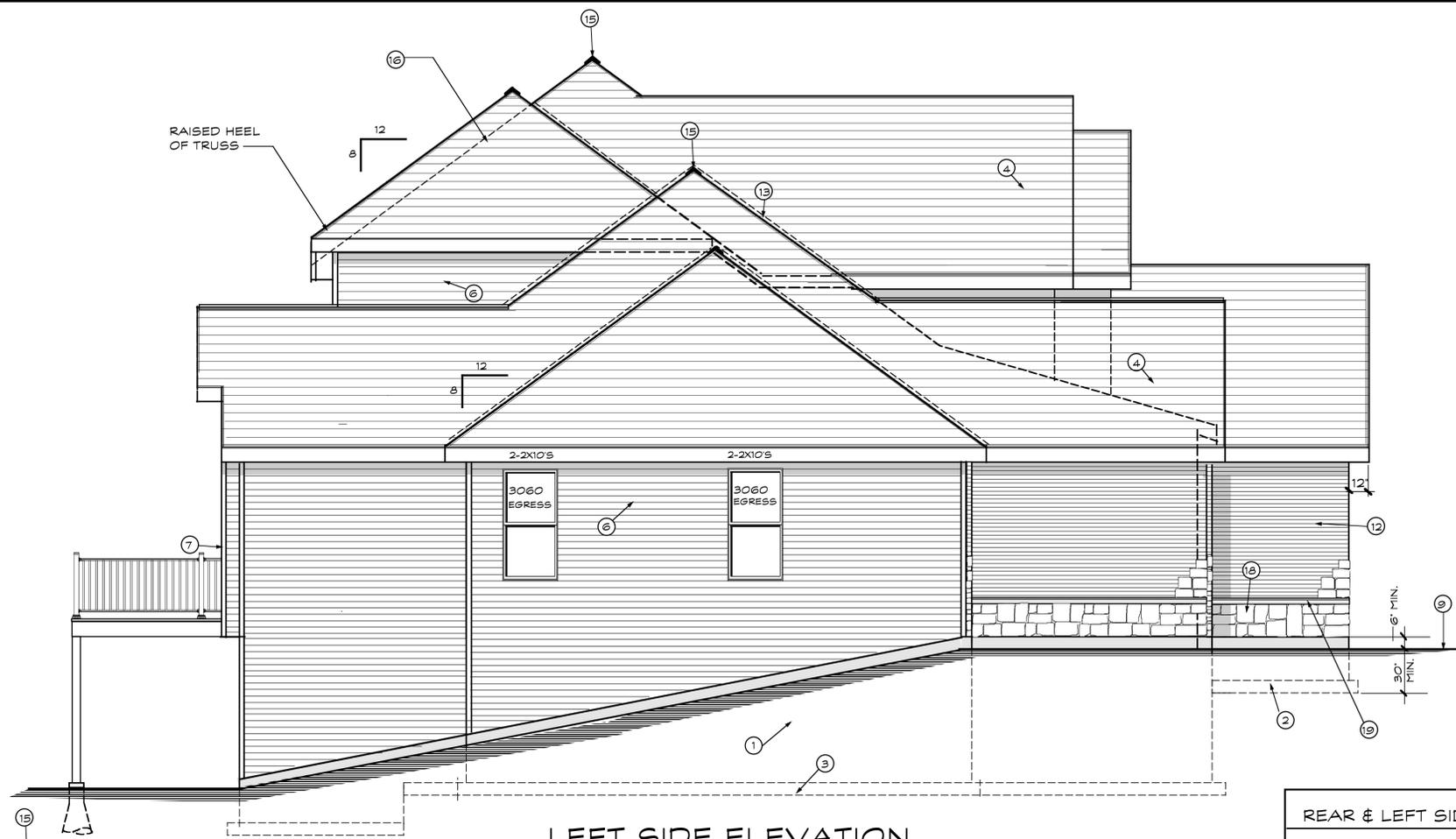
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 utility companies before actual construction.

PICKETT, ROY & SILVER INC.
 CIVIL ENGINEERING, LAND SURVEYING,
 AND NATURAL RESOURCES SERVICES
 St. Peters
 22 Richmond Center Court
 St. Peters, MO 63376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prs.com 1-800-708-8916

SITE CROSS SECTIONS
 Lot 4 of Heather Hill First Addition,
 Plat Book 52, Page 38
 In the Southwest Quarter of Section 6,
 Township 45 North, Range 6 East, St. Louis County, Missouri
 Prepared For:
McKelvey Homes, Inc.
 218 Chesterfield Towne Centre
 Chesterfield, MO 63003
 636-531-6900

REVISIONS	NO.	DESCRIPTION	DATE
1.		REVISED PER CITY 10/21/16	10/26/16

DRAWN	DWD/RGA	DATE	09/26/16
CHECKED	D.F.S.	DATE	
PROJECT #	14011.MCHO.01S	TASK #	2
FIELD BOOK	1440		



LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

SAFETY GLIZING:
 Glazing installed in the following locations shall be tested and labeled in accordance with CPSC 16 CFR Part 1201 Standard as a Type I or II category glazing in sliding doors; any glazing exceeding 9 square feet in area required to be safety glazing in accordance with one of the six categories listed below; and all glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers shall be a Type II category and noted as such on the Architectural plans;

- REAR & LEFT SIDE ELEVATION NOTES:**
- ① 8" CONCRETE FOUNDATION
 - ② 20" X 8" CONCRETE FOOTING
 - ③ 24" X 8" CONCRETE FOOTING
 - ④ 25 YEAR FIBERGLASS SHINGLES WITH SEAL DOWN TABS
 - ⑤ METAL FLASHING (CORROSION RESISTANT)
 - ⑥ JAMES HARDIE CEMENT BOARD SIDING COMPLIES WITH ASTM C1186, TYPE A, GRADE II
 - ⑦ JAMES HARDIE CORNER TRIM OR EQUAL
 - ⑧ DELETED NOTE
 - ⑨ GRADE- SLOPE 1/2' TO 1'-0" FOR A MIN. 10'- 0" OR TO SWALE
 - ⑩ PRE- FINISHED VINYL TRIM
 - ⑪ CONCRETE STEP
 - ⑫ BRICK VENEER
 - ⑬ INTERLACE SHINGLES OVER 30 LB. FELT UNDERLAY
 - ⑭ 2 - #5 RODS - EXTEND 2'-0" PASS WINDOW OPENING WHERE POSSIBLE (TYPICAL)
 - ⑮ SHINGLE VENT II RIDGE VENT OR EQUAL
 - ⑯ OUTLINE OF ROOF BEYOND
 - ⑰ DELETED NOTE
 - ⑱ STONE VENEER
 - ⑳ PRECAST STONE SILL



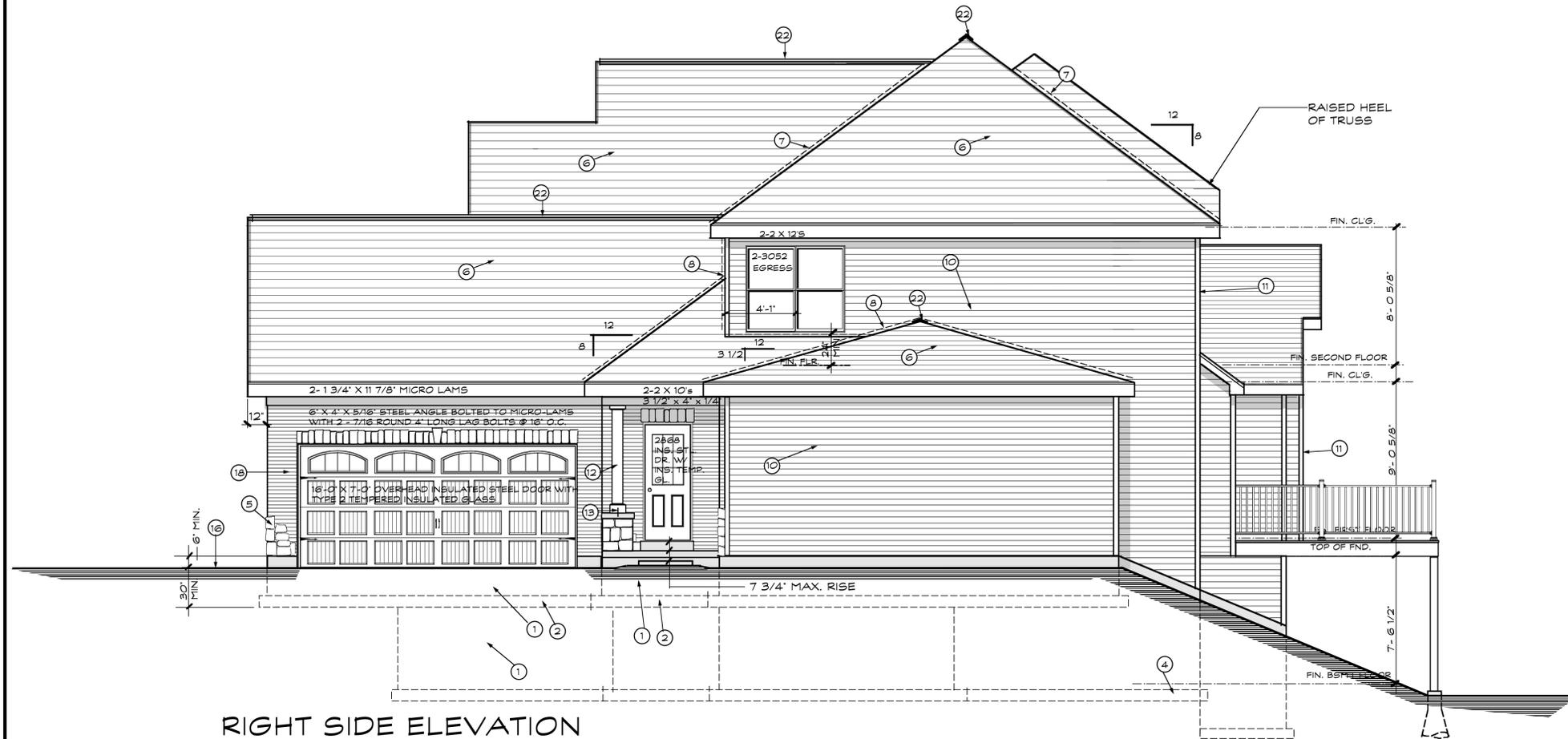
REAR ELEVATION

SCALE: 1/4" = 1' - 0"

PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.

THE "BELLERIVE"
 #21 STACY DRIVE
 OLIVETTE, MO.

STUART PATTERSON - ARCHITECT PAUL TRENDLEY - CONSTRUCTION CONSULTANT 2568 RAYMOND DRIVE ST. CHARLES, MO. 63301 PHONE : 636-946-7216 <small>Copyright 2016</small>	SHEET NO. 5 OF 10 <hr/> PLAN NO. 16-6721 <hr/> DATE: 10/12/16
<small>Drawn By: D.P. Checked By: P.T. & S.P.</small>	

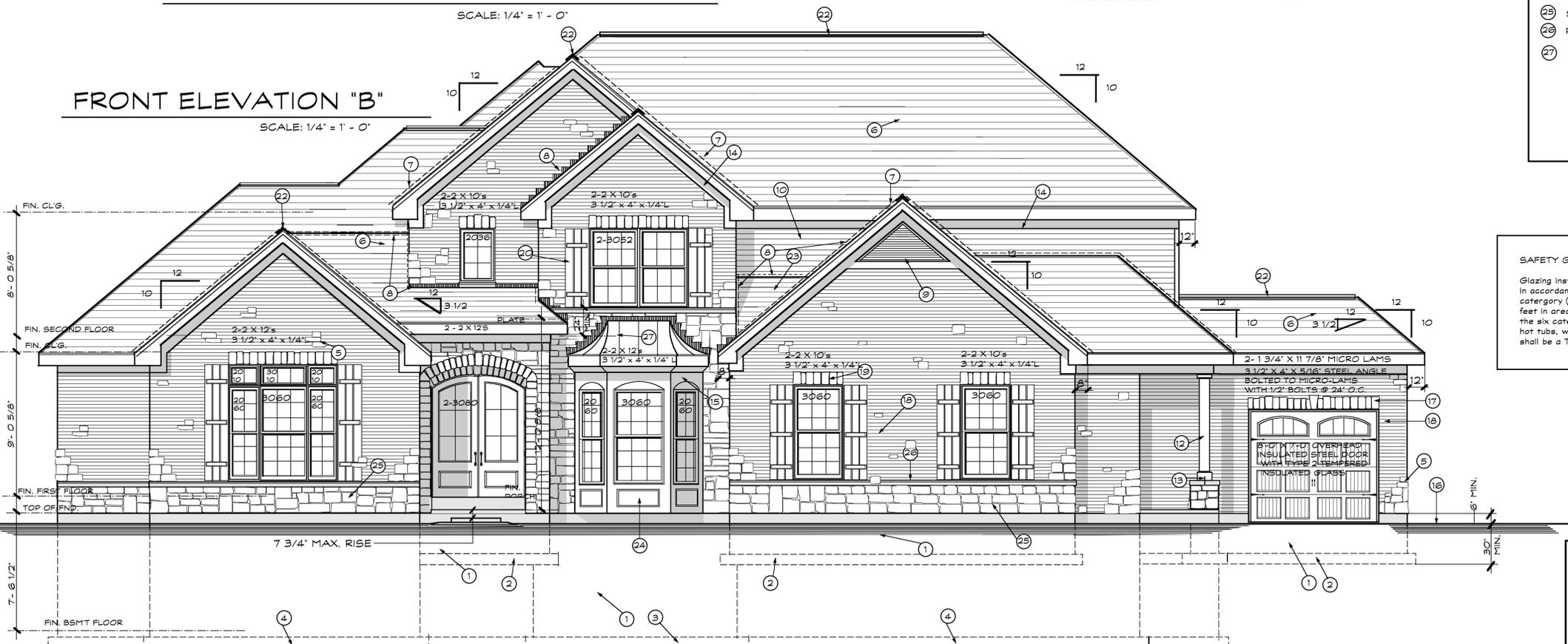


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

FRONT ELEVATION "B"

SCALE: 1/4" = 1' - 0"



FRONT "B" & RIGHT SIDE ELEVATION NOTES:

- 1 8' CONCRETE FOUNDATION
- 2 20' X 8' CONCRETE FOOTING
- 3 30' X 8' CONCRETE FOOTING
- 4 24' X 8' CONCRETE FOOTING
- 5 STONE ACCENTS
- 6 30 YEAR ARCHITECTURAL GRADE FIBERGLASS SHINGLES WITH SEAL DOWN TABS
- 7 INTERLACE SHINGLES OVER 30 LB. FELT UNDERLAY
- 8 METAL FLASHING (CORROSION RESISTANT)
- 9 64' BASE TRIANGLE FIBERGLASS LOUVER (NON VENTING)
- 10 JAMES HARDIE CEMENT BOARD SIDING COMPLIES WITH ASTM C1186, TYPE A, GRADE II
- 11 JAMES HARDIE CORNER TRIM OR EQUAL
- 12 8' SQUARE COLUMN ON A 24' X 24' X 36" HIGH STONE TIER
- 13 TECO COLUMN 'U' ANCHOR WITH 1/2" ANCHOR BOLT BOLTED TO COLUMN & MIN. 8" INTO CONCRETE
- 14 5/4' X 6' SHADOW BOARD
- 15 1' X 12' VINYL TRIM CUT
- 16 GRADE- SLOPE 1/2' TO 1' - 0" FOR A MIN. 10' - 0" OR TO SWALE
- 17 STONE SOLDIER COURSE
- 18 BRICK VENEER
- 19 ARCHED STONE SOLDIER COURSE
- 20 BOARD -N-BATTEN SHUTTERS (MANUFACTURER TO BE DETERMINED)
- 21 DELETED NOTE
- 22 SHINGLE VENT II RIDGE VENT OR EQUAL
- 23 CRICKET WITH METAL FLASHING
- 24 VINYL RAISED PANEL TRIM BOARD PANELS
- 25 STONE VENEER
- 26 PRECAST STONE SILL
- 27 COPPER ROOF WITH COPPER FLASHING

SAFETY GLAZING:

Glazing installed in the following locations shall be tested and labeled in accordance with CPSC 16 CFR Part 1201 Standard as a Type I or II category (glazing in sliding doors; any glazing exceeding 9 square feet in area required to be safety glazing in accordance with one of the six categories listed below; and all glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers shall be a Type II category and noted as such on the Architectural plans):

