

CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE I. GENERAL PROVISIONS

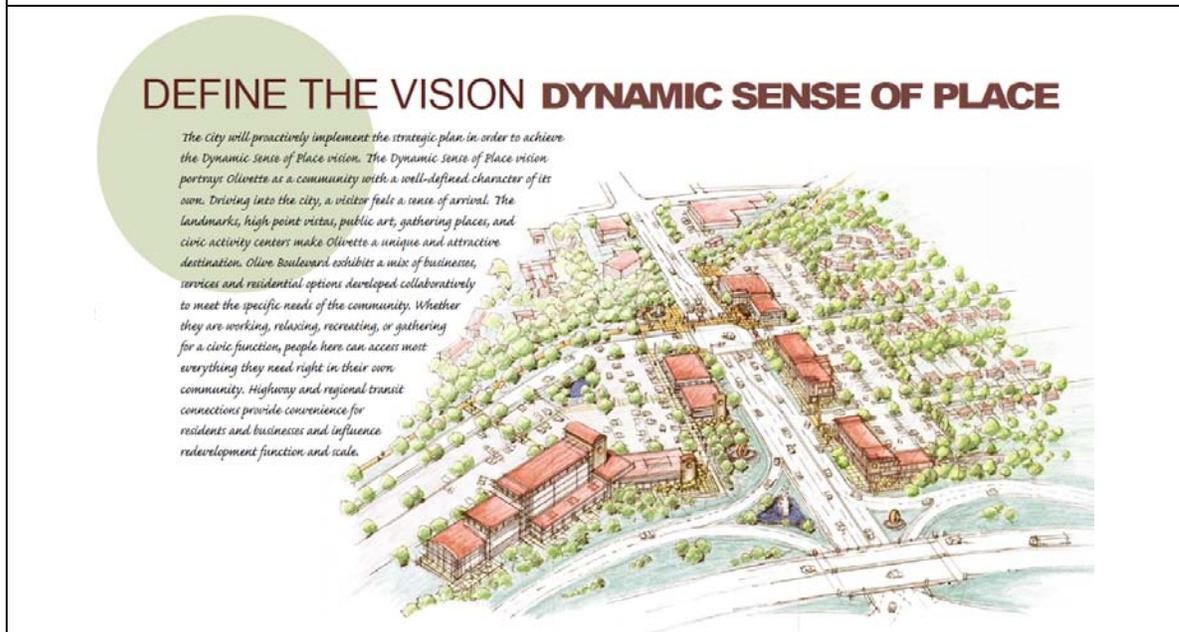
SECTION 428.050: TITLE

This Chapter shall be known and may be cited as the "Olive Boulevard Corridor Design Regulations".

SECTION 428.100: INTENT AND PURPOSE

- A. The intent of this Chapter is to further the goals and objectives of the Olivette Strategic Plan (see Figure 1 below). Supplemental to the Strategic Plan, this Chapter provides direction and guidance to the petitioner, developer, and design professional in articulating, defining, and illustrating what constitutes "dynamic sense of place".

Figure 1. The following figure is from the Olivette Strategic Plan. It provides an illustration of the overall redevelopment vision for the Olive Boulevard corridor and articulates the concept of dynamic sense of place.



- B. It is the purpose of this Chapter to:

1. Promote redevelopment along the Olive Boulevard corridor consistent with the visions of the Olivette Strategic Plan;
2. Enhance the visual appearance of the Olive Boulevard corridor through the creation of uniform streetscape standards, landscape standards, and architectural standards;
3. Develop a safe and attractive pedestrian passageway along the Olive Boulevard corridor;
4. Encourage coordinated planning between parcels, including, but not limited to, joint vehicle access, cross access easements for vehicles, pedestrians, and other non-motorized vehicular movement; and
5. Protect and preserve the value of properties along Olive Boulevard corridor.

SECTION 428.110: APPLICABILITY

- A. The standards of this Chapter shall apply to all real property located within nine hundred fifty (950') feet from the centerline of Olive Boulevard or actual depth of such property, whichever is greater.
- B. Properties currently utilized as existing single family residences whether zoned "SR" Single-Family Residential District or not are exempt from Articles contained in this Chapter.

Article I. General Provisions

- C. Any change in existing Basic Permitted Uses or Uses Permitted by Site Plan Approval under Section 400.740 to an equivalent Basic Permitted Uses or Uses Permitted by Site Plan Approval noted under Section 400.740 that results in no modifications to the site grounds or structures on the site shall be exempt from Article II Site Planning, Article III Streetscape, Article IV Building Materials and Design, Article V Landscaping, and Article VI Exterior Lighting.

SECTION 428.120: DEFINITIONS

Unless specifically defined below, words or phrases used in this Chapter shall be interpreted so as to give them the same meaning they have in common usage and to give this Chapter it's most reasonable application.

Olivette Strategic Plan: Refers to the Olivette Strategic Plan: *Dynamic Sense of Place* as adopted on August 17, 2006, and as subsequently amended.

SECTION 428.130: PROCEDURES

In conjunction with a Site Plan as required under Chapter 400 Zoning Regulations and a petition for Community Design Review in accordance to Chapter 425, this Chapter outlines additional regulations, reviews, and submission criteria for improvements along the Olive Boulevard corridor that are subject to this Chapter.

The Planning and Community Design Commission shall supplement the review of the Community Design aspects of the petition with the addition of the following Articles:

- Article II: Site Planning.
- Article III: Streetscape.
- Article IV: Building Materials and Building Design.
- Article V: Landscaping.
- Article VI: Exterior Lighting Design.

CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE II. SITE PLANNING

SECTION 428.200. INTENT AND PURPOSE

A. The intent of this Article is to ensure:

1. The placement and orientation of all buildings along the Olive Boulevard corridor enhance the streetscape and aesthetics of the Olive Boulevard corridor consistent with the City's goals and objectives as outlined in the Olivette Strategic Plan;
2. Safe and convenient pedestrian access from the street and to the building entrance;
3. Coordinate traffic management and access from the public right-of-way to developments, as well as between parcels and developments;
4. Minimal impact on surrounding and abutting residential properties; and
5. Redevelopments provide a uniform and coordinated off-road cross access trail for pedestrians and non-motorized vehicular movement that is separate and independent from the Olive Boulevard streetscape.

B. The purpose for proper Site Planning is to:

1. Strengthen and reinforce the Olive Boulevard corridor and the streetscape as proposed under this Chapter;
2. Provide for and accommodate safe and efficient pedestrian movement between the street, building, neighboring buildings, and adjacent structures;
3. Minimize the visibility of surface parking dominating the view of a parcel from the street;
4. Minimize the spillover effects of noise, vehicles, and lighting, to surrounding residential neighborhoods; and
5. Establish acceptable standards for transitions between nonresidential properties abutting residential properties.

Figure 1. The following figure, taken from the Olivette Strategic Plan, illustrates various principles and objectives for the type of site planning articulated in this Article.



Article II. Site Planning

SECTION 428.210: APPLICABILITY

A. The following table identifies reductions and exemptions that apply to certain sections of this Article for improvements involving an increase in the floor area of an existing building or other improvements that involve the expansion of the current improved surface area of a site:

TABLE 1
APPLICABILITY TABLE REGARDING ARTICLE II. SITE PLANNING

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
ARTICLE II. SITE PLANNING				
Section 428.230. Building Setback Along Olive Boulevard				
Building setback along Olive Boulevard	100%	none	not applicable	not applicable
Section 428.240. Building Placement				
Building placement	100%	100%	not applicable	not applicable
Section 428.250. Building Orientation Within The Site				
Building orientation	100%	100%	not applicable	not applicable
Section 428.260. Buffering and Transition Yards				
Buffering and transitional yard	100%	A (see note below)	100%	A (see note below)

A. At the request of the Petitioner, the Commission may permit an alternative material finish to the screen wall required under Section 428.260.A.2.