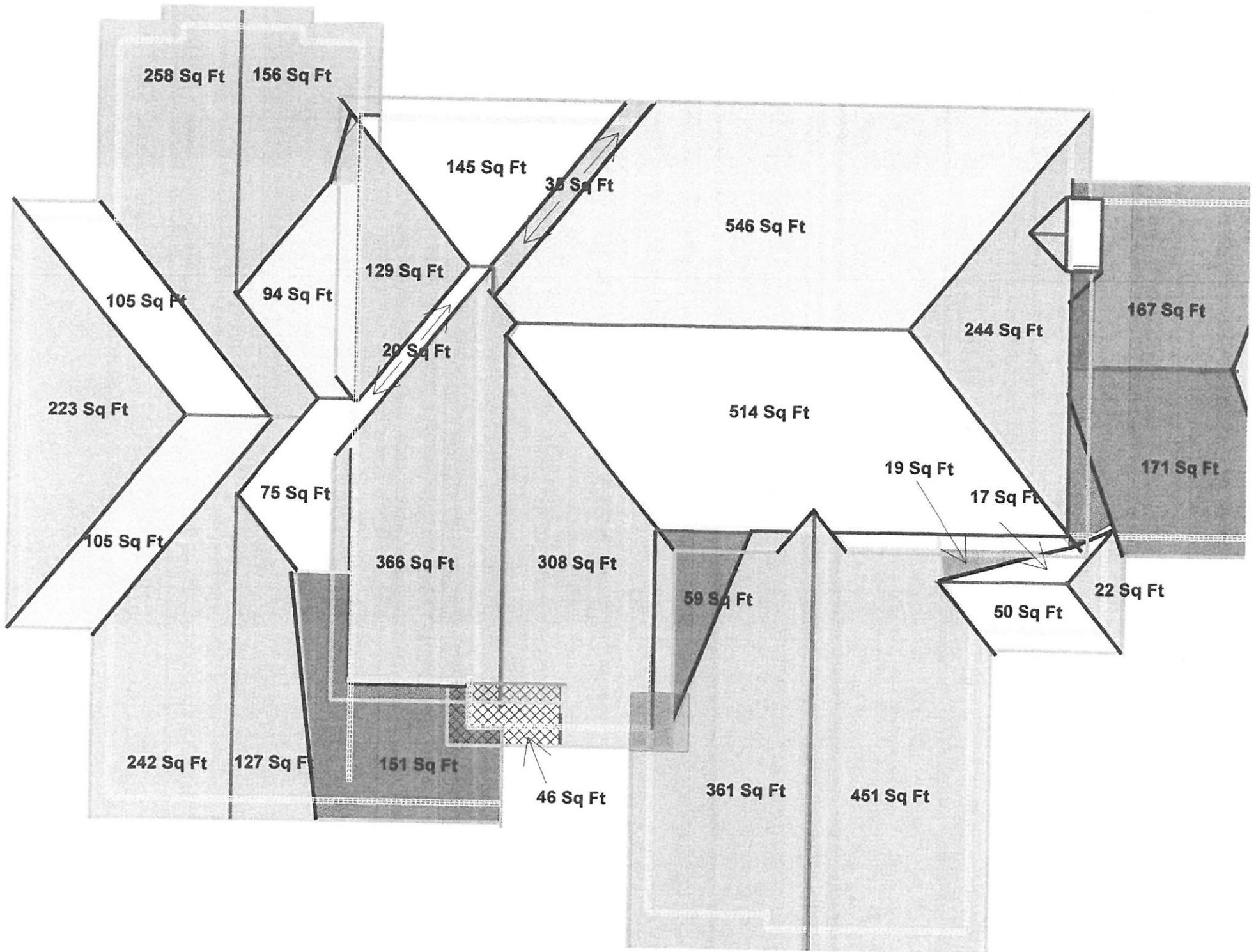
PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.

THE "BELLERIVE"
#21 STACY DRIVE
OLIVETTE, MO.

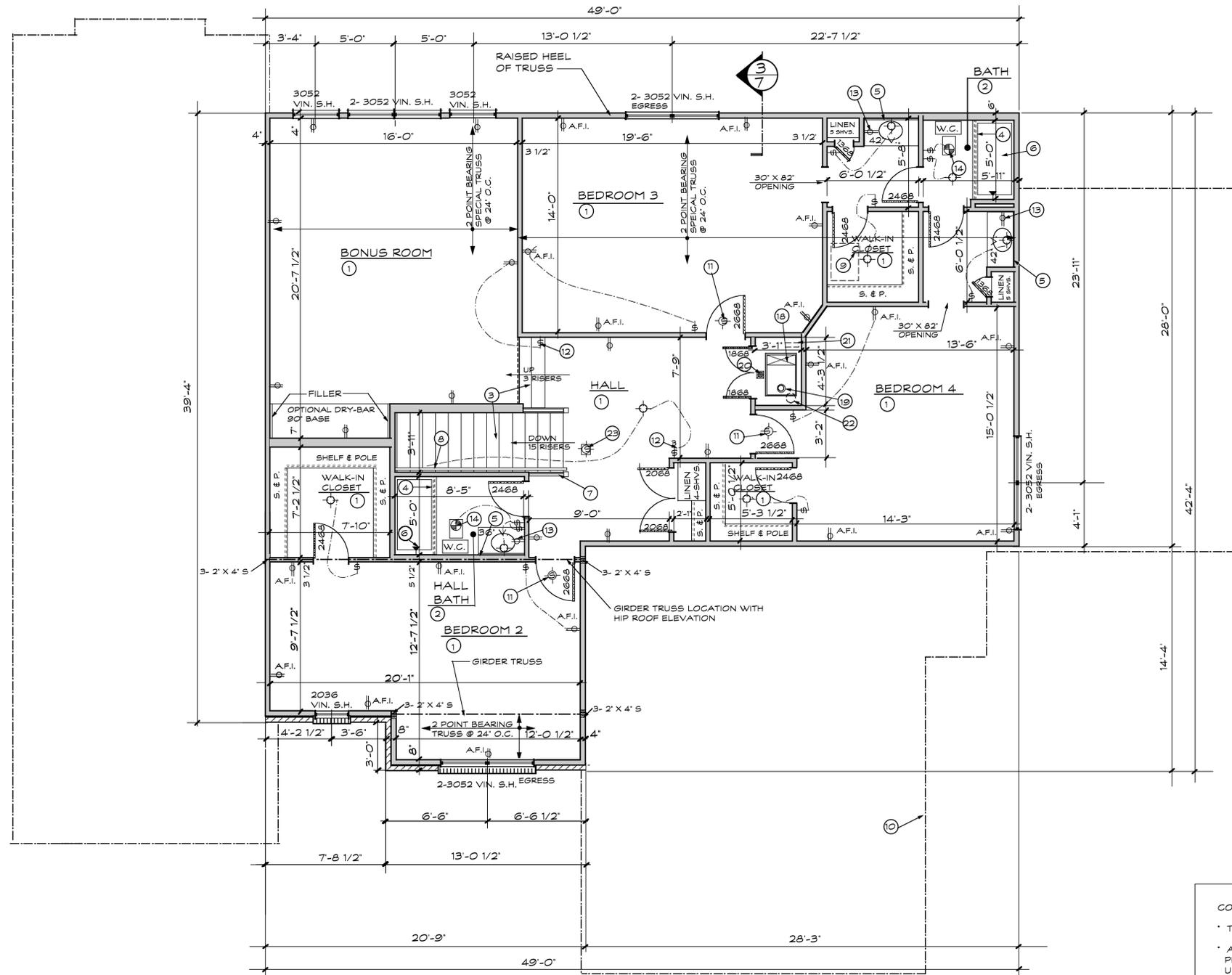
STUART PATTERSON - ARCHITECT
PAUL TRENDLEY - CONSTRUCTION CONSULTANT
2568 RAYMOND DRIVE
ST. CHARLES, MO. 63301
PHONE : 636-946-7216 Copyright 2016

SHEET NO.
4
OF 10
PLAN NO.
16-6721
DATE: 10/12/16

Drawn By: D.P. Checked By: P.T. & S.P.



NOTE:
 BOTTOM OF SECOND FLOOR WINDOWS
 TO THE FIN. FLOOR MUST BE MIN.
 24" (SEE ELEVATIONS)



- SECOND FLOOR PLAN NOTES:**
- FINISHED FLOORS**
- (1) FLOORING TO BE DETERMINED
 - (2) FLOORING TO BE DETERMINED
 - (3) CARPET ENTIRE TREAD
- BATHROOM & PLUMBING CALL-OUTS**
- (4) CURTAIN ROD
 - (5) 1/4' PLATE MIRROR
 - (6) 1-PIECE FIBERGLASS TUB
- MILLWORK & SPECIAL CARPENTER WORK**
- (7) WOOD GUARD RAIL (MIN. 36" HIGH & MAX. 4" BETWEEN SPINDLES)
 - (8) WOOD HANDRAIL (MIN. 36" HIGH & MAX. 4" BETWEEN SPINDLES)
 - (9) 22" X 30" SCUTTLE
 - (10) OUTLINE OF FIRST FLOOR
- ELECTRICAL WORK:**
- (11) A.C. POWERED I.R.C. APPROVED SMOKE DETECTOR (INTERCONNECTED) INSTALLED AS PER NFPA 72-07 WITH BATTERY BACK UP
 - (12) ILLUMINATED LIGHT SWITCH
 - (13) 120 V. ELECTRICAL RECEPTACLE GROUND FAULT INTERRUPTOR
 - (14) EXHAUST FAN MIN. 50 C.F.M. (VENT TO EXTERIOR)
- MECHANICAL & FIREPLACE CALL-OUTS:**
- (15) DELETED NOTE
- MISCELLANEOUS CALL-OUTS:**
- (16) DELETED NOTE
 - (17) DELETED NOTE
 - (18) GAS FORCED AIR FURNACE
 - (19) METAL GLASS 'B' FURNACE FLUE WITH CLEAN OUT AND U.L. APPROVED CAP (CLEARANCE TO BE COORDINATED BY MECHANICAL ENGINEERED CONTRACTORS)
 - (20) FLOOR DRAIN
 - (21) COMBUSTION AIR VENT (MIN. 50 SQUARE INCHES TO DROP WITHIN 12' OF FINISHED FLOOR) USE WITH GAS FURNACE OPTION
 - (22) RELIEF AIR VENT (MIN. 50 SQUARE INCHES AT CEILING LEVEL) USE WITH GAS FURNACE OPTION

CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

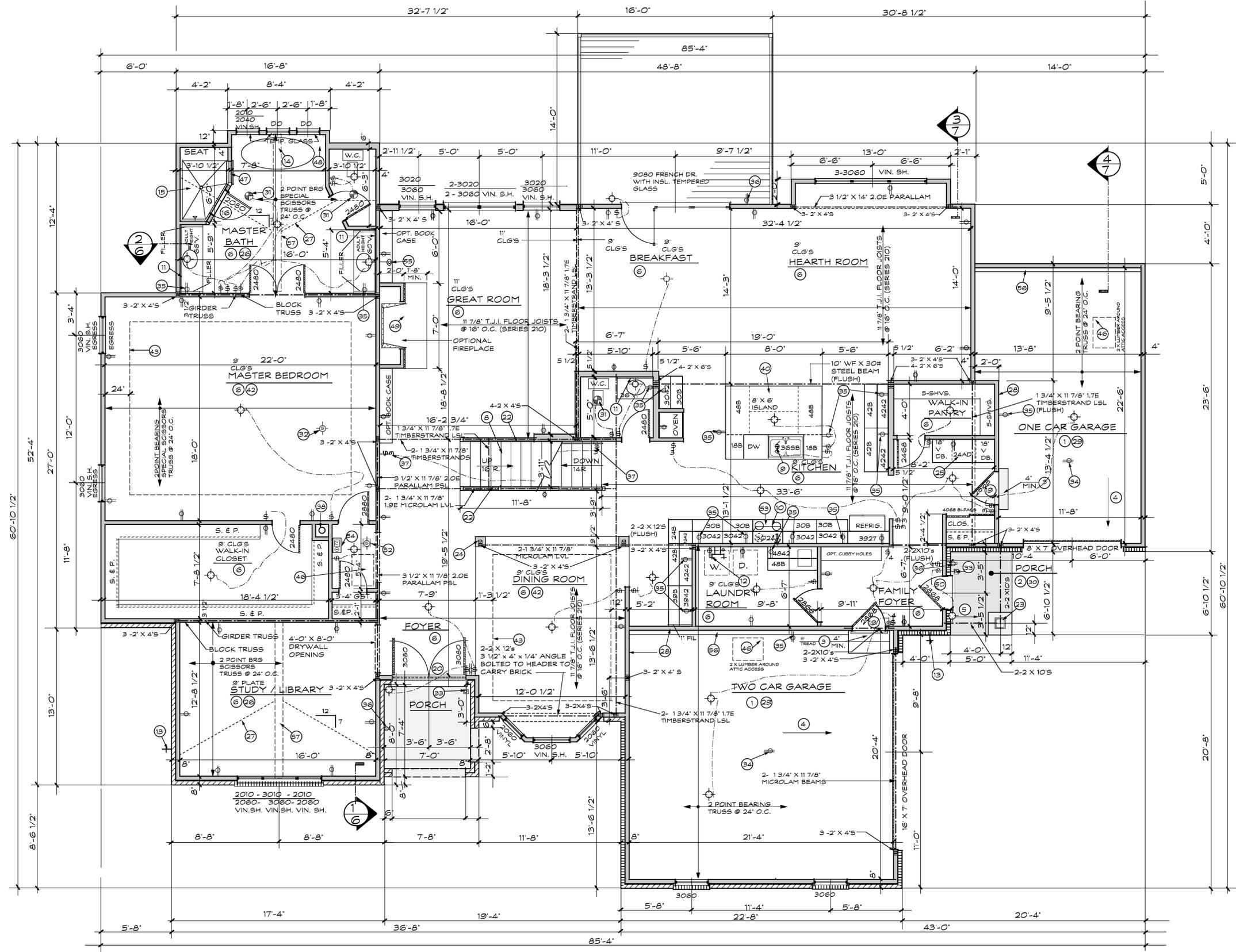
- THE INTERNATIONAL RESIDENTIAL CODE 2009 (IRC)
- ALL BRANCH CIRCUITS THAT SUPPLY 125 - VOLT, SINGLE PHASE, 15 - AND 20 - AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT
- USE GYPSUM WATER RESISTANT IN ALL WET AREAS OF BATH ROOMS (SEE GENERAL NOTES)
- ALL KITCHEN AND BATHROOM RECEPTACLES TO SERVE COUNTERTOP SURFACES SHALL BE GFCI - SECTION 210.9+8(A)(6), NEC 2008

SECOND FLOOR PLAN

1651 SQ. FT.
 SCALE: 1/4" = 1' - 0"

NOTE:
 ALL ELECTRICAL OUTLETS SHALL BE AN
 ARC FAULT INTERRUPTERS UNLESS NOTED OTHERWISE.

<p>PROPOSED MASTER PLAN FOR: McKELVEY HOMES, INC.</p> <p>THE "BELLERIVE" #21 STACY DRIVE OLIVETTE, MO.</p>	<p>STUART PATTERSON - ARCHITECT PAUL TRENDLEY - CONSTRUCTION CONSULTANT 2568 RAYMOND DRIVE ST. CHARLES, MO. 63301 PHONE : 636-946-7216 Copyright 2016</p>	<p>SHEET NO. 3 OF 10</p> <p>PLAN NO. 16-6721</p> <p>DATE: 10/12/16</p>
<p>Drawn By: D.P. Checked By: P.T. & S.P.</p>		



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

TRUSS NOTES:
 Design and manufacturer of the wood roof trusses are proprietary to the Truss Supplier. Therefore the design and performance of the project truss system is the exclusive responsibility of Truss Manufacturer. Stuart Patterson requires Truss Supplier to furnish Engineered Load Values at these supports. Any deviation from the plan must be immediately reported to Stuart Patterson for approval prior to finalization of truss design. Stuart Patterson's liability is limited to providing adequate support for the truss system.

NOTE:
 ALL EXTERIOR DOOR OPENINGS SHALL BE PROVIDED WITH A CODE COMPLIANT SET OF STAIRS, BALCONY OR DECK.
 INSTALL 4" TALL STREET ADDRESS NUMBERS ON THE HOUSE SO THEY ARE VISIBLE FROM THE STREET.

NOTE:
 Electrical Contractor shall provide grounding of foundation steel to meet 2008 National Electric Code
 All electrical outlets shall be an ARC FAULT INTERRUPTORS unless noted otherwise

- FIRST FLOOR PLAN NOTES:**
- CONCRETE FLATWORK**
- 4" CONCRETE SLAB OVER #4 STEEL REBAR ALIGNED IN A 4' X 4' GRID PATTERN OVER 4" CRUSHED ROCK
 - 4" CONCRETE SLAB OVER COMPACTED FILL
 - CONCRETE STEP
 - SLOPE GARAGE FLOOR MIN. 1/8" PER 1' - 0" TO GARAGE DOOR
 - SLOPE PORCH FLOOR 1/4" TO 12"
- FINISHED FLOORS**
- FLOORING TO BE DETERMINED
 - DELETED NOTE
 - TREADS TO BE DETERMINED
- KITCHEN & CABINETS CALL-OUTS**
- DISPOSAL
 - COOK TOP UNIT IN A 30" R.B. WITH HOOD ABOVE (VENT HOOD TO EXTERIOR) MIN. 100 C.F.M. (OPTIONAL)
- BATHROOM & PLUMBING CALL-OUTS**
- 1/4" PLATE MIRROR
 - PROVIDE LAUNDRY "SPACE SAVER" HOT & COLD WATER. 2" ROUND LAUNDRY DRAIN, 120 V. & 220 V. ELECTRIC SERVICE FOR DRYER (VENT DRYER TO EXTERIOR)
 - NO FREEZE HOSE BIBB
 - ACRYLIC TUB IN A CERAMIC TILE RAISED PLATFORM
 - CERAMIC TILE BASE WITH CERAMIC TILE WAINSCOT WALLS - CULTURED MARBLE WALLS OPTIONAL
 - 2' - 0" TEMPERED GLASS SWINGING DOOR
 - KNEE SPACE
 - OPTIONAL FIBERGLASS LAUNDRY TUB
- MILLWORK & SPECIAL CARPENTER WORK**
- 2868 6" PANEL INSULATED STEEL 20 MINUTE FIRE DOOR
 - IRONS LION TRADITIONAL 6 LITE FRONT DOOR
 - DELETED NOTE
 - WOOD HANDRAIL (MIN. 34" TO 38" HIGH)
 - 8" SQUARE COLONIAL COLUMN (VARIES WITH ELEVATION)
 - 10" DRYWALL COLUMN WITH PLANT MOULD PICTURED FRAMED AROUND
 - PLANNING DESK WITH KNEE SPACE (OPTIONAL)
 - VAULTED CEILING (STANDARD)
 - OUTLINE OF VAULTED CEILING
- SPECIAL WALL CEILING FINISHES**
- 2' X 4' FULLY INSULATED (R-13) STUD WALL WITH 5/8" TYPE 'X' DRYWALL ON BOTH SIDES TO FINISHED CEILING
 - CEILING - 1/2" DRYWALL
 - CEILING - VINYL VENTED SOFFIT SYSTEM
- ELECTRICAL WORK:**
- EXHAUST FAN MIN. 50 C.F.M. (VENT TO EXTERIOR)
 - A.C. POWERED I.R.G. APPROVED SMOKE DETECTOR (INTERCONNECTED) INSTALLED AS PER NFPA 72-07 WITH BATTERY BACK UP
 - DOORBELL
 - 120 V. ELECTRICAL RECEPTACLE FOR FUTURE GARAGE DOOR OPENER
 - 120 V. ELECTRICAL RECEPTACLE GROUND FAULT INTERRUPTER
 - WATERPROOF 120 V. ELECTRICAL RECEPTACLE (GROUND FAULT INTERRUPTER)
 - ILLUMINATED LIGHT SWITCH
- MECHANICAL & FIREPLACE CALL-OUTS:**
- METAL CLASS 'B' FURNACE FLUE
 - 42" WIDE DIRECT VENT GAS LOG FIREPLACE WITH MARBLE SURROUND AND WOOD MANTEL (BOTTOM OF FIREPLACE 6" OFF FIN. FLOOR) OR VENTLESS FIREPLACE
- MISCELLANEOUS CALL-OUTS:**
- CANTILEVERED BAR TOP
 - 2' X 4' RAFTERS @ 24" O.C. / 2' X 4' CEILING JOIST @ 24" O.C. (#2 CONSTRUCTION GRADE)
 - OPTIONAL TRAY CEILING (8" DROP)
 - OUTLINE OF TRAY CEILING (STANDARD)
 - OPTIONAL VAULTED CEILING
 - OUTLINE OF SECOND FLOOR
 - 22' X 30" SCUTTLE
 - SHOWER WALL TO BE SAME HEIGHT AS TUB DECK W/ CULTURED MARBLE CAP WITH TEMPERED GLASS PARTITION ABOVE FRAMED TUB DECK WITH CERAMIC TILE OVER
 - OPTIONAL 42" WIDE DIRECT VENT GAS LOG FIREPLACE WITH MARBLE SURROUND AND WOOD MANTEL (6" OFF FIN. FLOOR)
 - 2868 INSULATED STEEL DOOR WITH TYPE II INSULATED TEMPERED GLASS
 - CARBON MONOXIDE DETECTOR TO COMPLY WITH UL#2034-2008
 - 30" ELECTRIC SLIDE-IN COOK UNIT WITH HOOD ABOVE (VENT HOOD TO EXTERIOR) (STANDARD)
 - PROGRAMMABLE THERMOSTAT (EXACT LOCATION TO BE DETERMINED BY HEATING CONTRACTOR)
 - COMMUNICATION OUTLET SHALL BE CABLED TO THE SERVICE DEMARCATION POINT
 - OUTLINE OF FOUNDATION
 - 8' X 8' CLEAR WHITE PINE BEAM (PAINTED)

PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.
 THE "BELLERIVE"

STUART PATTERSON - ARCHITECT
 PAUL TRENDLEY - CONSTRUCTION CONSULTANT
 2568 RAYMOND DRIVE
 ST. CHARLES, MO. 63301
 PHONE : 636-946-7216 Copyright 2013

SHEET NO.
2
 OF 10
 PLAN NO.
15-6621
 DATE: 8/26/15

Drawn By: D.P. Checked By: P.T. & S.P.



City of Olivette Public Services
Department of Planning and Community Development
1200 North Price Road
Olivette, MO 63132

(314) 993-0252 (Office)
www.olivettemo.com

DEPARTMENT MEMORANDUM

DATE: NOVEMBER 17, 2016
TO: PLANNING AND COMMUNITY DESIGN COMMISSION
FROM: CARLOS TREJO, AICP
DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT
RE: 21 STACY DRIVE
PETITION FOR COMMUNITY DESIGN, SITE PLAN, & CONCEPT STORMWATER MANAGEMENT
PLAN REVIEWS

PETITIONER: Charles Brennan
McKelvey Homes, LLC
ENGINEER: Pickett, Ray, and Silver, Inc.
ARCHITECT: Stuart Patterson

Item introduced: November 17, 2016
Commission has sixty (60) days to act. No later than January 16, 2017

STAFF SUMMARY

1. Petition for a two level home with 2-car side entry and recessed front-entry garage. Subject to Community Design Review, Site Plan Review, and Concept Stormwater Management Plan Review.
2. Zoning: SR Single Family Residential District. Given the calculated lot width is below the 100-ft. minimum (Section 400.235), this lot is subject to Site Plan Review.
3. Community Design Review: Staff finds the design of the home compliant with the spirit and intent of the 7-adopted design principles outlined in the *Olivette Residential Redevelopment and Design Guidelines*.
4. Site Plan Review. Staff has evaluated potential impacts of proposed development upon surrounding uses and activities, and finds reasonable steps have been taken to minimize the negative effects upon the surrounding built and natural environment as well as upon the subject site itself.
5. Concept Stormwater Management Plan Review. Staff finds the petition in conformance with the Intent and Purpose outlined under Chapter 422 Stormwater Management, specifically with the purpose of the Chapter as outlined under Section 422.020.C.
6. Miscellaneous points:
 - While the lot is over 32,000 sf. in area, the unique shape along the cul-de-sac and the established front yard setback of the subdivision limit the lot width to just under 75-feet. This minimizes the side yard setbacks and also requires the petition to undergo Site Plan Review.
 - The existing home first floor grade is below the street curb along Stacy Drive.
 - The building footprint is increasing by 1,200 sf., but the overall lot coverage is only increasing by 388 sf. (7.3%). The plans proposed capture of the entire roof area, which is larger in area than the existing home.
 - A large oak tree within the front yard building setback is proposed to be removed. A neighboring property owner has expressed concern or its location and removal.
 - The floor elevation of the new home will be 5-feet higher than the existing, which may increase the velocity of runoff. Plans illustrate a swale that should be maintained to protect the neighbor to the south.

Should the Commission consider action on the petition, staff recommends the following motion:

SUGGESTED MOTION: The Commission should consider the following motion in the affirmative as follows:

Motion to approve the Community Design Review, Site Plan Review, and Concept Stormwater Management Plan Review for the Petition for a new single family home at 21 Stacy Drive, as presented in the Memorandum from the Department of Planning and Community Development dated November 17, 2016, subject to any staff conditions noted therein.

ATTACHMENTS:

- Staff Report
- Staff Review Letter (October 31, 2016)
- Staff Review Letter (October 21, 2016)
- Stormwater Review Comments
- Project Report
- Petition Application

RECOMMENDED CONDITIONS FOR APPROVAL:

Should the Commission consider approving the petition as submitted, staff recommends that at a minimum the Commission consider the following conditions as part of any action:

1. At the time of application for a building permit, the Petitioner shall submit a final Site Improvement Plan for review by the City's Stormwater consultant for determination of required installation and final inspections. The number of required inspections shall not exceed three. Each required inspection is \$250 and shall be paid by the Petitioner at the time the permit is issued.
2. Prior to the scheduling of the final building permit inspection, an as-built survey showing the following minimum items shall be submitted for staff review:
 - a. Elevations of finished flat work, including the elevation grade of all corners,
 - b. Location of any Stormwater improvements, and
 - c. Elevation spots of the lot grading conditions, including, but not limited to, elevation points of all swales, including high and low points.
3. The top of foundation elevation be limited to no more than 677.00. Staff shall be provided an opportunity to require additional grading changes to the site, including adjusting the proposed top of foundation, as necessary to control/limit stormwater runoff on the site and to adjacent properties.
4. Building Permit Plans shall be in compliance with the Commission reviewed plans consisting of architectural plans provided by Stuart Patterson, with a revision date of October 12, 2016, and site improvement plans provided by Pickett, Ray & Silver, Inc., with a revised date of November 9, 2016, subject to any required modifications noted herein.
5. Verification of the proposed building setbacks, the location of the footing forms, and an estimation of the overall residential building height based on the elevation of the footing forms are to be provided by a registered surveyor of the State of Missouri to the Building Division before the pouring of the building footings.
6. Any exposed portions of the foundation wall along Stacy Drive and the site elevation along the north and south in which the foundation wall exceeds a height of one foot (1') above the approve finished grade shall have an exterior finish cover equal to that of the overall exterior elevation finish. Building plans submitted at the time of building permit application are to be reflective of this condition.

Only a simple majority of the Commission is necessary to approve the Petition for Community Design Review, Site Plan Review, and Concept Stormwater Management Plan.

ZONING ANALYSIS

BUILDING AREA AND COVERAGE								
PROPOSED BUILDING				SITE COVERAGE				
First Floor Habitable	2,891	sf.		Lot Area	32,584	sf.		
Attached Garage	765	sf.						
Total Building Footprint	3,656	sf.		Existing Site Coverage			Percent	
				Building Footprint	2,429	sf.	7.5%	
Second Floor	1,650	sf.		All other areas	2,887	sf.	8.9%	
TOTAL	5,306	sf.		TOTAL EXISTING	5,316	sf.	16.3%	
w/o garage	4,541	sf.						
				Proposed site coverage			Percent	
Maximum Code Allowed				Building Footprint	3,656		11.2%	
Resd. FAR @ 0.30 or 3,500	9,775	sf.		All other areas	2,048	sf.	6.3%	
Site Coverage @ 25% or 2,500 sf.	8,146	sf.		TOTAL PROPOSED	5,704	sf.	17.5%	
	50		1	Change			Numerical	
Roof Area to Capture (Acres)				Building Footprint	1,227	sf.	Percent	
0.0839				All other areas	(839)	sf.	-29.1%	
Detention for Roof Area (CFS)				TOTAL	388	sf.	7.3%	
BUILDING SETBACKS, existing and proposed								
				Code	Building Setbacks		Distance from Neighbor	
				Rqd.	Existing	Proposed	Existing	Proposed
Front yard	Stacy Dr east)			40.0 ft.	45.3 ft.	49.4 ft.	not applic.	not applic.
Side yard	(Left- south)			6.0 ft.	11.7 ft.	10.1 ft.	40.9 ft	39.3 ft.
Side yard	Right- north)			6.0 ft.	12.1 ft.	19.7 ft.	26.8	34.4
Rear yard	(Rear- west)			29.5 ft.	78.4 ft.	72.0 ft.	not applic.	not applic.

FOUNDATION WALL EXPOSURE-per building corner										
Corner Grades				Existing	Proposed	T.O. F.	Wall Exposure			
SE	Stacy	left		672.0	674.0	677.0	3.0			
NE	Stacy	right		673.1	676.3	677.0	0.7			
SW	Rear-	left		668.5	668.0	677.0	9.0			
NW	Rear-	right		672.3	676.3	677.0	0.7			
RESIDENTIAL BUILDING HEIGHT-per building elevation										
Stacy Dr - Building Elevation-East				Left	Right	Average Grades	T.O.F.	Bldg. Height	Overall Bldg. Height	
				Existing	672.0	673.1	672.6	677.0	30.5	35.0
				Proposed	674.0	676.3	675.2	677.0	30.5	32.4
Left side building elevation-South										
				Existing	672.0	668.5	670.3	677.0	30.5	37.3
				Proposed	674.0	668.0	671.0	677.0	30.5	36.5
Right side building elevation-North										
				Existing	673.1	672.3	672.7	677.0	30.5	34.8
				Proposed	674.0	676.3	675.2	677.0	30.5	32.4
Rear Building Elevation-West										
				Existing	668.5	672.3	670.4	677.0	30.5	37.1
				Proposed	668.0	676.3	672.2	677.0	30.5	35.4
* All grades and heights are measured in feet.										

COMMUNITY DESIGN REVIEW

Section 425.050 Review Procedures—Single Family Residential Structures.

- A. The Commission shall prepare and apply design review guidelines for single-family residential buildings and structures, which said guidelines shall be approved by the Council and which may be amended from time to time...
- C. The Planning and Zoning Administrator shall forward the application to the Commission along with a written evaluation thereof, including such recommendations as the Administrator deems appropriate...
 2. After its review the Commission shall approve or deny the application. In approving an application the Commission may impose conditions and restrictions on the approval, which shall be enforced by the Administrator.
 3. Unless an extension of the time for review is requested in writing by the applicant, failure of the Commission to act within sixty (60) days of the date of the meeting at which the application is first considered shall constitute approval.

Olivette Residential Redevelopment and Design Guidelines

DESIGN PRINCIPLES: Elements to Be Reviewed

Architectural design is a combination of art and science. These guidelines are neither permissive, nor prohibitive. While they express the principles...to consider..., they are intended as a starting point for creative and diverse design. Some design elements may work well in one context, but not work in another. A house design is not judged solely on the basis of conformity to the guidelines, but how well all of the design elements combine and work together in the context of...site,...street and...neighborhood.

An important part of the City's review and approval of new homes relates to elements of design. There aren't always clear rules telling...what "good" design looks like, and it is hard to explain the design principles the City wants to encourage in words alone. But there are common design elements that provide for compatibility with existing neighborhoods.

... The City's evaluation of the proposed design of your new home will generally focus on the elements described...

... other elements may also be considered in accord with the guidelines about neighborhood, street, neighbors and site already explained.

STAFF ANALYSIS:

MASSING. The proposed home features a recessed single-story garage nearest to the neighbor to the north. The proposed home features a hip roof design over a 1-story segment of the home to the south. Staff finds the massing of the home compliant with the spirit and intent of the Guidelines.