SECTION 428.220. RESERVED

SECTION 428.230: BUILDING SETBACK ALONG OLIVE BOULEVARD

A. For sites 120,000 square feet or less.

1. The maximum building setback for at least fifty percent (50%) of the building footprint parallel to and along Olive Boulevard shall not exceed twenty feet (20'). The front yard setback along streets intersecting Olive Boulevard shall be no less than twenty feet (20').

Figure 2. The following figure illustrates the setback standards that are consistent with the Olivette Strategic Plan. The buildings illustrated are consistent with the maximum twenty foot (20') setback required for lots 120,000 square feet or less.



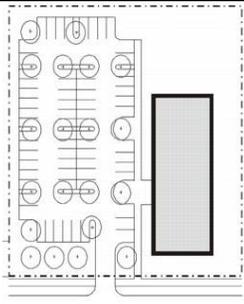
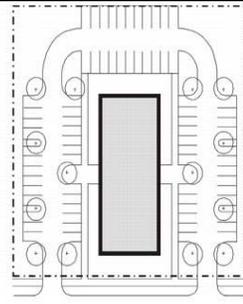
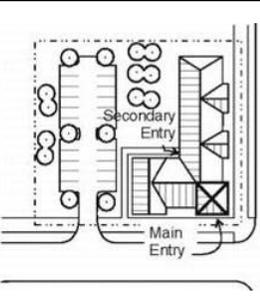
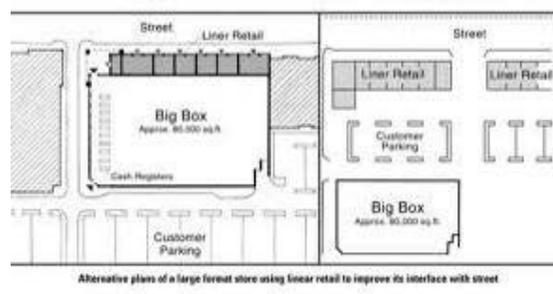
2. Variation in maximum setback. In accordance to Special Permit Use procedures outlined in Article XII Special Permits of Chapter 400 Zoning Regulations, being part of Title IV Land Use of the Olivette Municipal Code, the maximum setback along Olive Boulevard may be increased up to forty feet (40') from the right-of-way subject to the following conditions:

Article II. Site Planning

- a. The building elevation facing Olive Boulevard shall contain additional articulation features including additional windows, building planes, and other architectural features, that enhance the building's presence along the Olive Boulevard.
 - b. No off-street parking shall be permitted within the first 10-feet from the Olive Boulevard right-of-way.
 - c. No off-street parking shall be permitted in the area between the building footprint and the Olive Boulevard right-of-way.
 - d. An accessibly compliant access path shall be provided from the streetscape sidewalk along Olive Boulevard to the primary building entrance. The access path shall consist of a distinguishable finish material other than the same asphalt or concrete used in the parking areas. Stripping over asphalt or painting stripes over concrete shall not be considered dedicated and/or distinguishable.
 - e. In no case shall the width of a drive aisle within the proposed building setback and the Olive Boulevard right-of-way exceed twenty one feet (21').
- B. For sites in excess of 120,000 square feet, the building placement should complement the vision and goals of the Olivette Strategic Plan by orienting the building to reinforce the streetscape and to minimize the dominance of the parking areas and drive aisles.

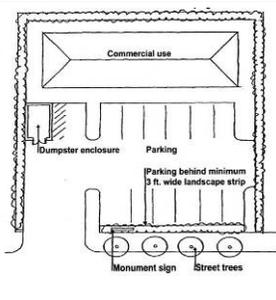
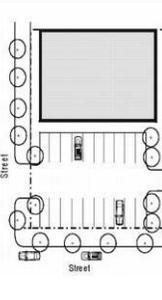
SECTION 428.240: BUILDING PLACEMENT

- A. The placement of buildings on the lot grounds are to reinforce the City's streetscape standards, to foster and be conducive to pedestrian movement along the Olive Boulevard corridor, and develop an identity unique to Olivette that is consistent with the Olivette Strategic Plan.
- B. The following figures provide various illustrations intended to assist the designer of the preferred building placements that reflects the City's goals and objectives in reinforcing the City's streetscape standards, fostering and conducive to pedestrian movement along the Olive Boulevard corridor, and developing an identity unique to Olivette that is consistent with the Olivette Strategic Plan.

<p>Figure 3-A. Portion of building is along the street and parking is set along the side.</p>	<p>Figure 3-B. Building is centered along within the lot and abutting the street. Parking is on the sides and rear.</p>	<p>Figure 3-C. The building is aligned along both street sides and defines the corner. Parking is set along the side.</p>
		
<p>Figure 3-D. To address a big box or large mass building and the accompanying parking field, smaller store fronts are placed along the street.</p>	<p>Figure 3-E. This illustration is taken from the Olivette Strategic Plan and illustrates a dynamic entrance way. Buildings are placed along the street and parking fields are screened from view.</p>	
 <p align="center"><i>Alternative plans of a large format store using linear retail to improve its interface with street</i></p>		

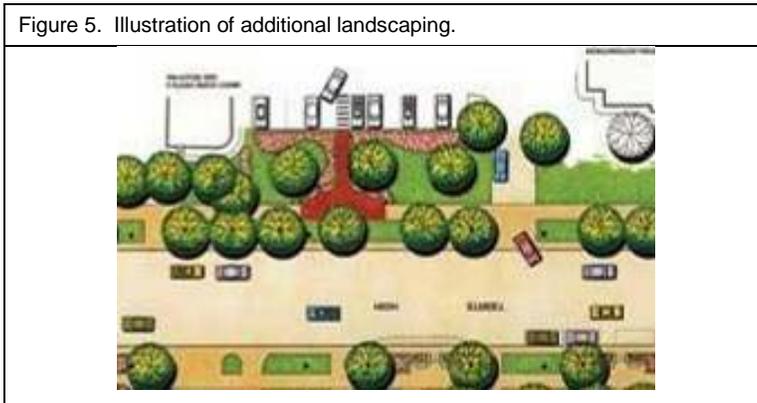
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C. The following figures provide various illustrations intended to assist the designer of building placements to avoid.

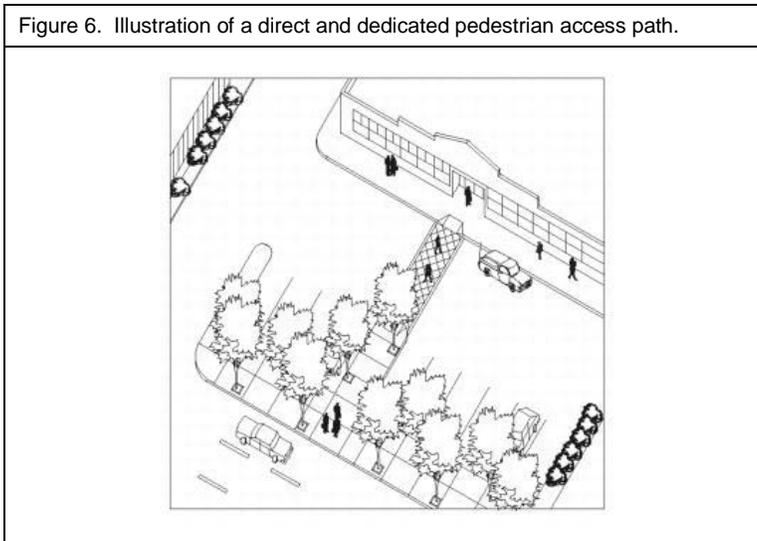
<p>Figure 4-A. Parking dominates the view along the street. The building is setback into the rear of the site. There is no clear pedestrian connection between the streetscape and building.</p>	<p>Figure 4-B. The building below fails to abut both streets, leaving a parking field along the intersecting street. The building placement also fails to take define and advantage of enhancing the street corner.</p>	<p>Figure 4-C. The building below is surrounded by a sea of parking fields and asphalt. There is no definition or reinforcement of the streetscape.</p>
		

B. In situations when a building cannot be placed along the street, the first twenty feet (20') of setback area along the Olive Boulevard corridor shall contain the following:

1. Additional landscaping in the setback area.

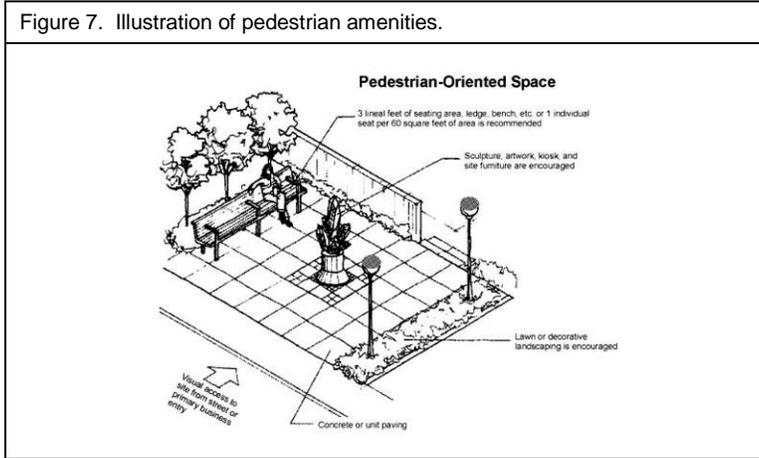


2. A direct and dedicated pedestrian access path from the Olive Boulevard sidewalk to the primary building entrance, which may include a decorative stamp concrete, brick pavers, or other similar decorative materials. Any portion in which the pedestrian path crosses a drive aisle, the decorative materials used must continue over any pavement, asphalt, or concrete area.



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- Pedestrian amenities including seating areas, public art, fountains, and other water and landscape amenities.

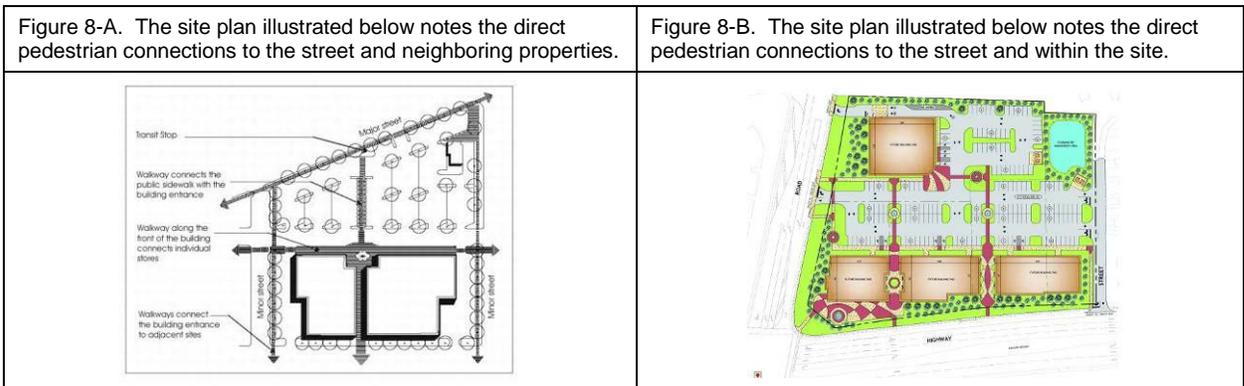


SECTION 428.250: BUILDING ORIENTATION WITHIN THE SITE

A. Building orientation within the site. All buildings within the site must contain:

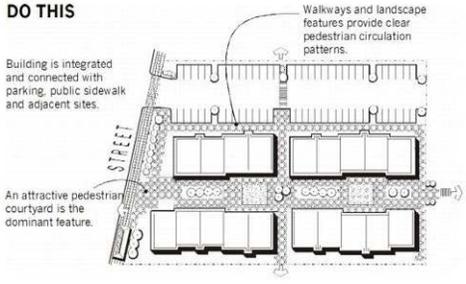
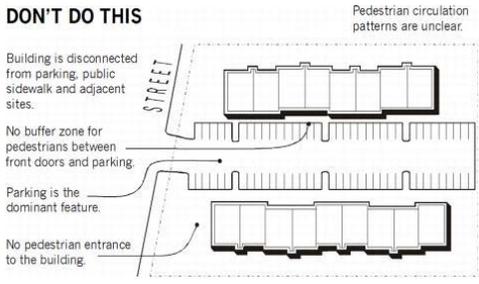
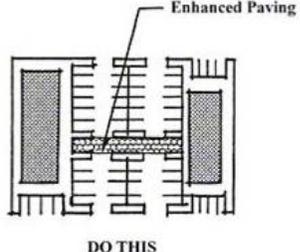
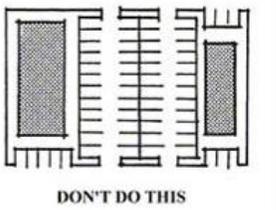
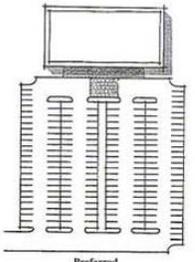
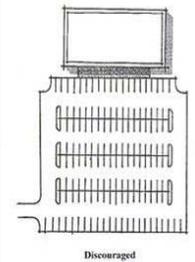
- Direct pedestrian access from the Olive Boulevard sidewalk to the front entrance of the building, including decorative concrete or brick pavers along any drive aisle crossing.
- Direct pedestrian access to other buildings on the site, including decorative concrete or brick pavers along any drive aisle crossing.
- Direct pedestrian access to other neighboring commercially zoned parcels of multifamily developments along the Olive Boulevard corridor.

B. The following figures provide various illustrations intended to assist the designer of the preferred type of building orientation within a site that provides direct pedestrian connections to the street, other buildings on the site, and to other neighboring properties.



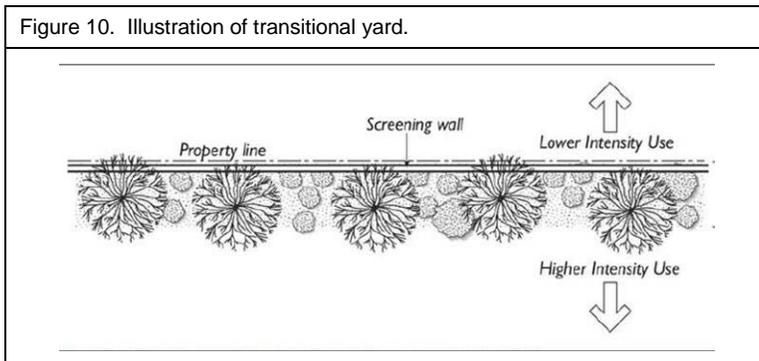
C. The following figures provide comparisons of building orientations that are preferred and that should be avoided.

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<p>Figure 9-A. Preferred. Note how the orientation of the buildings integrate and connect with each other, the parking field, and the street.</p>	<p>Figure 9-B. Avoid. Note how the orientations of the buildings are isolated from one another, disconnected from the street, and provide no clear pedestrian circulation.</p>
<p>DO THIS</p>  <p>Walkways and landscape features provide clear pedestrian circulation patterns.</p> <p>Building is integrated and connected with parking, public sidewalk and adjacent sites.</p> <p>An attractive pedestrian courtyard is the dominant feature.</p>	<p>DON'T DO THIS</p>  <p>Pedestrian circulation patterns are unclear.</p> <p>Building is disconnected from parking, public sidewalk and adjacent sites.</p> <p>No buffer zone for pedestrians between front doors and parking.</p> <p>Parking is the dominant feature.</p> <p>No pedestrian entrance to the building.</p>
<p>Figure 9-C. Preferred. Note how the defined paving between the buildings strengthen the connection of the buildings with one another.</p>	<p>Figure 9-D. Avoid. Note the lack of connectivity between the two buildings.</p>
<p>DO THIS</p>  <p>Enhanced Paving</p>	<p>DON'T DO THIS</p> 
<p>Figure 9-E. Preferred. Note how the parking field integrates and connects with the building and street.</p>	<p>Figure 9-F. Avoid. Note how the parking field isolates the building from the parking field and street.</p>
 <p>Preferred</p>	 <p>Discouraged</p>