ROOFS. Roof pitches vary from 8:12 and 10:12. Roof elevations nearest to the adjacent homes feature a step down approach. Staff finds the rooflines of the home compliant with the spirit and intent of the Guidelines.

GARAGES. The plans depict a two car side entry garage that protrudes 13.5-feet from an intersecting foundation wall. The single car front entry garage is recessed. Both doors contain decorative features. Other homes in the subdivision feature a similar garage style. The garage design of the proposed home appears to be in compliance with the spirit and intent of the Guidelines

ELEVATION ARTICULATION. Portions of the sides feature brick, siding, multiple breaks in the roof and walls. Elevation appears similar to other homes in the subdivision. Staff finds the four building elevations compliant with the spirit and intent of the Guidelines.

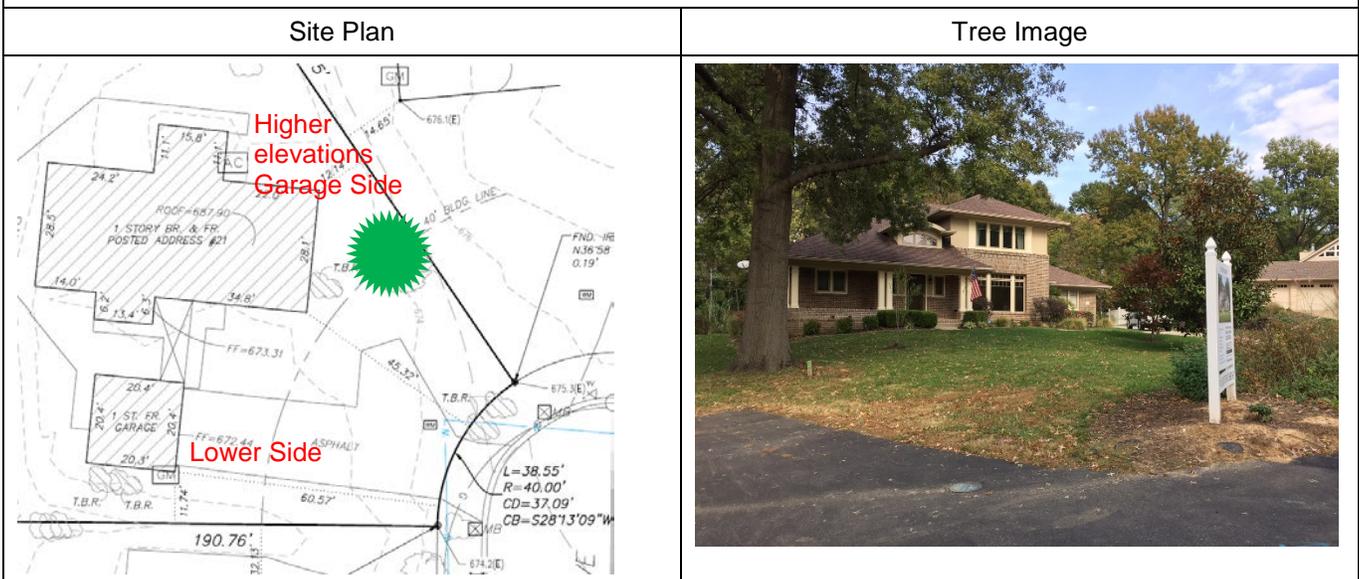
MATERIALS. The front elevation proposes brick and stone material finishes. The sides feature a combination of siding, brick and stone. The rear contains all siding. Staff finds the building materials compliant with the spirit and intent of the Guidelines.

Proposed Home & Neighboring Homes



TREE PRESERVATION. The site plan showing existing conditions illustrates a 48-inch caliper tree within the front yard setback area and behind the building line near the side property line to the north. The existing garage sits on the lower side of the lot to the south. The proposed plans shifts the garage to the north, a higher elevation. Although this is a mature tree, off-street parking areas are routinely placed in this spot. The tree is to be removed. Staff believes the removal of this tree complies with tree preservation principles.

Tree Preservation



SITE GRADING.

The lot slopes significantly from north and east (higher elevations) to south and west (lower elevations). The corner grade elevations of the proposed home have been raised 2-feet at the south and 3.2-feet at the north. The top of foundation will increase 4.8-feet in height. The lot corner is 675.3. The existing ground elevation at the corner of the proposed home is 673.1. The proposed home corner grade is 676.3. The home to the south sits lower than the street.

Staff finds concern with the following:

- Front yard site grading

- The foundation of the home has been raised. It appears Stormwater generated on the impervious driveway area will travel to the street.
 - The remaining front yard area may sheet flow to the south.
- Side Yard Grading North
 - The grades between the subject lot and the lot to the north will resemble a valley as the neighbor's nearest corner grade is 676.1. The proposed corner grade of the home is 676.3, a change from 672.3.
- Side Yard Grading South
 - The grades will increase by 2-feet in height. The existing grade at the nearest corner elevation is 672.0. The proposed is 674. The height difference may affect the velocity of Stormwater runoff that runs between properties. Staff noted the importance of continuing a swale to protect the neighboring that sits at the lower elevation.
- Rear Yard Grading
 - Stormwater should naturally flow to the southwest corner of the lot where a rear inlet sits. Top elevation 663.57.

CONCEPT STORMWATER MANAGEMENT

The evaluation of a **Concept Stormwater Management Plan** is intended to ensure the adequate review and consideration of potential stormwater management impacts of proposed site alterations upon the surrounding uses, activities, properties, the existing stormwater infrastructure, and the watershed, and that the site alterations adhere to the principles and acceptable practices... (Sec. 422.070.A)

Chapter 422.020 Intent and Purpose.

- A. This Chapter is intended to be utilized in conjunction with the Zoning Ordinance, Subdivision Code, Stream Buffer Protection Ordinance and Excavations and Grading Ordinance of the City of Olivette, Missouri, to ensure that the development of land in the City of Olivette occurs in a manner that protects, provides for and promotes the public health, safety, convenience, comfort and general welfare of the residents of Olivette...
- C. Specific purposes of this Chapter include the following:
1. To control and manage stormwater on developed property;
 2. Minimize adverse stormwater effects on adjoining and nearby properties;
 3. Improve the water quality and limit the sources of impairment within adjacent streams, basins and watersheds;
 4. Commit the City of Olivette to the St. Louis County Phase II Stormwater Management Plan;
 5. To ensure the orderly development of land; and
 6. To protect and to conserve the value of building and other improvements and to minimize adverse impact of development on adjoining or nearby properties.

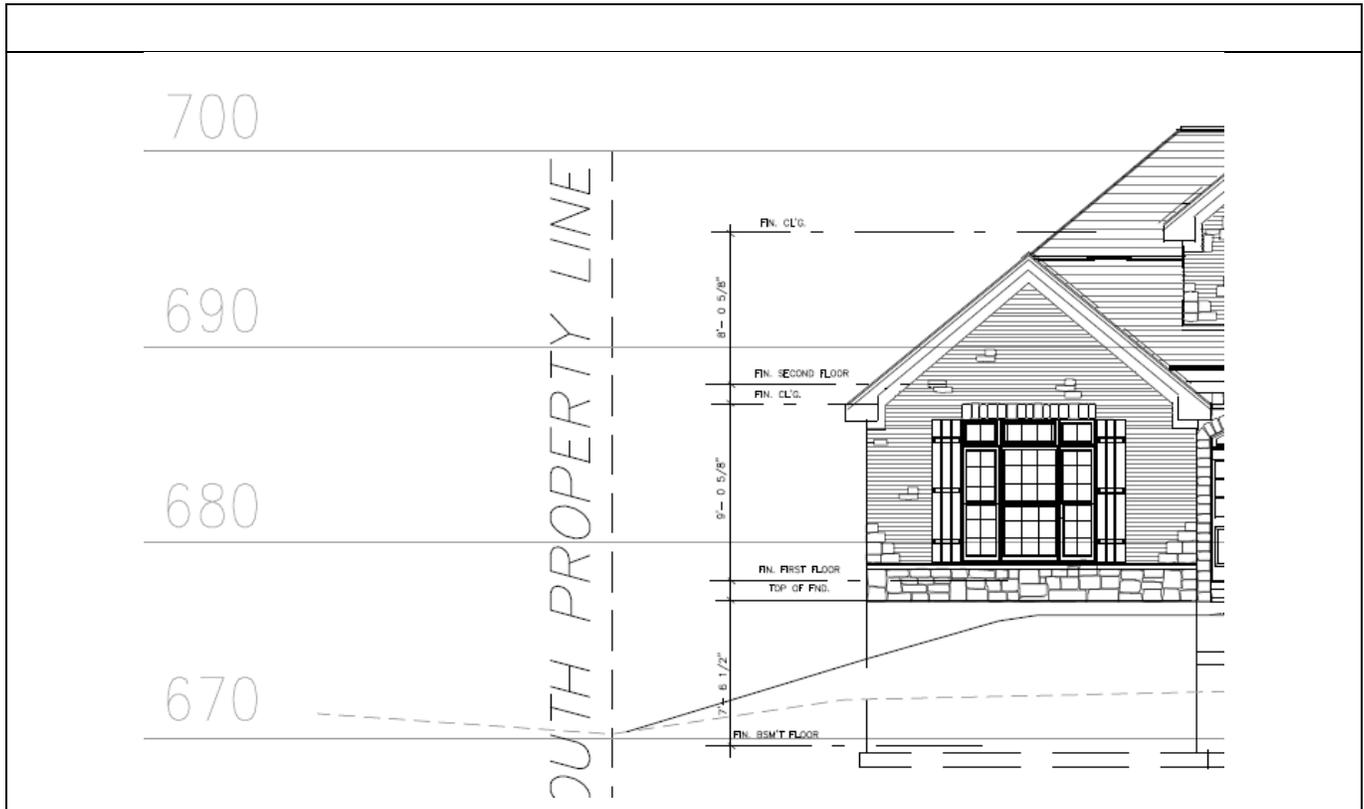
Section 422.060 Principles and Acceptable Practices.

The City of Olivette recognizes that redevelopment of property, either in the form of expansion or new construction, in a developed community is unique and challenging as it relates to managing stormwater. Given that redevelopment in Olivette, whether residential or non-residential, occurs on a lot by lot basis, addressing stormwater issues that go beyond the scope of the property being developed is limited.

1. In an effort to adequately plan for and resolve stormwater issues on a City-wide basis as individual lots redevelop, the adoption of the following underlying principles are intended to provide the City guidance during the review of site alterations. These principles will be applied so as to manage stormwater on two (2) levels:
 - a. The stormwater impacting the property under review from adjacent and surrounding properties, and
 - b. The impacts of the stormwater generated by the existing and proposed improvements on the property grounds under review onto adjacent and surrounding properties.
2. These principles and acceptable practices will be utilized by the City to manage the current level of stormwater generated on a site and to minimize the adverse impact of any increase of stormwater onto adjacent and surrounding properties. These principles and acceptable practices are to manage stormwater and should not be construed as a means for reducing or eliminating stormwater that is already generated on or surrounding the site.
3. Applications for site alterations approvals shall be designed and reviewed to adhere to the following adopted principles:
 - a. Limit unnecessary disturbance of preserved greenspace, buffers, zoning setbacks, and sensitive areas such as flood plains and stream buffers.
 - b. Minimize the amount of impervious surface areas such as rooftops, parking lots, sidewalks, roads, etc.
 - c. Avoid the direct flow of stormwater generated from impervious surface areas to the storm sewer system.
 - d. Encourage the stormwater generated on the site grounds to filter, disperse and permeate on the site grounds through the use of overland flow to vegetated buffers and other "green" infrastructure techniques that promote infiltration.
 - e. Promote the use of pervious surface materials, such as permeable paver blocks, porous asphalt, porous concrete and green roofs.
 - f. Encourage the installation of engineered systems that treat stormwater runoff and/or reduce peak stormwater runoff rates using techniques that employ vegetation and infiltration.
 - g. Discourage the use of underground stormwater detention facilities.
 - h. Minimize stormwater generation and the amount of stormwater leaving the site.
 - i. Minimize erosion of site soils.
 - j. Minimize stream bank erosion.
 - k. Minimize the impact to environmentally sensitive areas.
 - l. Adequately treat stormwater before discharge.
 - m. Stormwater controls shall be maintainable and enforceable.
 - n. Minimize downstream flooding.

STAFF ANALYSIS:

- Staff and the Petitioners met with neighbors of the property on Friday, November 2, 2016.
- Stormwater concerns were discussed, specifically the swale between the property to the south.
- The concept Stormwater management plan demonstrates the capture of the proposed roof area.
- In trying to maximize the area where Stormwater can flow and penetrate into pervious surface area, the pop-up emitters were shifted to a location that allows for overflow to sheet flow over grass prior to either leaving the site.
- Staff notes the grades have increased which allows for water generated on the off-street parking areas to drain towards the street. While the slopes closer to the neighbor to the south have increased significantly, the existing off-street parking area has been exchanged for a grassy area.



Current South Property Line Swale-Street View Looking West



South Property Line Swale-Neighboring Property Looking West



SITE PLAN REVIEW

Section 400.1050 Intent and Purpose.

- A. The evaluation of a **Site Plan Review** procedure is intended to ensure the adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities. The uses to which this procedure applies are permitted in accordance with specified standards within the designated districts.
- B. The site plan shall demonstrate that all reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself including, but not limited to, provision for public utilities, especially storm drainage; visual buffering of buildings; parking; traffic and other activities; noise from traffic and other activities; pedestrian convenience and safety; provision of landscaping, open space and recreation facilities; signs and other identification; impact on public facilities such as schools; effect on public income and expenditures and similar considerations.

STAFF ANALYSIS

Staff has reviewed the petition application for a new home at 21 Stacy Drive. Review has consisted in the conformance with the City's Zoning Regulations, evaluation of the Olivette Residential and Redevelopment Design Principles, and assessment in accordance with Chapter 422 Stormwater Management.

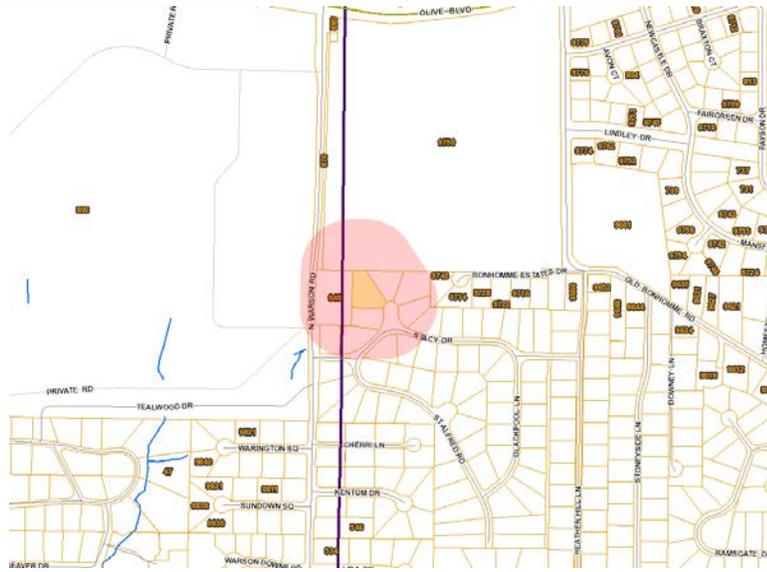
While concerns have been expressed to the Petitioner in the attached letter dated, October 21, 2016, and subsequently in the letter dated October 31, 2016. Primary concerns noted were as follows:

- Raising the elevation of the home five feet (5');
- Enhancements to the swales along both sides of the property;
- The removal of existing trees;
- Relocation of the pop-up emitters for the proposed gravel infiltration trench; and
- Clarification on the details/cross sections of the proposed gravel infiltration trench.

Staff finds all reasonable steps have been taken to minimize the negative effects of a proposed development upon the surrounding built and natural environment as well as upon the subject site itself.

REFERENCES

LOCATION MAP



AERIAL



1. I suggest moving the pop-up emitter in the rear yard to a point about 30 feet south of the north end of the rock trench. This will keep the outflow from the emitter on this property and better direct it to the inlet at the southwest property corner rather than onto the property to the south.
2. I suggest moving the pop-up emitter in the front yard to the north end of the rock trench. This will keep the outflow from the emitter on this property and better direct it toward the street rather than onto the property to the south.
3. Plans should reflect a new swale near the south property line from the most southern new house corner to the inlet at the southwest property corner.
4. PRS should modify their notes under both Volume to be Detained headings to make it clear that the depth dimension is the depth of rock in the trench and not the excavation depth. It is also unclear what the "(on low side)" wording is saying. I would like to see that wording clarified.