SECTION 428.260: BUFFERING AND TRANSITION YARDS

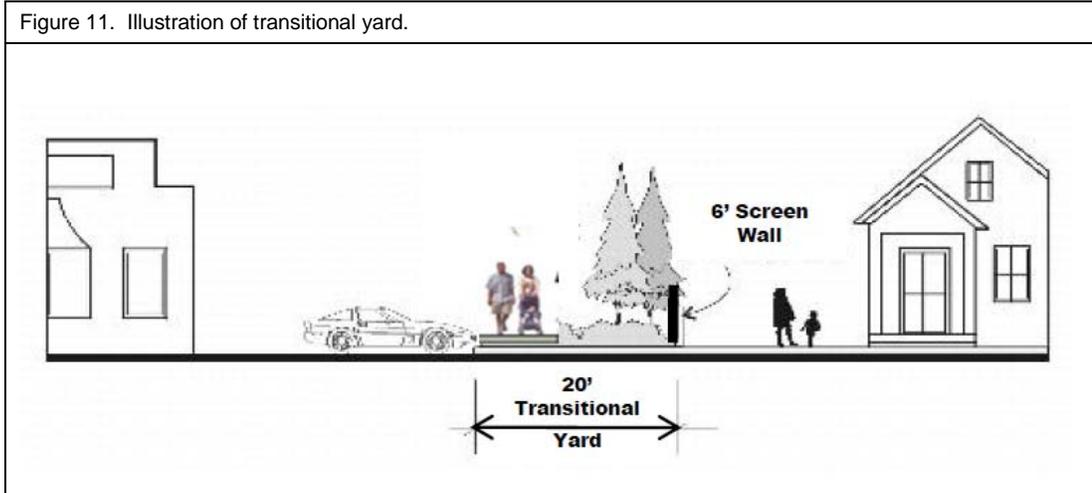
A. In conjunction with the Transitional Yard requirements under Article VIII (“COR” Commercial/Office/Retail District) and Article IX (“LID” Light Industrial District) of Chapter 400 Zoning Regulations and those of Article V Landscaping of this Chapter, when abutting a single family residentially zoned property the required twenty foot (20’) transitional yard.



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B. A screen wall shall be provided within the transitional yard subject to the following:

1. The screen wall shall consist of a panel wall system with a minimum height of six feet (6'), as measured from the side of the wall with the highest elevation.



2. The screen wall shall contain a material finish of masonry, brick, stone, block, or precast concrete with a texture and color complementary to the exterior finish of the primary building on the site.

Figure 12-A. Illustration of acceptable material finish.	Figure 12-B. Illustration of acceptable material finish.
Figure 12-C. Illustration of an unacceptable material finish.	Figure 12-D. Illustration of an unacceptable material finish.

C. The screen wall shall be a continuous panel wall system or in, in lieu for supplemental landscaping, the screen wall may be designed in sections that are no less than twelve feet (12) in length and no more than four feet (4) apart.

D. The Planning and Community Design Commission may have authority consider alternatives to the height of the screening wall or an alternative to the screen wall subject to the following:

1. The Petitioner must submit a written request of said deviation.
2. The Petitioner must present evidence as to why the screen wall would not provide an adequate transition and buffering to adjacent residential properties and provide evidence that

Article II. Site Planning

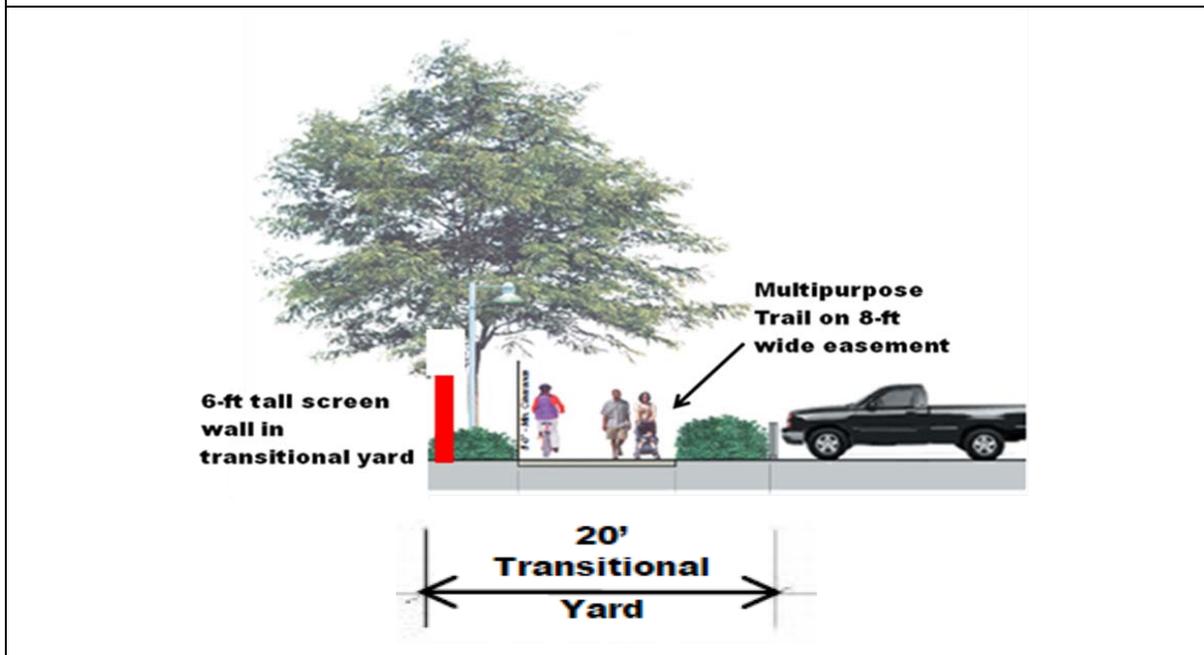
efforts have been made to shield all exterior lighting fixtures from residential property and that efforts have been made to shield all vehicle headlights from all parking areas and drive areas from residential properties.

3. The Petitioner must provide the Commission an alternative buffering plan in lieu of the screen wall that reinforces the spirit and intent of this Section and Chapter.

SECTION 428.270: MULTI-PURPOSE ACCESS TRAIL EASEMENT

- A. It is the intent of the City of Olivette to accommodate all forms of transportation and movement along the Olive Boulevard corridor. To ensure the safety of non-motorized vehicles and pedestrians a Multi-Purpose Access Trail Easement shall be provided within the transitional yard defined in Section 425.260.
- B. The Multi-Purpose Access Trail Easement shall provide pedestrian and non-motorized vehicles an alternative circulation path parallel to, but distant from, the Olive Boulevard streetscape.
- C. The Multi-Purpose Access Trail Easement shall be eight feet (8') in width running the full length of any defined transitional yard.
- D. In the case when a transitional yard does not exist, the Commission may request that access be provide to an adjacent Multi-Purpose Access Trail Easement.
- E. The Commission, at its discretion, may consider an alternate route for the Multi-Purpose Access Trail Easement so long as the easement maintains continuity and connectivity between adjacent properties also providing said easement.

Figure 13. The figure below illustrates the proposed multi-purpose trail in the transitional yard adjacent to a parking surface.



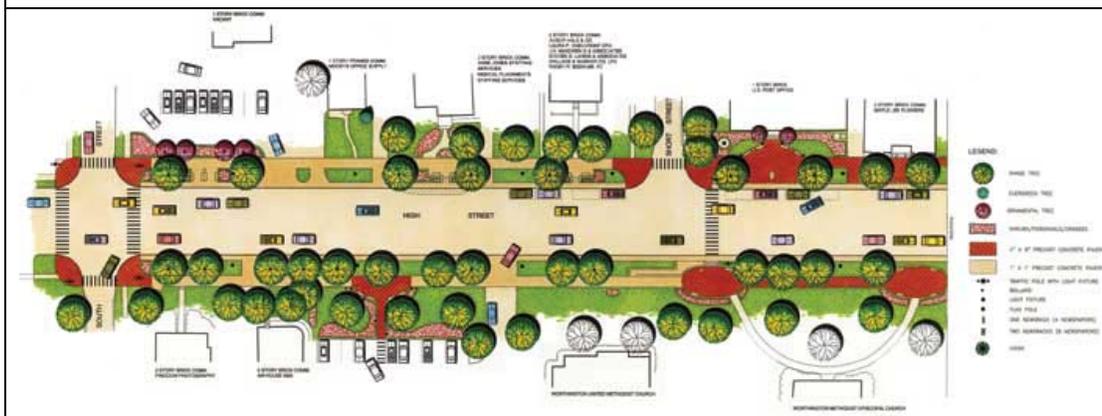
CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE III. STREETScape

SECTION 428.300: INTENT AND PURPOSE

- A. The intent of the streetscape is to define the Olive Boulevard corridor and establish the City's image consistent with the Olivette Strategic Plan.
- B. The purpose of the following regulations is to:
 - 1. Establish a City identity consistent with the Olivette Strategic Plan;
 - 2. Establish uniform regulations governing street improvements along the Olive Boulevard corridor and intersecting streets; and
 - 3. Encourage pedestrian activity along Olive Boulevard and provide a safe environment for pedestrian movement.

Figure 1. The following illustration is intended to provide an example of what would be considered an enhanced and dynamic streetscape. Elements to note include the wide sidewalks, detail to pedestrian needs and amenities, tree spacing and articulation, public plazas and hardscapes, and materials and color uses.



SECTION 428.310: APPLICABILITY

- A. The following tables identify reductions and exemptions that apply to certain sections of this Article for improvements involving an increase in the floor area of an existing building or other improvements that involve the expansion of the current improved surface area of a site:

TABLE 1
APPLICABILITY TABLE REGARDING ARTICLE III. STREETScape

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
Section 428.330. Streetscape Profile: Olive Boulevard				
G. Streetscape edge.	A (see note below)	B (see note below)	A (see note below)	B (see note below)

A At the request of the Petitioner, the Commission may authorize a reduction of the 75 planting units required under Section 428.330.G.2 to 50 planting units, and permit the alternative material finishes to constitute more than the 50% maximum permitted for the decorative screen wall under Section 428.330.G.3.

B At the request of the Petitioner, the Commission may waive the requirements under Section 428.330.G in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in this Article and the Olivette Strategic Plan.

Article III. Streetscape

TABLE 2
 APPLICABILITY TABLE REGARDING ARTICLE III. STREETScape

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
Section 428.340. Streetscape Profile: Other Streets Intersecting with Olive Boulevard				
E. Streetscape edge.	A (see note below)	B (see note below)	A (see note below)	B (see note below)

- A At the request of the Petitioner, the Commission may permit the alternative material finishes to constitute more than the 50% maximum permitted for the decorative screen wall under Section 428.340.E.3.
- B At the request of the Petitioner, the Commission may waive the requirements under Section 428.340.E in lieu of an alternative landscape plan that reinforces the spirit and intent of this Article and the Olivette Strategic Plan.

TABLE 3
 APPLICABILITY TABLE REGARDING ARTICLE III. STREETScape

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
Section 428.350. Intersections				
Primary Intersection				
hardscape	100%	100%	100%	C (see note below)
focus point	A (see note below)	B (see note below)	C (see note below)	none
Secondary Intersection				
hardscape	100%	100%	100%	C (see note below)
focus point	A (see note below)	B (see note below)	C (see note below)	none

- A At the request of the Petitioner, the Commission may consider an alternative focus point design in lieu of those outlined under Section 428.350.B.3.
- B At the request of the Petitioner, the Commission may consider a public-private joint partnership in funding the focus point required Section 428.350.B.3.
- C At the request of the Petitioner, the Commission may waive the requirements under Section 428.350.B.2 and B.3 in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.

SECTION 428.320: DEFINITIONS

The following definitions shall be applicable to this Article.

Decorative Screen Wall: A three foot (3') tall, decorative-masonry landscape or retaining wall within the streetscape edge that is intended to define the perimeter of the streetscape.

MoDOT: An acronym used in lieu of the Missouri Department of Transportation.

Off-street Parking Landscape Perimeter: The first five feet (5') adjacent to and parallel to the curb edge of any interior parking or drive aisle along a street front building setback, including Olive Boulevard.

Pedestrian Way: A component of the streetscape, the pedestrian way is an unobstructed, concrete sidewalk adjacent to and parallel to the street transition area.

Street Curb: A six inch (6") wide vertical edge constructed of concrete extending above the street pavement at a minimum of six inches (6").

Streetscape: The first 20-feet of land area parallel and adjacent to the street curb. The streetscape includes property within both the right-of-way and on the adjacent private grounds. Components of the streetscape consist of the street curb, street transition area, pedestrian way, streetscape edge, and off-street parking landscape perimeter.

Street Transition Area: A component of the streetscape, the street transition area is an area between the street curb and pedestrian way intended to provide a buffer and sense of security to pedestrians utilizing the sidewalk. The street transition area may consist of a hardscape or landscape area and is generally where ornamental street trees, tree grates, and pedestrian street lights are placed.

Article III. Streetscape

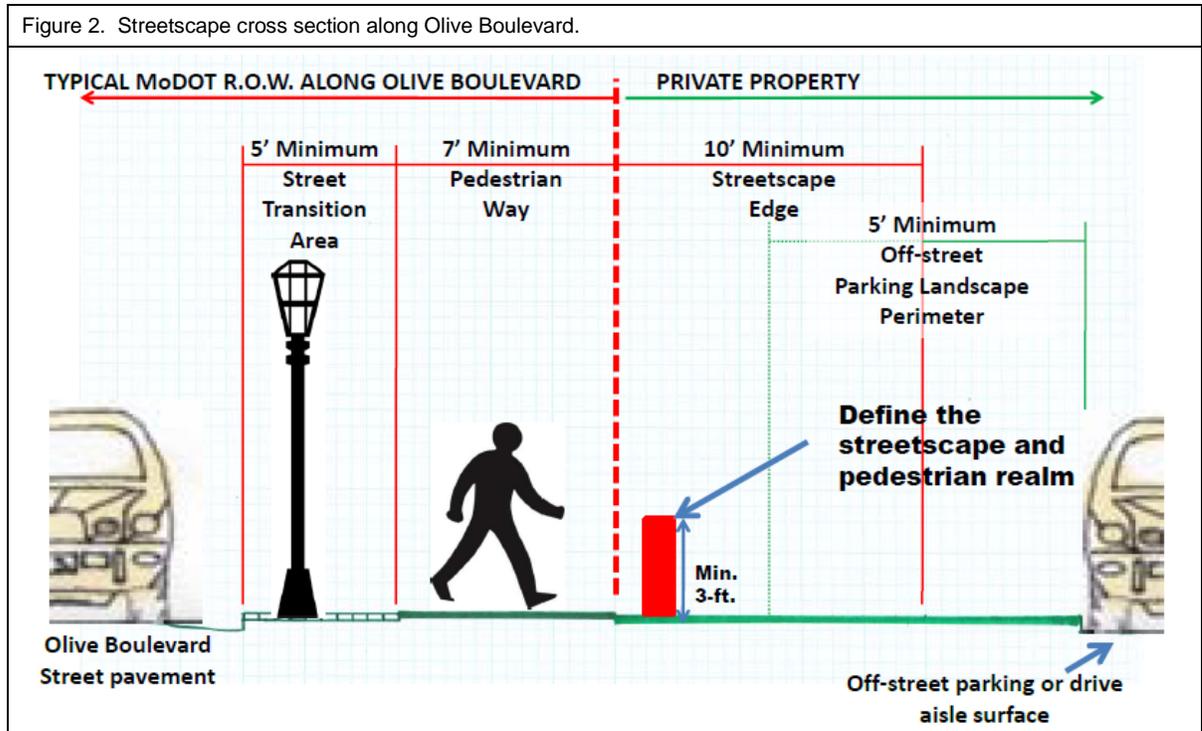
Streetscape Edge: A component of the streetscape, the streetscape edge is an area adjacent and parallel to the pedestrian way. The streetscape edge may overlap onto the street right-of-way and/or private property. The streetscape edge generally contains a decorative screen wall that is intended to define the perimeter of the streetscape and the beginning of a parking or building area.