VOLUME TO BE DETAINED:

FRONT YARD = 252 Cu.Ft.

A 40'L x 4'W x 4'D (ON LOW SIDE) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VOIDS IN THE GRAVEL YIELDS A VOLUME OF 256 Cu.Ft.

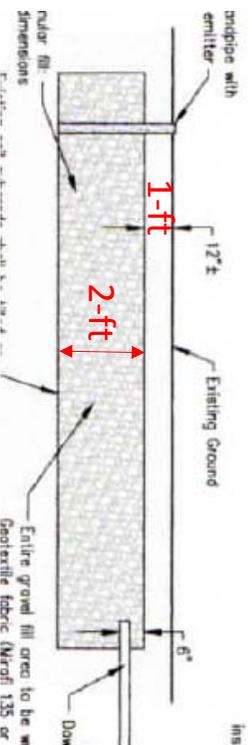
VOLUME TO BE DETAINED:

REAR YARD = 264 Cu.Ft.

A 90'L x 4'W x 2'D (ON LOW SIDE) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VOIDS IN THE GRAVEL YIELDS A VOLUME OF 288 Cu.Ft.

'on low side' please clarify

The gravel pit calls for a depth of 2-ft deep. The depth of the entire hole should be 3-feet



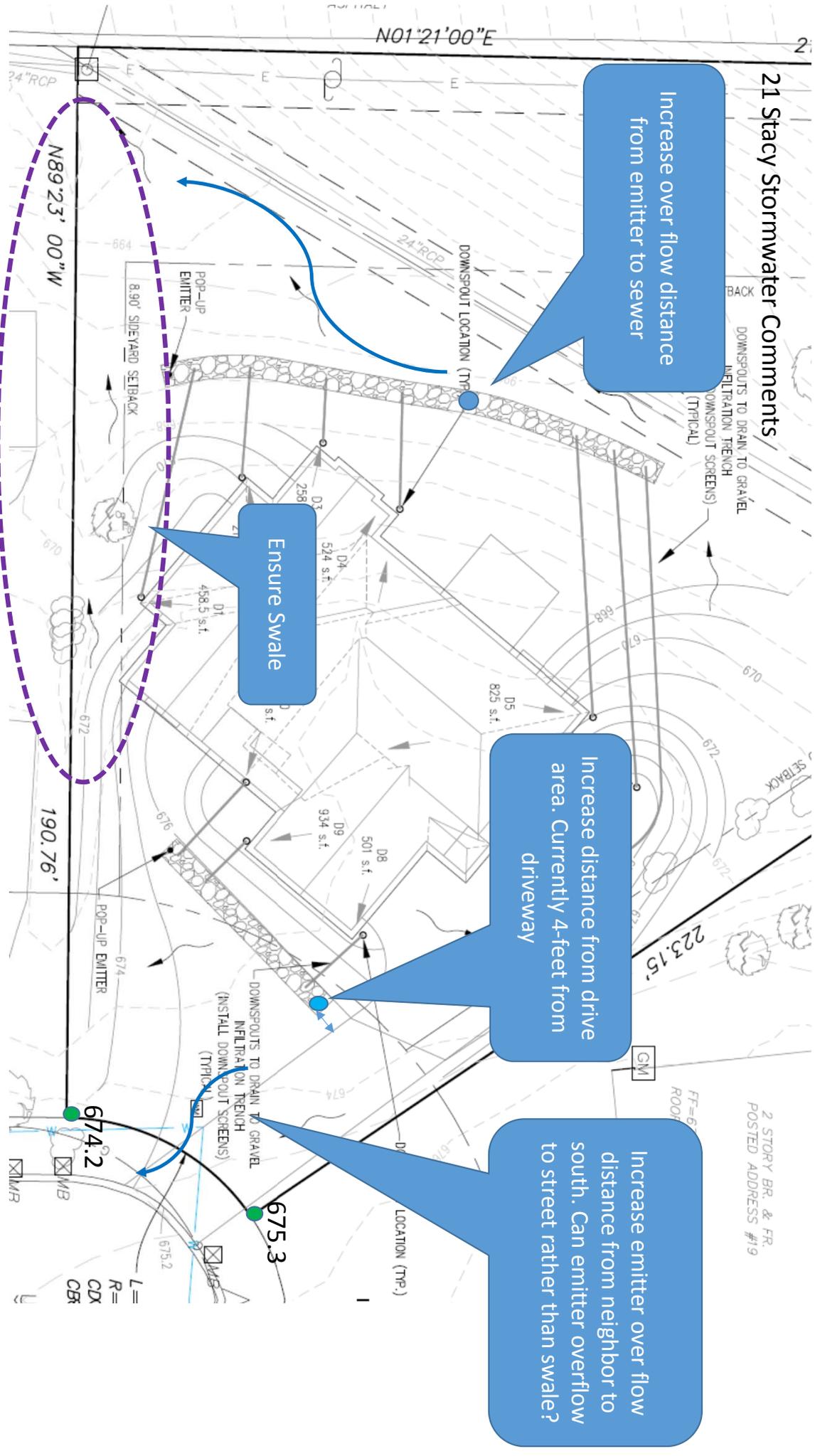
21 Stacy Stormwater Comments

Increase over flow distance from emitter to sewer

Increase distance from drive area. Currently 4-feet from driveway

Increase emitter over flow distance from neighbor to south. Can emitter overflow to street rather than swale?

Ensure Swale



2 STORY BR. & FR.
POSTED ADDRESS #19

N01'21'00"E

2



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252
www.olivettemo.com

October 31, 2016

Charles Brennan
Vice President
McKelvey Homes
218 Chesterfield Towne Centre
Chesterfield, MO 63005

RE: 21 STACY DRIVE
PRELIMINARY STAFF REVIEW OF PETITION FOR COMMUNITY DESIGN, SITE PLAN, AND
CONCEPT STORMWATER MANAGEMENT PLAN REVIEW

Dear Mr. Brennan:

A petition for Community Design Review, Site Plan Review and Concept Stormwater Management Review was submitted on October 14, 2016. Revised plans noting deficiencies were submitted on October 28, 2016. The plans were forwarded to the City's Stormwater Review Consultant for Concept Stormwater Management Plan review. Staff has evaluated the petition plans for compliance with City's Residential Redevelopment and Design Guidelines and City's Stormwater Management regulations under Chapter 422 of the Olivette Municipal Code. Preliminary comments are enclosed below.

The next step in the review process is to schedule an onsite meeting with City staff. It is requested that you and your surveyor, who prepared the site plan, be in attendance. After the site meeting, petition plans should be revised to address contents of this letter and items and issues discussed onsite. These plans should be submitted no later than noon, Thursday, November 10, 2016, in order to be considered at the November 17, 2016, Commission meeting

Summary of Letter

- **Zoning:** Pop-up emitter must be 10-feet from property lines.
- **Community Design Review:** Staff finds design elements compliant with the Design Guidelines with the exception of elements relating to site grading/Stormwater.
- **Stormwater Management:** Long term maintenance concerns, slope does not match with grades.

Zoning

Stormwater pop-up emitter must remain at least 10-feet from a property line.

Compliance with Olivette Design Guidelines. In accordance with Section 425.050, below is a review and evaluation of the application regarding seven of the eight design principles of the Olivette Residential Redevelopment and Design Guidelines (Guidelines):

Massing. The appeal of Olivette has been the strength and character of our neighborhoods. The strength of these neighborhoods lies in the architectural relationships between each home. When one home dominates another in sheer size and shape, the character of the neighborhood is weakened. Be considerate of the relationship to neighboring structures and break down the mass of your home to avoid towering over your neighbors.

The proposed home features a recessed single-story garage nearest to the neighbor to the north. The proposed home features a hip roof design over a 1-story segment of the home to the south. The massing of the proposed home appears to be in compliance with the spirit and intent of the Guidelines.

Roofs. Your rooflines should not be the dominating architectural theme of your new home. Instead, the roof line can be used to help your home harmonize with the roof patterns of the street without calling attention to itself.

Roof pitches vary from 8:12 and 10:12. Roof elevations nearest to the adjacent homes feature a step down approach. The roof design of the proposed home appears to be in compliance with the spirit and intent of the Guidelines.

Garages. Much of the original housing stock in Olivette was constructed with a single car garage or carport aligned with the main building plane or behind the front elevation. Understanding that the modern day family has at least two vehicles, the design for indoor off-street parking should be sensitive to the fact that garages in Olivette are not necessarily the dominate architectural feature of a building elevation and do not necessarily dominant the streetscape of a neighborhood. Oversized garages, front entry garages and double width garage doors call negative attention to a home. Even more so, a garage that projects beyond the main front building plane towards the street centers attention on the garage and not the home.

The plans depict a two car side entry garage that protrudes 13.5-feet from an intersecting foundation wall. The single car front entry garage is recessed. Both doors contain decorative features. The garage design of the proposed home appears to be in compliance with the spirit and intent of the Guidelines.

Elevation Articulation. A good home design pays equal attention to all four building elevations: the front, two sides and rear.

Portions of the sides feature brick, siding, multiple breaks in the roof and walls. Elevation appears similar to other homes in the subdivision. Elevation articulation of the proposed home appears to be in compliance with the spirit and intent of the Guidelines.

Materials. To reflect the quality of our communities we expect building materials to be of the highest quality, reflecting the material use and patterns of the neighborhood. We prefer to see and routinely favor an elegant, well-considered palette of materials that reflects the proportion and use of materials used in the neighborhood.

The front elevation proposes brick and stone material finishes. The sides feature a combination of siding, brick and stone. The rear contains all siding. The exterior building materials of the proposed home appear to be in compliance with the spirit and intent of the Guidelines.

Site Grading. Principles to Design By... You should expect to address, and hopefully solve, site drainage problems that already exist. Ignoring drainage patterns or increasing the amount or velocity of storm-water runoff to adjacent properties is not acceptable.

The home has been raised nearly 5-feet in elevation. The lot naturally slopes from north to southwest. The proposed contours should allow Stormwater to travel between homes.

Tree Preservation. One of the many unique qualities of Olivette's residential neighborhoods and residential streets are the proliferation of countless varieties of mature trees and their spanning canopies arching over streets and yards. When designing your home, consider the location of the home on the lot and limit the unnecessary removal of mature trees.

Trees are noted to be removed from areas within the footprint of the proposed home or off-street parking areas. Tree preservation within the subject property grounds appears to be in compliance with the spirit and intent of the Guidelines.

Stormwater Management. Chapter 422 Stormwater Management is intended to ensure that the development of land in the City of Olivette occurs in a manner that protects, provides for and promotes the public health, safety, convenience, comfort and general welfare of the residents of Olivette.

Location. The pop-up emitter must remain at least 10-feet from a property line. The location of the gravel infiltration trench should remain 10-feet away from structures and foundations.

Design. The gravel infiltration trench is proposed to be placed at the northeast to southwest, 120-feet in length. The area stretches over uneven grades ranging from 671 to 665. The 'Gravel Infiltration Trench Detail' on the site plan illustrates a flat bottom and no slope. Stormwater manuals recommend the bottoms of underground detention areas should be flat and should allow even dispersal. Also, sloped bottoms do affect the ability to detain Stormwater. Please review Stormwater design within Exhibit One.

Please provide a scaled site cross section for both proposed Stormwater management areas. Each should reflect the lot conditions. View Exhibit One – 'Stormwater Consultant Comments' for more information.

Maintenance. Please review comment 2 within the Exhibit one 'Stormwater Consultant Comments.'

Notification. In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Heather Hill First Addition Subdivision

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

Site maintenance. It is important that the site and home be properly maintained at all times. The building should be secured and bolted to ensure that access into the house is restricted. The grass, limbs, leaves and other vegetation should be maintained at all times. Failure to ensure the maintenance of the site will result in the City pursuing any and all necessary legal action to ensure compliance, including requesting the Commission defer action until full compliance is ascertained.

Unauthorized/Illegal Demolition. At no time shall unauthorized or illegal demolition take place on the site. The City of Olivette has strict rules and regulations regarding demolition of any structure. Any unauthorized or illegal demolition taking place on the site should be reported to the police immediately.

Unauthorized demolition includes removal of gutters, kitchen fixtures, bathroom fixtures, doors, etc. If demolition has begun without City approval, a citation will be issued immediately, you will have 30 days to raze the home and restore the site, and the petition for review shall be placed on hold until the Court rules on the matter.

SUMMARY AND CONCLUSION

The petition application and plans submitted to the Planning and Community Design Commission for a single family home proposed at 21 Stacy Drive must address the Stormwater management comments. An onsite meeting must be scheduled by Wednesday, November 9th. Final plans for the meeting need to be provided to staff by Thursday, November 10, 2016, for the November 17, 2016, Commission meeting.

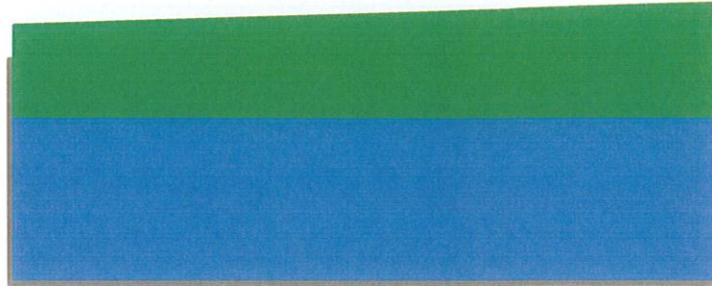
Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivettermo.com.

Respectfully,

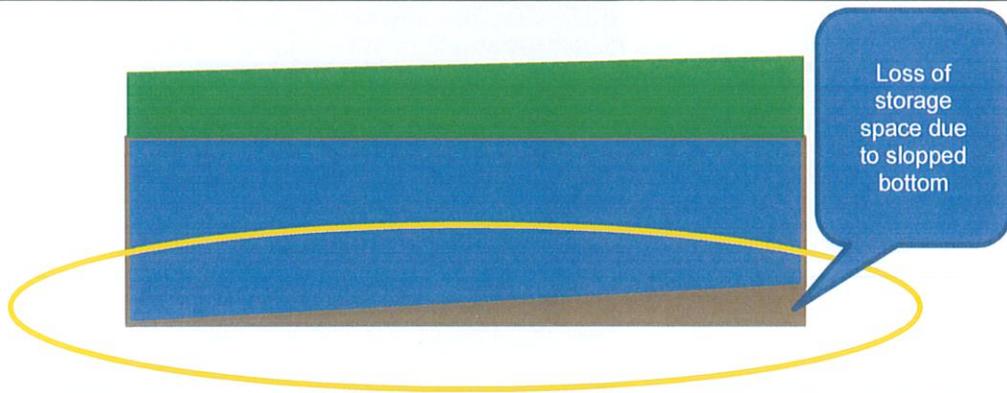


Jonathan Roper
Planner/GIS Coordinator

EXHIBIT ONE
Stormwater Design - Flat Bottom



Stormwater Design – Sloped Bottom



Stormwater Consultant Comments

1. The infiltration trenches on Sheet 4 cross contours which will have a major impact on the storage volume if the trench detail on Sheet 2 is followed. The engineer should draw a profile of both trenches from end to end - showing the surface elevation, the trench bottom elevation and the calculations to confirm that the required storage volume has been achieved.
2. In this case, it is impractical for downspout lines to the infiltration trench to connect to the standpipe. This makes flushing of the downspout pipes impossible without digging them up - so, removing leaves before they get into the downspout lines will be more critical.
3. Stormwater from Downspout D1 should be directed to the infiltration trench rather than discharging on grade.



City of Olivette Public Services
Department of Planning & Community Development
1200 North Price Road
Olivette, MO 63132
(314) 993-0252
www.olivettemo.com

October 21, 2016

Charles Brennan
Vice President
McKelvey Homes
218 Chesterfield Towne Centre
Chesterfield, MO 63005

RE: 21 STACY DRIVE
COMMUNITY DESIGN REVIEW FILING DEFICIENCIES FOR NEW SINGLE FAMILY HOME

Dear Mr. Brennan:

A petition for Community Design Review, Site Plan Review and Concept Stormwater Management Review was submitted on October 14, 2016. The petition has been reviewed for filing deficiencies and compliance with zoning. Once the filing deficiencies are provided on revised plans (2-sets), review for conformance with the City's Olivette Residential Redevelopment and Design Guidelines and Stormwater management regulations will commence.