Street Intersection, Primary Level: All signalized street intersections along the Olive Boulevard corridor. Including, but not limited to, Hilltop and Collingwood Drive, Price Road, Dielman Road, Indian Meadows Drive, and Old Bonhomme Road.

Street Intersection, Secondary Level: All non-signalized street intersections along the Olive Boulevard corridor. Including, but not limited to, Dolores Avenue, Dielman Industrial Drive, Llewellyn Lane, Olivette Executive Parkway, Elbring Drive, Indian Trails Drive, Magnet Drive, Harvest Drive, Friese Drive, Olivaire Lane, and Basswood Lane.

SECTION 428.330: STREETSCAPE PROFILE: OLIVE BOULEVARD

- A. Streetscape. Beginning at the exterior edge, the first twenty feet parallel and along the curb edge shall consist of the Olive Boulevard streetscape. The streetscape includes property within both the right-of-way and on the adjacent private grounds.
- B. Components of the streetscape. The streetscape shall consist of the following components:
 - 1. The street curb;
 - 2. The street transition area;
 - 3. The pedestrian way;
 - 4. The streetscape edge; and
 - 5. The off-street parking landscape perimeter.
- C. Streetscape cross section. The following figure illustrates the various components that make the Olive Boulevard streetscape.



- D. Street curb. Adjacent to and parallel to the driving lanes of Olive Boulevard, a street curb consistent with the specifications and regulations outlined by the MoDOT shall be provided. It is the intent of this Chapter to have all existing rolled curbs along Olive Boulevard replaced with the vertical street curbs.

Article III. Streetscape

<p>Figure 3-A. The following figure illustrates the existing rolled curb along Olive Boulevard.</p>	<p>Figure 3-B. The following figure illustrates the intended vertical curb to replace all existing rolled curbs along Olive Boulevard.</p>
	

E. Street transition area. A minimum five foot (5') wide street transition area constructed in accordance with standards and regulations outlined by the MoDOT shall be provided adjacent to and parallel with the street curb.

<p>Figure 4-A. The following figure illustrates the existing asphalt shoulder along Olive Boulevard.</p>	<p>Figure 4-B. The following figure provides an illustration of the proposed street transition area.</p>
	

1. The street transition area is intended to provide a buffer between the roadway surface and pedestrian way.

<p>Figure 5-A. The following figure illustrates a pedestrian way that has no street transition area to provide a buffer from the street.</p>	<p>Figure 5-B. The following figure illustrates a pedestrian way that with a street transition area providing a buffer from the street. Note how the street transition area contains specific streetscape elements to minimize obstructions within the pedestrian way.</p>
	

2. The street transition area shall include the following elements:

- a. Stamped concrete: The full width of the street transition area shall consist of a concrete surface that includes decorative stamped features as outlined in the specifications adopted by the Department of Public Services.
- b. Ornamental pedestrian lights: An ornamental pedestrian light fixture shall be provided in intervals not to exceed thirty feet (30') except in situations when interrupted by an apron leading onto Olive Boulevard. Ornamental pedestrian light fixture shall be spaced no closer than fifteen feet (15') from the edge of an apron leading onto Olive Boulevard.
- c. Ornamental trees: An ornamental tree as defined by this Chapter shall be provided in intervals not to exceed thirty feet (30') except in situations when interrupted by an

Article III. Streetscape

apron leading onto Olive Boulevard, in which an ornamental tree shall be spaced no closer than twenty feet (20') from the edge of the apron leading onto Olive Boulevard.

- d. Ornamental tree grates: Each ornamental tree shall contain a protective grate and cover at the base.
 - e. Trash receptacles: As directed by Director of Public Services, trash receptacles shall be provided in the street transition area.
 - f. Utilities as required by the MoDOT, Missouri American Water, Laclede Gas and Ameren UE. Efforts shall be made to have all other utilities located outside of the street transition area.
3. The Department of Public Services shall adopt and provide design and construction specifications and construction details for all the above referenced improvements in the street transition area.
- F. Pedestrian way. A minimum seven foot (7') pedestrian way constructed in accordance with standards and regulations outlined by the MoDOT shall be provided adjacent to and parallel with the street transition area. The pedestrian way shall consist of an unobstructed pathway to serve as a pedestrian sidewalk.

Figure 5-A. The following figure illustrates the existing asphalt shoulder along Olive Boulevard.	Figure 5-B. The following figure provides an illustration of the proposed pedestrian way along Olive Boulevard.
	

- 1. The pedestrian way is intended to provide a wide and uninterrupted pathway for pedestrians and non-motorized vehicles (see Figure 5-B).
 - 2. It is possible that a portion of overall width of the pedestrian way may extend beyond the right-of-way line and encroach onto private property. In situations in which the pedestrian way encroaches onto private property, a legal instrument providing an easement for the pedestrian way shall be prepared by the developer, approved by the City, and recorded with the Saint Louis County Recorder of Deeds.
- G. Streetscape edge. A minimum ten foot (10') wide streetscape edge shall be provided adjacent to and parallel with the pedestrian way. It is anticipated that the streetscape edge will be fully on private property.
- 1. The intent of the streetscape edge is to provide a landscaped area that defines the edge of the streetscape and shields off-street parking areas and drive lanes from view.
 - 2. Landscaping. Landscaping. In accordance with the landscape standards defined in Article V of this Chapter, the streetscape edge shall contain the following landscape requirements:
 - a. At least seventy-five (75) planting units shall be provided for every one hundred (100) lineal feet of right-of-way along Olive Boulevard.
 - b. At least one third (1/3) of the 75 planting units shall consist of ornamental, medium, and/or large trees.
 - c. All trees shall be evenly spaced and may not exceed a lineal distance of thirty (30) feet.
 - d. In the event that the off-street parking landscape perimeter encroaches into the streetscape edge, landscaping points for both off-street parking landscape perimeter and the street edge shall comply with the combined point requirements of each section.

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- 3. Decorative screen wall. Within the streetscape edge there shall be a three foot (3') tall decorative screen wall, as measured along the side facing Olive Boulevard that is intended to define the perimeter of the Olive Boulevard streetscape. Conditions for the decorative wall are as follows:

- a. The decorative screen wall shall consist of a solid masonry or stone exterior finish compatible with the primary building on the property grounds.

Figure 6. The following figure illustrates a decorative screen wall with a masonry finish.



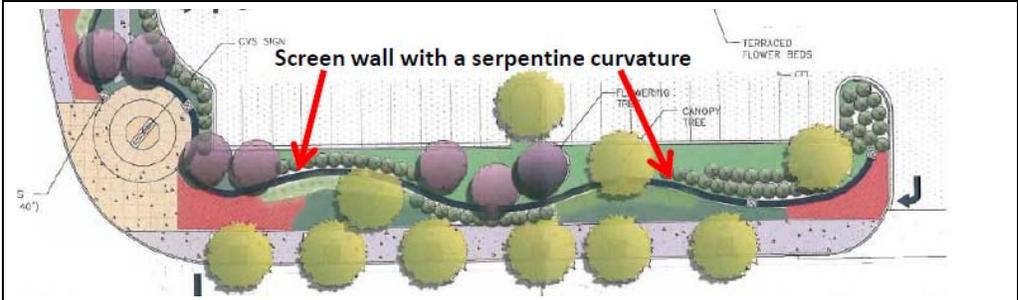
- b. Up to 50% of the decorative screen wall can consist of other material such as an ornamental fence or dense landscape hedge as approved by the Planning and Community Design Commission.

Figure 7. The following figure illustrates how the decorative screen wall can be designed with other material integrated with the masonry finish.



- c. The decorative screen wall may run in either a linear, serpentine, or in curvature fashion so long as it is parallel to the pedestrian way.

Figure 8. The following figure illustrates how the decorative screen wall can be designed with serpentine curvature within the streetscape edge.



- d. At the point of any apron leading to Olive Boulevard, the decorative screen wall may transition, or curve into property grounds, so that it is no closer than ten feet (10') to the apron curb.
- e. The decorative screen wall may contain signage that identifies the use or user's logo, so long as the signage is an integral part of the wall. The signage on the wall may not advertise items sold or offered on the site.

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Figure 9. The following figure illustrates how signage can be incorporated into the decorative screen wall.



4. In situations in which the grading of the lot requires the decorative screen wall to exceed three feet (3') in height, the decorative screen wall shall be tiered so that no portion of the decorative screen wall exceeds three feet (3').

Figure 10-A. The following figure illustrates a decorative screen wall in which the grades on both sides of the wall are about equal in elevation.

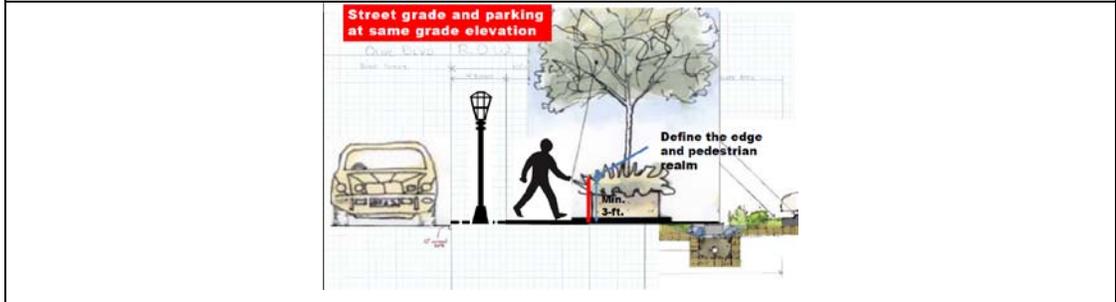
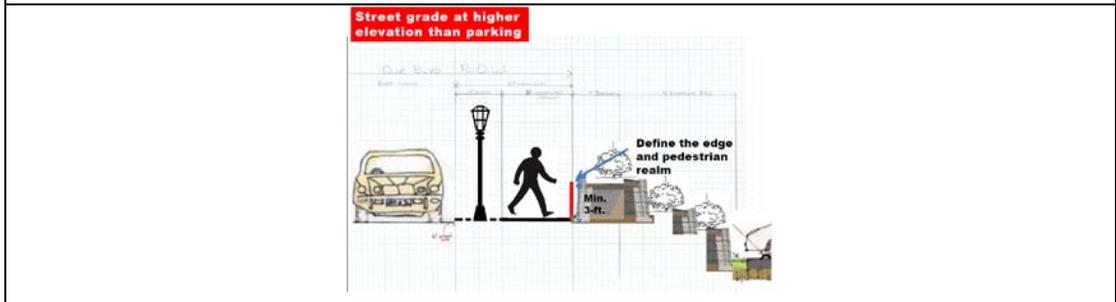


Figure 10-B. The following figure illustrates a decorative screen wall in which the grades on opposite side of the wall are higher in elevation.



Figure 10-C. The following figure illustrates a decorative screen wall in which the grades on opposite side of the wall are lower in elevation.



H. Off-street parking landscape perimeter.

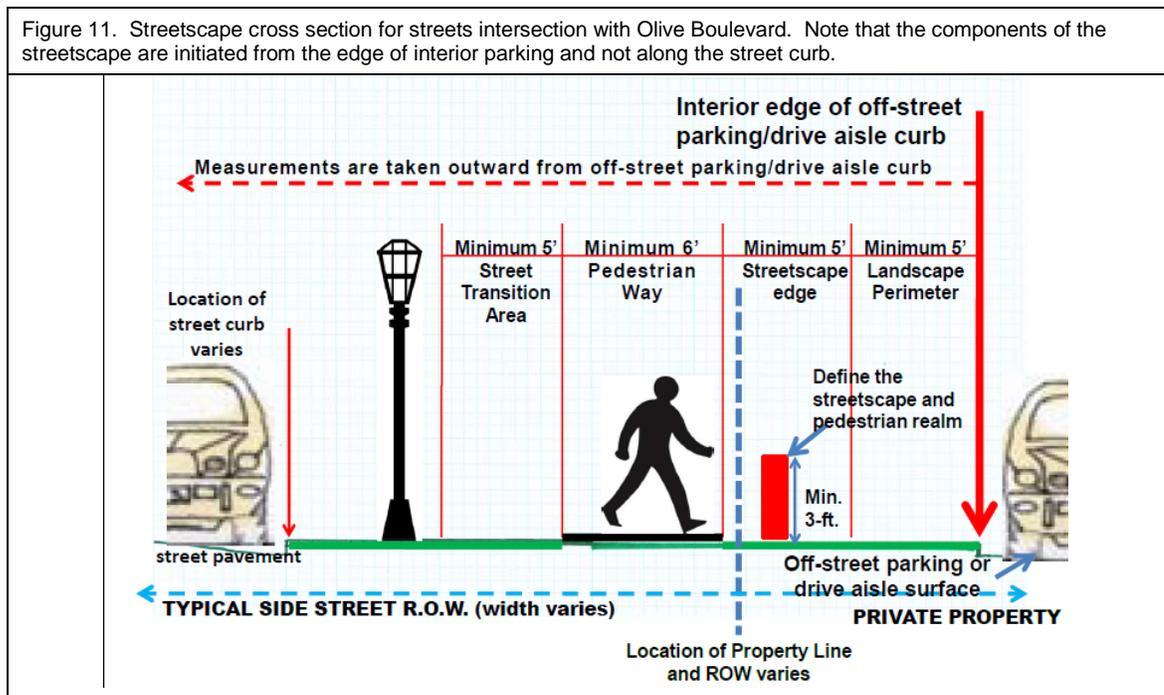
1. An off-street parking landscape perimeter of no less than ten feet (10') in width shall be provided parallel to the streetscape edge.

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2. The off-street parking landscape perimeter may abut or encroach no more than five feet (5') into the required streetscape edge as defined under Section 428.330.G.
3. Landscaping in the off-street parking landscape perimeter shall comply with Section 428.540.C.
4. In the event that the off-street parking landscape perimeter encroaches into the streetscape edge, landscaping points for both off-street parking landscape perimeter and the street edge shall comply with the combined point requirements of each section.

SECTION 428.340: STREETSCAPE PROFILE: STREETS INTERSECTING WITH OLIVE BOULEVARD

- A. Streetscape. In a reverse format as compared to the streetscape profile for Olive Boulevard, the streetscape on streets intersecting with Olive Boulevard are measured from the interior of the off-street parking landscape perimeter outwards toward the street. Given that intersecting side streets have varying right-of-way widths and the street surface is not always centered in the right-of-way, this format allows for the edge of off-street parking to be placed up to the property line so long as the minimum dimensions of each street component can be met.
- B. Components of the streetscape. Beginning at the interior edge of the off-street parking landscape perimeter, the streetscape shall consist of the following components:
 1. The off-street parking landscape perimeter;
 2. The streetscape edge;
 3. The pedestrian way;
 4. The street transition area; and
 5. The street curb.
- C. Streetscape cross section. The following figure illustrates the various components that make the streetscape for streets intersecting with Olive Boulevard.



- D. Off-street parking landscape perimeter.
 1. An off-street parking landscape perimeter of no less than five feet (5') in width shall be provided.