Summary of Letter

- Checklist: Submit revisions for filing deficiencies
- Lot Width Measured incorrectly
- Driveway must be 5-feet from side property lines.

Filing Deficiencies

The filing deficiencies noted in Exhibit 'Submission Requirements' must be provided in the form of two paper copies and an electronic PDF copy.

Lot Width. It appears the lot width is incorrectly stated on the site plan. Exhibit Two – Lot Width Measurement and Driveway Encroachment shows an example of the measurement. Update the site plan accordingly for any modifications.

Zoning

Driveway & Side Lot Line

The driveway appears to be less than 5-feet from the side property line. Off-street parking areas must be at least 5-feet from a side property line (Exhibit Three Off-Street Parking Regulations). The Commission has the authority to grant variances upon review of evidence noting practical difficulties or hardships. Variance procedures for off-street parking areas are shown in Exhibit 3.

Notification. In addition to the aforementioned issues, notification should be provided to subdivision trustees and adjacent neighbors within the Heather Hill First Addition Subdivision

Staff encourages you not only to provide a letter of notification, but to make site and building plans available for view. A copy of the notification letter or statement of the type of notification provided must be submitted to staff before the scheduled meeting date.

Site maintenance. It is important that the site and home be properly maintained at all times. The building should be secured and bolted to ensure that access into the house is restricted. The grass, limbs, leaves and other vegetation should be maintained at all times. Failure to ensure the maintenance of the site will result in the City pursuing any and all necessary legal action to ensure compliance, including requesting the Commission defer action until full compliance is ascertained.

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SUMMARY AND CONCLUSION

The petition application and plans submitted to the Planning and Community Design Commission for a single family home proposed at 21 Stacy Drive must be revised to address the outstanding submission requirements. Once the outstanding submission requirements are provided, staff will forward the plans to the City's Stormwater consultant. Staff will then provide comments regarding the Petition's conformance with the Olivette Residential Redevelopment and Design Guidelines and Stormwater management.

Should you have any additional questions regarding the contents of this letter, please call me at (314) 993-0252 or e-mail me at jroper@olivettemo.com.

Respectfully,



Jonathan Roper
Planner/GIS Coordinator

EXHIBIT ONE Submission Requirements

Existing Site Conditions:

- All existing contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- All proposed contours on said property. All contours shall be at a minimum of one (1) foot and shall extend 50-feet beyond the subject property boundaries.
- Existing grade elevation at all corners of the lot.

Proposed Improvements:

- Location and general design (**width** and material) of all driveways, curb cuts and sidewalks, including connections to building entrances.
- Location of downspouts and sump pumps discharge pipes. Proposed finish grade elevation at each major corner of the proposed house.

Adjacent Property Information

- Grade elevation of the **two** nearest corner grades of the footprint of the adjacent residence.
- The minimum measured distance of the neighboring home from the side lot line nearest the proposed home. Neighbor to the south

EXHIBIT TWO Lot Width Measurement & Driveway Encroachment

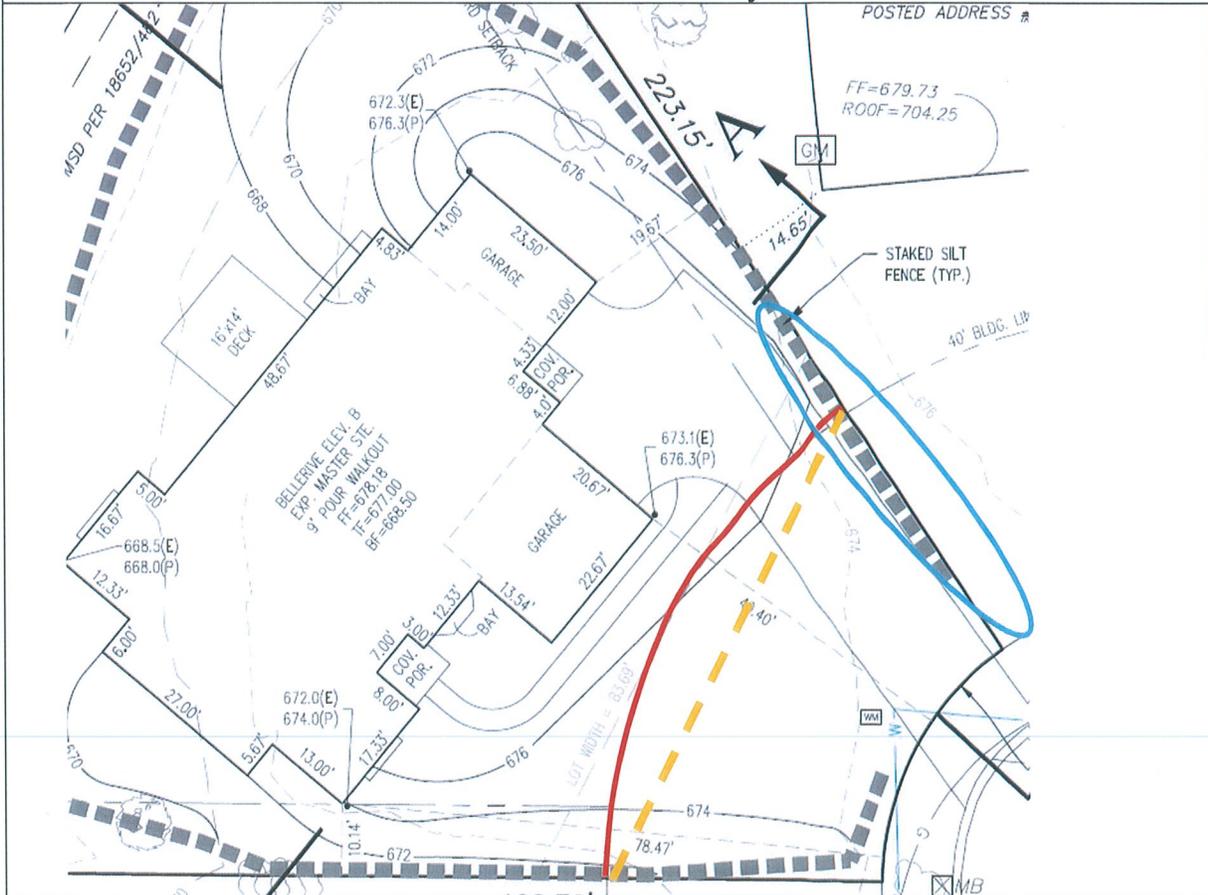
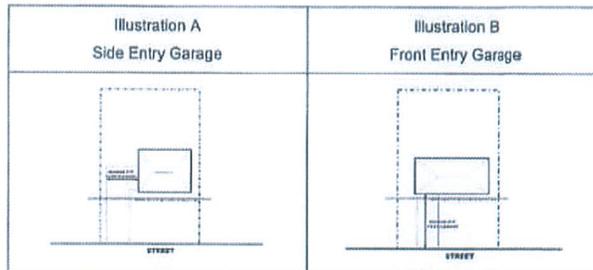


EXHIBIT THREE
Off-Street Parking Regulations

(b) Driveways shall:

- (i) Provide a minimum of ten (10) feet in paved width;
- (ii) Provide a minimum of twenty-five (25) feet of paved clearance from any vehicle exit door (See illustrations A and B below.);



- (iii) Openings shall be located no closer than thirty (30) feet to any intersecting street right-of-way;
- (iv) All paved driveway and turnaround areas shall be located at least five (5) feet from any adjacent property line; and
- (v) Width of a driveway opening shall not be less than sixteen (16) feet measured along the intersection with the adjacent street pavement.

e. *Variance.* When a property owner or other person, firm or association or corporation can show that the strict application of the minimum standards will impose practical difficulties or particular hardships, such owner or other person, firm, association or corporation may apply for a variance and the Commission may consider and allow such variations to the strict application of the terms hereof as are in harmony with the purpose and intent of this Article to provide minimum standards for the design and construction of off-street parking areas so as to create conditions of safety for both pedestrian and vehicular traffic thereon when the Commission is satisfied and makes a finding, under the evidence presented to it, that the granting of a variance will alleviate some demonstrable hardship or difficulty so great as to warrant said variance and that the off-street parking area will meet all reasonable and necessary conditions for the safety of persons using same. Any applicant may appeal the denial of a variance to the City Council and the City Council shall have the right to grant a variance under the standards hereinabove provided.



**Olivette Residential
Development
Guidelines**

Zoning Ordinance

**Chapter 55
Community Design
Regulations**

**Petition for New
Single-Family Homes**

**List of Minimum
Submission
Standards**

CITY OF OLIVETTE RESIDENTIAL REDEVELOPMENT and DESIGN GUIDELINES

A guide to sustainable residential redevelopment

Adopted by Ordinance No. 2329
Of the Olivette City Council,
November 14, 2006



INTRODUCTION



The City of Olivette was incorporated in 1930 and has served the St. Louis region as a wonderful community to call home. At the time of incorporation, a majority of the existing houses were either traditional farm homes, with a vertical appeal surrounded by acres of wooded fields, or a collection of dense, urban 50 foot wide lots with horizontal bungalows.

During the 1940's and continuing through the national housing boom of the post-war years, Olivette experienced rapid growth. Approximately 73% of the existing housing stock in Olivette was built between 1940 and 1970. Most post-war homes were built on lots of 10,000 square feet or more. They were unique and ample in size given the time period. The homes ranged from 1,200 square feet to about 2,400 square feet. Most can be architecturally classified as "rambler" homes, a one story, horizontal house with a low-pitched roof.

Historically, Olivette was home to many orchards, greenhouses and nurseries. This agrarian history and heritage resulted in many of the post-war subdivisions featuring wooded lots with substantial shade and tree lined streets. This "tree friendly" approach remains a dominant feature of most Olivette neighborhoods today.

There has been another constant that characterizes Olivette – its location. Ever since Olivette marked the center of the trail linking the ferry crossing the Missouri River to St. Charles County and the St. Louis Riverfront, Olivette has been at the very center of the St. Louis region. Our excellent location, fine schools, and excellent neighborhoods have sparked renewed interest in Olivette for residential redevelopment.

The City of Olivette welcomes and embraces this renewed interest in residential redevelopment. The city, however, wishes to foster this new residential redevelopment interest while maintaining the character and cohesiveness of its existing neighborhoods. Today's new homes tend to be quite different from the original housing stock, and in order to both encourage redevelopment and maintain a harmonious balance between the old and the new, the city has prepared this booklet to encourage creative and good design in an effort to preserve the genuine character of existing neighborhoods.

The Olivette Planning and Community Design Commission is in charge of reviewing applications for new single-family homes in Olivette to ensure the architectural compatibility of new homes is balanced with the surrounding appeal and character of our neighborhoods. With the spirit of renewed interest in redevelopment in Olivette, the Olivette Planning and Community Design Commission has prepared this manual to illustrate the primary design issues that are considered during Site Plan and Community Design Review.





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This manual is intended to encourage new home design that will result in greater long-term value and enjoyment, by both the home owner and neighbors.

IDENTIFYING YOUR CONTEXT



Redevelopment occurs within a context. A *context*, as used within this manual, is a series of interrelated parts that together create quality residential environments.

Good design principles dictate that when designing within the residential environment, consideration of four basic parts of the overall context can make a significant difference. The four basic parts of the residential context this manual focuses on are:

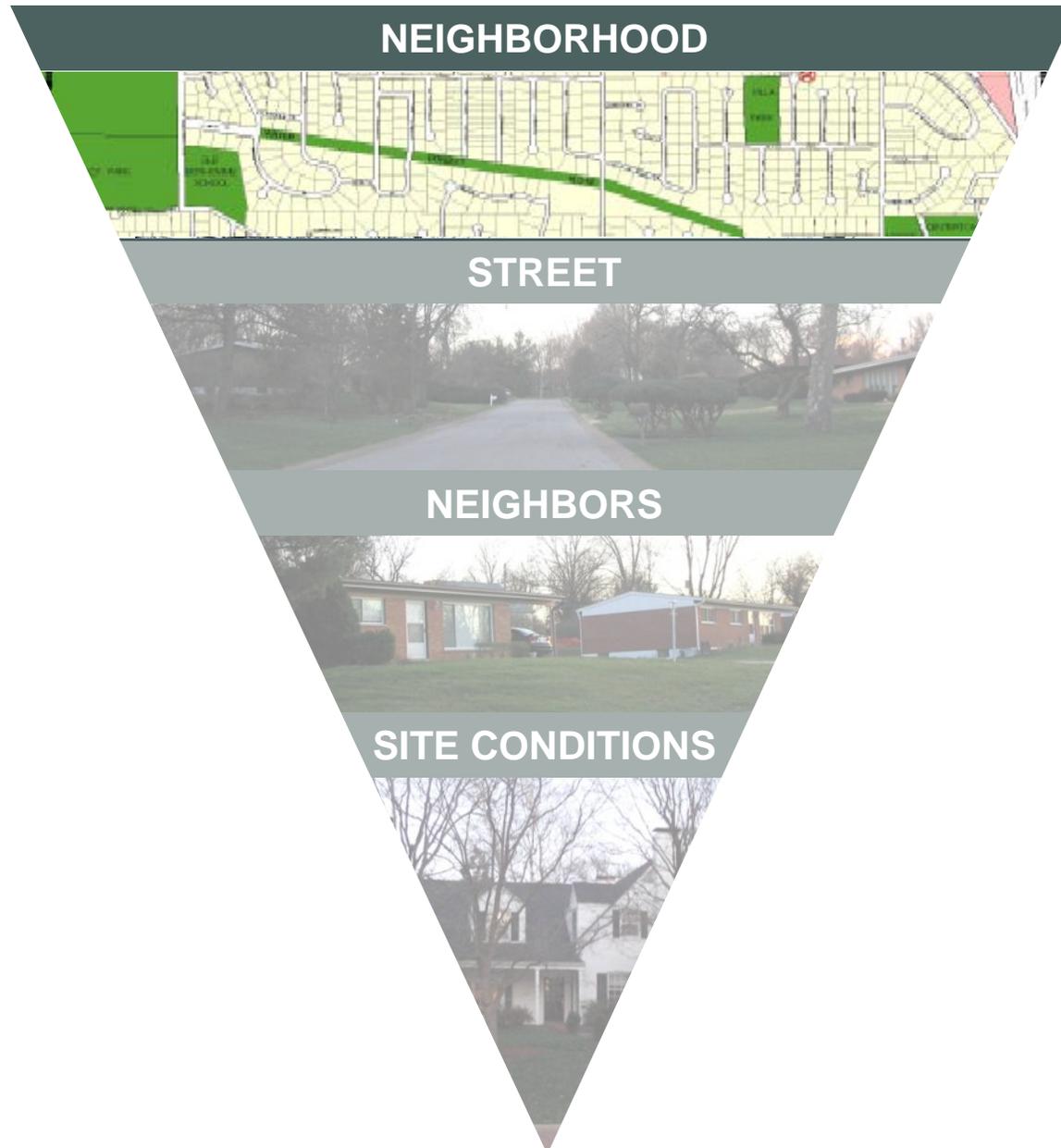
- (1) neighborhood,
- (2) street,
- (3) neighbors, and
- (4) site conditions.



IDENTIFYING YOUR CONTEXT: STEP 1 –Understand Your Neighborhood



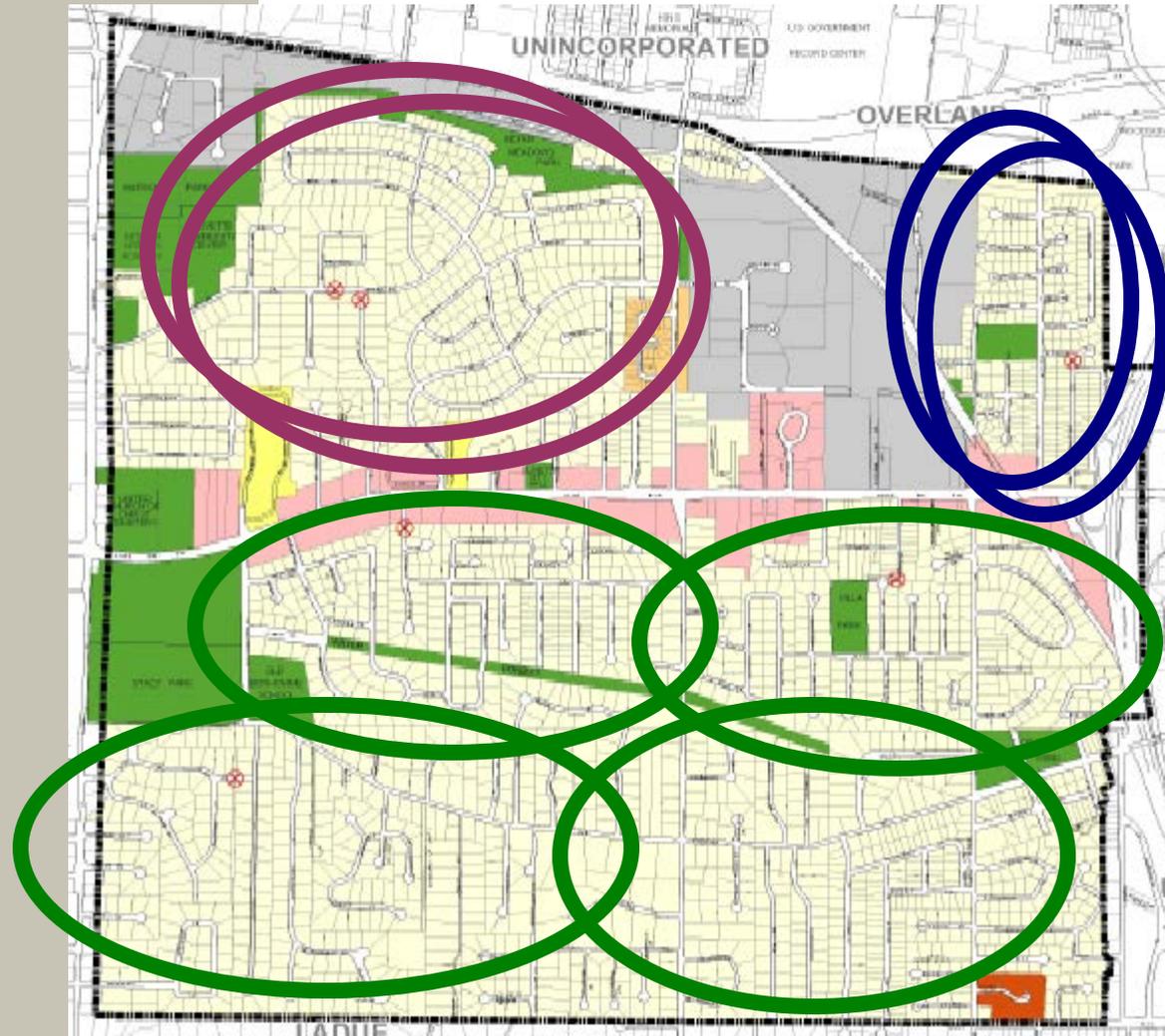
The first necessary step in considering a design for a new home is to understand your new neighborhood. A substantial part of the appeal of Olivette is its many strong neighborhoods. Each area has its own distinct and unique character and qualities. Begin by identifying the characteristics of your neighborhood. Make sure that the design features of your new home complement and fit into the neighborhood context.





Step 1: Understand Your Neighborhood

Each of Olivette's many neighborhoods is unique and valuable. Three of the major areas are described here.



Northeast

Area 1 is situated to the north of Olive Boulevard near I-170. It consists of pre war bungalows and post-war ranch single-family homes of 1,000 to 2,000 square feet.

Northwest

Area 2 consists mostly of the Indian Meadows neighborhood and also extends west to include several neighborhoods accessed from Grandview Drive. Most homes are post-war ramblers with carports about 1,200 square feet to 2,200 square feet.

South

Area 3 includes many different types of neighborhoods on the south side of Olive Boulevard. There is great architectural diversity between neighborhoods. This area also includes some of the City's oldest housing stock and some of the newest housing developments.



Understand the character of your neighborhood before you decide on your house design.

Step 1: Understand Your Neighborhood

The answers to the following questions will help you determine the characteristics that define the identity and distinct appeal of your neighborhood. Remember, good design takes into account prevailing neighborhood features.



What are the boundaries of the neighborhood? (streets, parks, creeks, etc.)

What type of development is the neighborhood and when was it built? (subdivision, eclectic, historic homes, etc.)

What are the zoning designations / limitations? (setbacks, uses, etc.)

How have the streets and lots been organized? (square, irregular, winding, etc.)

What characterizes the streetscape? (horizontal, vertical, trees, sidewalks, etc.)

How many floors do most homes in this neighborhood have? (1, 1 ½, 2, more)

What are the predominant materials used in the neighborhood? (brick, siding, stone, stucco)

What are the predominant roof lines, pitches, eaves, etc.? (1,2,3 ridges, steep or shallow pitch, deep or shallow eaves, etc.)

Is the neighborhood wooded, with substantial shade? (predominant tree stock, shade affecting street, adjacent properties, etc.)

STEP 2 – Understand Your Street



The character of your street is the next crucial part of the context you must identify and understand. A good design will consider the street at two levels, site plan and elevation.





Step 2: Understand Your Street



The following questions will help you understand the qualities of your street that should be respected.

How old are the houses on your street? What percentage, if any, have been redeveloped or rehabilitated?

Is your street the same as others in your neighborhood or is it unique in some way?

What vertical pattern or predominant theme is formed by the roof heights on the street?

What architectural features do you see repeated? (porches, dormers, window patterns, front door treatment, etc.)

How are garages treated? (Attached, Detached, Recessed, Side Entry, etc.)

Where are garages located? (along the front, side or rear)

How are the homes aligned along the streetscape? (single line, diversity of setbacks, protruding fronts and elevations, etc.)

What is the dominant elevation along the street? (the main home footprint, the entry porch, garage, etc.)

What landscaping features characterize the street? (tree types, maturity of trees, amount of shade, variety, spacing, bushes, etc.)

The streetscape will help you identify the pattern of houses that line the street.

Streetscape is most simply described as the visual appearance of the homes and landscaping on a street.

Elements include:

- Setbacks of buildings
- Height of structures
- Building materials
- Pattern of roof lines
- Pedestrian entryways
- Orientation of garages
- Location of driveways
- Street Trees and landscaping

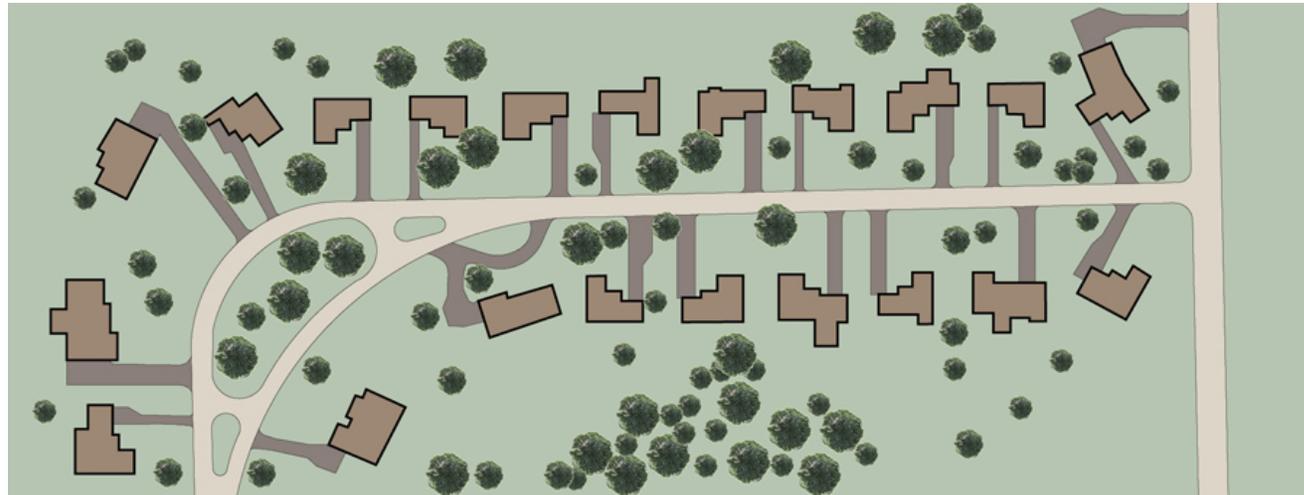


Step 2: Understand Your Street



Identifying Street Characteristics

Olivette has setback requirements, but we also require that new homes respect the prevailing setbacks of other homes on the street. Our homes generally are set further back on the site, creating a very open and spacious views down the street. Many of our existing homes have front entry garages but only have one or two doors. Today, when garages are often much larger, we prefer that they not become a dominant feature from the street.



Easy Tools:

An aerial view of your street can help identify street conditions that you need to respect. Maps like this one can be found at www.mapquest.com, www.terraserver.com and www.co.st-louis.mo.us. All you need is your address!



Maintaining Harmony

A crucial element of good design is harmony. Make sure your new home is in harmony with the character of your street. This means you should not build a house that is radically different in terms of roof line, roof pitch, building height, garage projection, garage size, building materials, design elements, etc. Work hard to make sure your new home is a *PART* of your street, and don't build a home that is in stark contrast to those of your neighbors'.

STEP 3 – Respect Your Neighbors



By following good design principles, you can make your new home a great asset to your new neighborhood. To do so, you must respect the architectural qualities of your neighbors' homes.

Make sure you make every effort to design a home that does not dominate or overshadow your neighbors' home. A new home site should not be mounded, nor should a new houses tower over a neighbor's house.





Step 3: Respect Your Neighbors

Your project will affect your neighbors immediately. The following questions will help you identify qualities in the adjacent homes that must be respected.

What type of home sits on either side of your property? (ranch, two story, split-level, age, condition)

What characterizes the roof lines and slopes of the homes on both sides of your property? (multiple ridges, steep or shallow slope)

How are driveways, turnarounds, and garages situated for your neighbors?

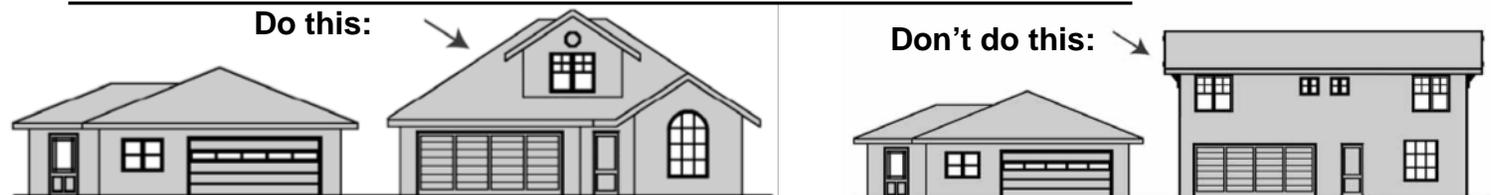
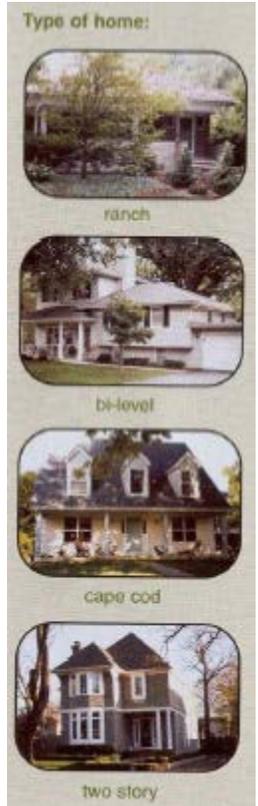
How are the homes situated on their properties? (close to the street, far away, further to one side, centered, etc.)

What landscape features are adjacent to your property, and do landscape features on your property affect your neighbors? (shade trees, etc.)

What materials are used on your neighbor's homes?

What special or unique features are worth repeating?

What elements in your home are designed to recognize and respect the size and height of your neighbors' homes?





IDENTIFYING YOUR CONTEXT: STEP 3 – Design A Home to Fit Your Site, Not A Site To Fit Your Home

NEIGHBORHOOD



STREET



NEIGHBORS



SITE CONDITIONS



No two sites are exactly the same. Since Olivette is an established community, new homes will be built on sites that cannot be significantly changed or modified without adversely impacting adjacent properties

Your new home must be designed to fit into existing site conditions. Given Olivette's character and lot sizes, there is not much room to change a site without affecting those around you.

Never artificially mound a site or substantially regrade a site to fit a house. Design a home to fit your site, not a site to fit your home.



Mounding

Changes to the existing natural terrain through grading should be kept to a minimum to preserve the inherent characteristics of the site.

Grading should be kept to a minimum and should be performed in a way that respects significant natural features and blends visually with adjacent properties. Building pads should disturb natural contours as little as possible. Balanced cut and fill volumes are desirable, and alterations to natural land forms should be minimized. Factors to be considered in the development of a grading plan are:

- The natural features of the site;
- Slope and soil characteristics;
- Vegetative cover;
- Access to the site;
- Drainage;
- Orientation and visibility of both the site and the proposed development; and
- Drainage.

CITY OF OLIVETTE

PLANNING AND COMMUNITY DESIGN COMMISSION

Step 4: Site Conditions

The answers to these questions will help you determine the site conditions of your lot and that of the overall neighborhood. Remember, good design includes taking into account and building within existing site conditions.

What is the existing topography of the site? (flat, sloped, etc.)

Does the design of the home fit the conditions of the lot described above or is substantial alteration necessary to fit the home? (the topography is flat and the home needs no adjustment, the topography is sloped and the home has been adjusted and stepped to conform with the existing topographical conditions, etc.)

Where does the a majority of the stormwater on the site drain? (to the street, property corner, etc.)

How are adjacent lots graded? (flat, mounded,stepped, etc.)

How many sizable trees are on the lot? (1, 2, 3, etc.)

Where is the highest point on the lot? (by the street, rear corner, etc.)

What is the elevation of the sewer lateral and what is the elevation of the basement floor? (is there enough fall between the two, will there be a grinder pump, etc.)

Where do the downspouts drain? (drain to street, drain to swale, etc.) **Are the downspout release points at least 10 feet from the property line, including the street?**

Is the existing site properly graded? Or does runoff from the existing site create standing water or problems for your neighbors?



DESIGN PRINCIPLES: Elements to be Reviewed

Architectural design is a combination of art and science. These guidelines are neither permissive, nor prohibitive. While they express the principles we want you to consider for your house, they are intended as a starting point for creative and diverse design. Some design elements may work well in one context, but not work in another. A house design is not judged solely on the basis of conformity to the guidelines, but how well all of the design elements combine and work together in the context of your site, your street and your neighborhood.

An important part of the City's review and approval of new homes relates to elements of design. There aren't always clear rules telling us what "good" design looks like, and it is hard to explain the design principles the City wants to encourage in words alone. But there are common design elements that provide for compatibility with existing neighborhoods.

The following pages explain and illustrate what the City of Olivette desires to encourage in the design of new homes. The City's evaluation of the proposed design of your new home will generally focus on the elements described in the next seven pages.

Please understand that other elements may also be considered in accord with the guidelines about neighborhood, street, neighbors and site already explained.





Massing



Principles to Design By...

The appeal of Olivette has been the strength and character of our neighborhoods. The strength of these neighborhoods lies in the architectural relationships between each home. When one home dominates another in sheer size and shape, the character of the neighborhood is weakened.

Consider the following elements in addressing mass:

Building height

Building width

Breaks in building plane

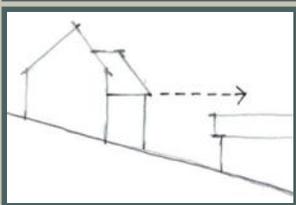
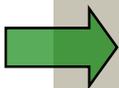
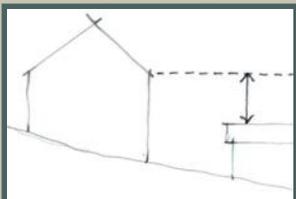
Window treatment

Use of material

Roof proportions

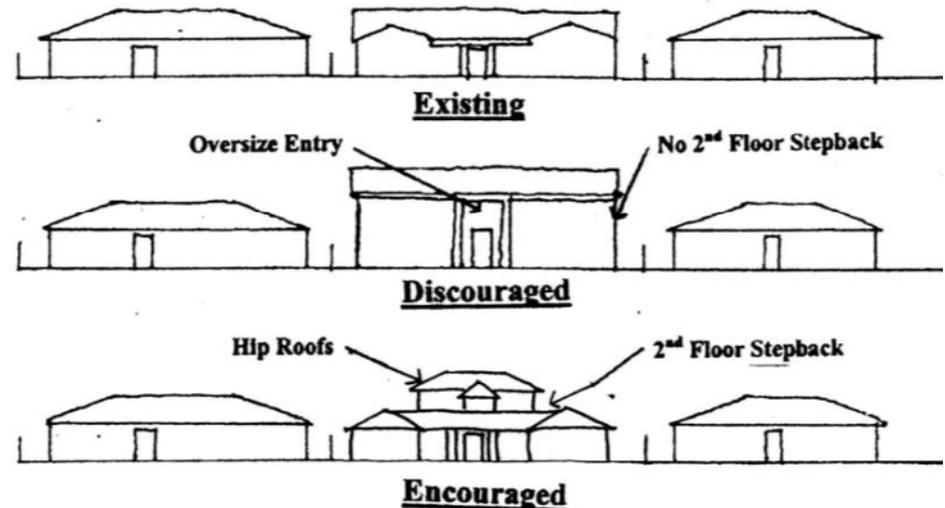
Architectural Detail

Site grading



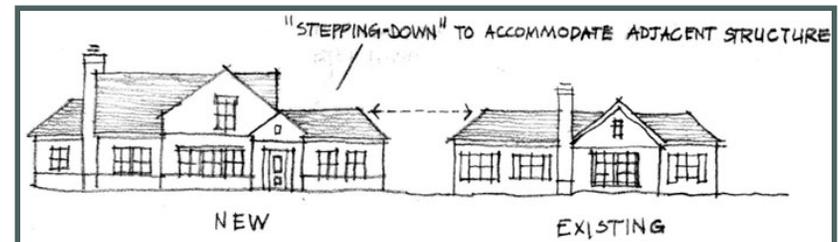
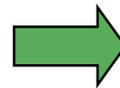
Relationship to Neighbors

Break down the mass of your home to avoid towering over your neighbors



Step down the rooflines

When you respect the height of adjacent homes, your home looks better and your neighbors won't feel overshadowed. The example shown below illustrates a desirable approach.



“Mass” does not simply mean size, though the size of your new home is an important element. Mass, more importantly, refers to the appearance of your new home as compared to your neighbors. The design of your new home should not dominate, tower above or overshadow your neighbors.



Roofs



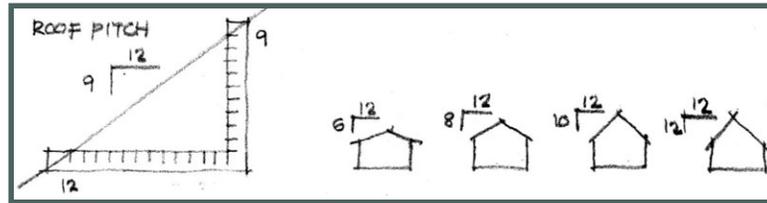
Principles to Design By...

Your rooflines should not be the dominating architectural theme of your new home. Instead, the roof line can be used to help your home **harmonize** with the roof patterns of the street without calling attention to itself.

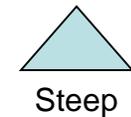
Many of our neighborhoods have homes with shallow roof pitches. A new home with a steep roof pitch can really stand out. It is the intent of the Commission to ensure that rooflines do not detract from the overall streetscape. **The primary roof pitch of the new home shall not be greater than twice the roof pitch of any adjacent home and shall not exceed a 10:12 pitch.**

Consider the following elements of roof design:

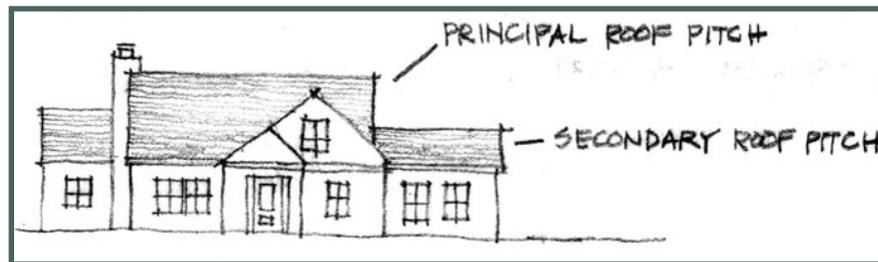
- Roof pitch
- Principal roof pitch
- Secondary roof pitches
- Edge treatment
- Gables
- Predominant roof pitch in the neighborhood
- Roof patterns in the neighborhood



Roof pitch: The angle or "pitch" of a roof is expressed in inches of rise (vertical) for every 12 inches of run (horizontal).



Less vertical expression compared to a more desirable expression next to a one-story home





Garages

Principles to Design By...

Much of the original housing stock in Olivette was constructed with a single car garage or carport aligned with the main building plane or behind the front elevation. Understanding that the modern day family has at least two vehicles, the design for indoor off-street parking should be sensitive to the fact that garages in Olivette are not necessarily the dominate architectural feature of a building elevation and do not necessarily dominant the streetscape of a neighborhood.

Oversized garages, front entry garages and double width garage doors call negative attention to a home. Even more so, a garage that projects beyond the main front building plane towards the street centers attention on the garage and not the home.

During the Community Design review, it is a priority of the Commission to ensure that the garage is not the primary architectural feature of any elevation, and that the garage does not detract from the general streetscape. **Any projection of a garage 15-feet or more beyond the main front building plane is discouraged.**



What to do with the cars?

Garages are for storing cars, tools and lawn equipment. A well designed home does not have the primary architectural feature a garage projection or door. Instead, place your garage around back and show off your beautiful home instead!

Consider the following elements of garage design:

Building setback

Street entry

Side entry

Garage door face

Number of garage doors

Overall mass, size and placement of the garage compared to the rest of home

Predominate garage types in the neighborhood

Garage layouts in the neighborhood

Encouraged

Recessed Front Entry Garage



Front Entry Garage



Rear/Side Entry Garage



Discouraged

Protruding Garages





Elevation Articulation



Principles to Design By...

A good home design pays equal attention to all four building elevations: the front, two sides and rear.

Consider the following elements when designing an elevation:

Building width

Building articulation

Building mass

Avoid the void

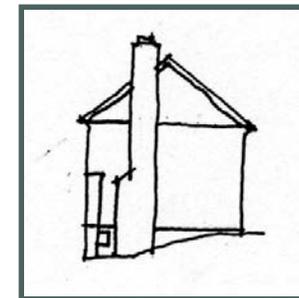
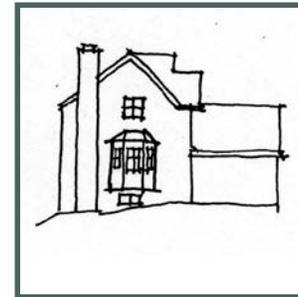
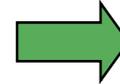
Ban the bland

Keep all four sides interesting

Design a home on all sides

Side and Rear Elevations

You don't see the sides or back of your home from inside your house, but your neighbors DO! Remember to address basic design on the sides and rear of your home. **Good architectural design includes design features and articulation – walls that include elements of architectural interest, not a blank wall.**



No Articulation

The appearance of your new home at each elevation is an important element in good design. Good design principles dictate that your new home provides elevations on all sides that help foster a sense of community and respect for your new neighbors.



Materials



Principles to Design By...

To reflect the quality of our communities we expect building materials to be of the highest quality, reflecting the material use and patterns of the neighborhood.

We prefer to see and routinely favor an elegant, well-considered palette of materials that reflects the proportion and use of materials used in the neighborhood.

Consider the following elements when considering building materials:

Brick and stone (or high quality substitutes)

Siding, including wood or aggregate substitutes such as hardi-plank, or restoration grade vinyl profiles *may be acceptable*

Painted wood trim

Elegant Use of Materials

Limiting the number of materials makes it easier to harmonize colors and textures.



Complex Use of Materials

The more materials you use, the harder it is to make them look good together.





Site and Grading

We consider the following elements of a site design:

- Topography
- Top of foundation
- Avoid mounding
- Storm-water discharge
- Existing and proposed grades
- Proposed Downspouts
- Neighboring property lines
- Street accessibility
- Landscaping, trees and shading
- Tree preservation

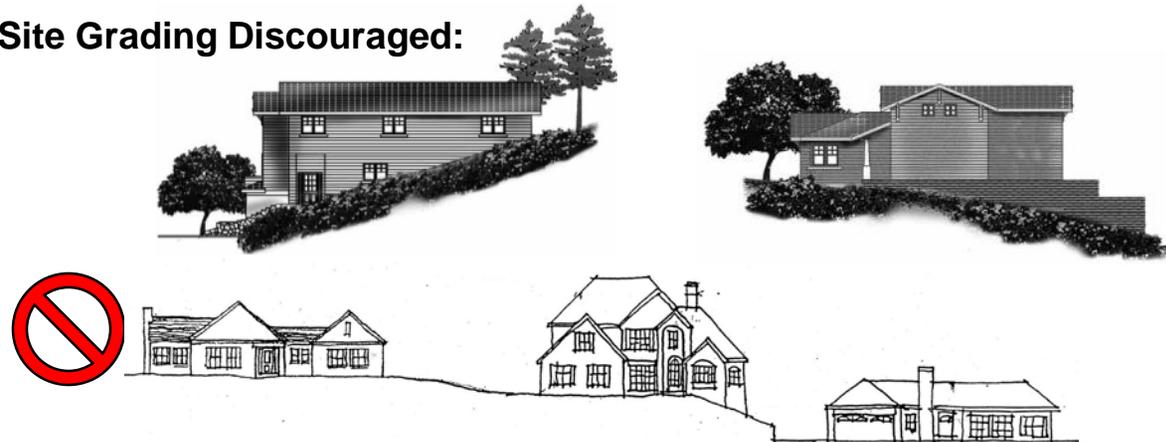
Principles to Design By...

You should expect to address, and hopefully solve, site drainage problems that already exist. Ignoring drainage patterns or increasing the amount or velocity of storm-water runoff to adjacent properties is not acceptable.

Site Grading Encouraged:



Site Grading Discouraged:



Remember, good design means taking advantage of existing grades. Too much grading on a site can alter the character of a lot and severely and negatively affect neighbors.

Do design your house for the lot.
Don't alter the lot for the house.

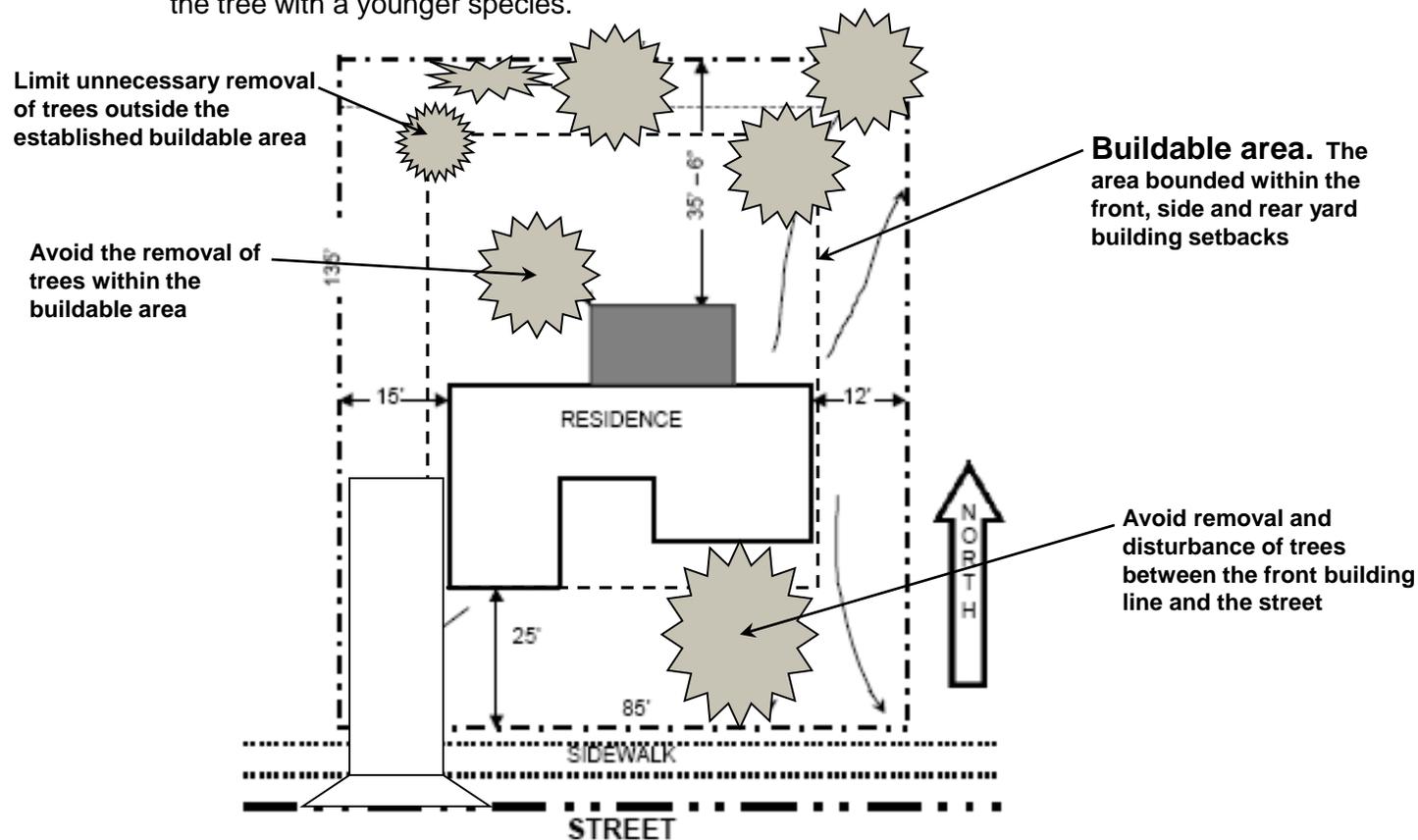


Tree Preservation

Principles to Design By...

One of the many unique qualities of Olivette's residential neighborhoods and residential streets are the proliferation of countless varieties of mature trees and their spanning canopies arching over streets and yards. When designing your home, consider the location of the home on the lot and limit the unnecessary removal of mature trees. Consider the following four principles as you configure the placement of your home and the grading of your lot:

1. Try to avoid mature trees within the buildable area established by the zoning district. The buildable area is the area bounded within the front, side and rear yard setbacks.
2. Avoid the removal of trees and disturbing the ground area within a tree drip line/canopy between the front building line and street.
3. Limit the unnecessary removal of trees outside the buildable area established by the zoning district.
4. If removing a tree outside the buildable area established by the zoning district, consider replacement of the tree with a younger species.



Assess the health of trees on your property.

Trees add value to property and are an essential element in preserving a neighborhood's overall character.

Unhealthy trees deter from the value of property and pose a public hazard.

Avoid unnecessary damage to trees during construction. Trees should be marked and fence enclosed. Periodically inspect the fence enclosures throughout the construction process to limit damage.



Review Process

Requirements:

Before submitting a petition for a new single family home, make sure you review the following items:

1. Olivette Residential Development Guidelines
2. Zoning Ordinance
3. Chapter 55 Community Design
4. Petition application for New Single Family Homes.
5. List of Minimum Submission Standards for PCDC Review

Also, don't forget to notify and contact adjacent neighbors and your subdivision's trustees.

Schedule of PCDC: The Planning and Community Design Commission reviews new home petitions on the third Thursday of each month. Deadline for submission is thirty (30) days prior to a scheduled meeting.

Review: Once a petition is received, staff will review the petition for completeness and provide the petitioner general comments regarding zoning compliance and design. Incomplete petitions shall be returned without review and resubmission shall be necessary.

If the petition is deemed complete by staff, the petitioner will have ten days to resubmit revised plans addressing staff's issues. Revised petitions will be placed on the Commission docket for review.

The Commission has sixty (60) days to take action on a petition approved by staff. If the Commission does not act within sixty (60) days, the petition is deemed automatically approved.

Approval: Once a petition has been approved by the Commission, an application for a building permit may be submitted. Applications may include demolition and new home construction. Building permits generally take ten (10) working days for initial review. All comments are forwarded to the architect of record on the plans received.