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2. It is possible for the off-street parking landscape perimeter to lie within the property grounds and/or partially or wholly in the street right-of-way.
 3. Landscaping in the off-street parking landscape perimeter shall comply with Section 428.540.C.
 4. In the event that the off-street parking landscape perimeter encroaches into the streetscape edge, landscaping points for both off-street parking landscape perimeter and the street edge shall comply with the combined point requirements of each section.
- E. Streetscape edge. A minimum five foot (5') wide streetscape edge shall be provided adjacent to and parallel with the off-street parking landscape perimeter. It is possible for the streetscape edge to lie within the property grounds and/or partially or wholly in the street right-of-way.
1. The intent of the streetscape edge is to provide a landscaped area that defines the edge of the streetscape and shields off-street parking areas and drive lanes from view.
 2. Landscaping. In accordance with the landscape standards defined in Article V of this Chapter, the streetscape edge shall contain the following landscape requirements:
 - a. At least eighty (80) planting units shall be provided for every one hundred (100) lineal feet of right-of-way along Olive Boulevard; and
 - b. At least one third (1/3) of the 80 planting units shall consist of ornamental, medium, and/or large trees.
 - c. All trees shall be evenly spaced and may not exceed a lineal distance of thirty (30) feet.
 - d. In the event that the off-street parking landscape perimeter encroaches into the streetscape edge, landscaping points for both off-street parking landscape perimeter and the street edge shall comply with the combined point requirements of each section.
 3. Decorative screen wall. Within the streetscape edge there shall be a three foot (3') tall decorative screen wall, as measured along the side facing the street that is intended to define the perimeter of the side street streetscape. Conditions for the decorative wall are as follows:
 - a. The decorative screen wall shall extend a length of no less than 25% of the lot depth measured along the street. The wall may then terminate or taper down in height.
 - b. The decorative screen wall primarily shall consist of a solid masonry or stone exterior finish compatible with the primary building on the property grounds. See Figure 6 of this for an illustrative example.
 - c. Up to 50% of the decorative screen wall can consist of other material such as an ornamental fence or dense landscape hedge as approved by the Planning and Community Design Commission. See Figure 7 for an illustrative example.
 - d. The decorative screen wall may run in either a linear, serpentine, or in curvature fashion so long as it is parallel to the pedestrian way. See Figure 8 for an illustrative example.
 - e. At the point of any apron leading to the side street, the decorative screen wall may transition, or curve into property grounds, so that it is no closer than ten feet (10') to the apron curb.
 - f. The decorative screen wall along a side street may not contain any signage.
 3. In situations in which the grading of the lot requires the decorative screen wall to exceed three feet (3') in height, the decorative wall shall be tiered so that no portion of the decorative screen wall exceeds three feet (3'). See Figures 10-A, 10-B, and 10-C for illustrative examples.
- F. Pedestrian way. A minimum six foot (6') pedestrian way constructed in accordance with standards and regulations outlined by the MoDOT, Saint Louis County, and the City of Olivette, shall be provided adjacent to and parallel with the streetscape edge. The pedestrian way shall consist of an unobstructed pathway to serve as a pedestrian sidewalk. See Figure 5-B for illustrative examples.

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1. The pedestrian way is intended to provide a wide and uninterrupted pathway for pedestrians and non-motorized vehicles (see Figure 5-B).
 2. It is possible that a portion of overall width of the pedestrian way may extend beyond the right-of-way line and encroach into private property. In situations in which the pedestrian way encroaches into private property, a legal instrument providing an easement for the pedestrian way shall be prepared by the developer, approved by the City, and recorded with the Saint Louis County Recorder of Deeds.
- G. Street transition area. A minimum five foot (5') wide street transition area constructed in accordance with standards and regulations outlined by the MoDOT, Saint Louis County, and the City of Olivette shall be provided adjacent to and parallel with the street curb. See Figure 4-B for an illustrative example.
1. The street transition area is intended to provide a buffer between the roadway surface and the pedestrian way.
 2. The street transition area shall include the following elements:
 - a. A vegetative area with ground over consisting of natural grass or other landscape material approved by the Planning and Community Design Commission.
 - b. Ornamental trees: An ornamental tree as defined by this Chapter shall be provided in intervals not to exceed thirty feet (30') except in situations when interrupted by an apron leading onto Olive Boulevard, in which an ornamental tree shall be spaced no closer than twenty feet (20') from the edge of the apron leading onto Olive Boulevard.
 - c. Utilities as required by the MoDOT, Missouri American Water, Laclede Gas and Ameren UE. Efforts shall be made to have all other utilities located outside of the street transition area.
 3. The Department of Public Services shall adopt and provide design and construction specifications and construction details for all the above referenced improvements in the street transition area.
- H. Street curb. Adjacent to and parallel to the driving lanes of the side street intersecting with Olive Boulevard, a street curb consistent with the specifications and regulations outlined by MoDOT, Saint Louis County and the City of Olivette shall be provided. It is the intent of this Chapter to have all existing rolled curbs along the side street replaced with the vertical street curbs. See Figure 3-B for an illustrative example.

SECTION 428.350: INTERSECTIONS

- A. There shall be two levels of design standards at street intersections along the Olive Boulevard corridor, a Primary Level Street Intersection and a Secondary Level Street Intersection.
1. Primary Level Street Intersection. Any signalized intersection along the Olive Boulevard corridor shall be considered a primary level street intersection.
 2. Secondary Level Street Intersection. Any non-signalized street public or private way intersecting with Olive Boulevard shall be considered as a secondary level street intersection.
 3. Streetscape area. Every intersection with Olive Boulevard shall contain a defined streetscape area as follows:
 - a. Streetscape area at a primary level street intersection. The streetscape area at a primary level street intersection shall consist of the area within a fifty foot (50') radius from the point in which the street curbs would intersect if they were extended into the street pavement. See Figure 12-A.
 - b. Streetscape area at a secondary level street intersection. The streetscape area at a secondary level street intersection shall consist of the area within a thirty foot (30') radius from the point in which the street curbs would intersect if they were extended into the street pavement. See Figure 12-B.
 - c. The streetscape area shall consist of the following components:
 - i. Defined Perimeter.

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- ii. Interior hardscape.
- iii. Focus point.

Figure 12-A. The following figure provides an illustration of the streetscape area at a primarily level street intersection.



Figure 12-B. The following figure provides an illustration of the streetscape area at a secondary level street intersection.



B. Design Standards for Streetscape Area Components:

1. Defined perimeter. Within the streetscape area defined by the established radius there shall be a defined perimeter consisting of a decorative wall feature or dense landscaping.

Figure 13-A. The following figure provides an illustrative example of how to define the perimeter of the streetscape area.

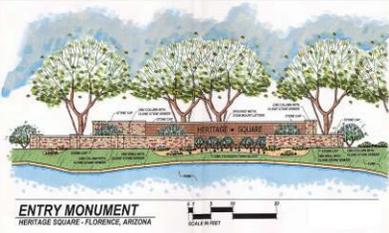


Figure 13-B. The following figure provides an illustrative example of how to define the perimeter of the streetscape area.

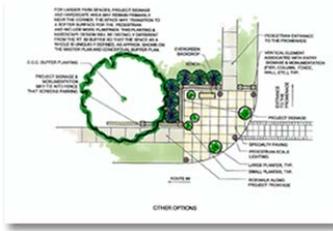


Figure 13-C. The following figure provides an illustrative example of how to define the perimeter of the streetscape area.



2. Interior hardscape. Within the streetscape area, the interior of the radius area shall consist of a hardscape area that may include landscaping, arts, fountains, and other decorative and ornamental features as a component.

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<p>Figure 14-A. The following figure provides an illustrative example of an acceptable interior hardscape.</p>	<p>Figure 14-B. The following figure provides an illustrative example of an acceptable interior hardscape.</p>
 <p align="center">Rogers Fountain and Memorial Plaza, Modesto, CA</p>	
<p>Figure 14-C. The following figure provides an illustrative example of an acceptable interior hardscape.</p>	<p>Figure 14-D. The following figure provides an illustrative example of an acceptable interior hardscape.</p>
	

3. Focus point. Within the interior hardscape there shall be a focus point that consists of a significant architectural or landscape structure.
 - a. At a primary level street intersection, the focus point shall contain one of the following:
 - i. A public art sculpture with a height equal to or in excess of six feet (6').
 - ii. A fountain pool with a circumference of no less than six feet (6') containing a water feature, cascade, or spout of at least four feet (4') in height.
 - iii. An architectural element such as a clock tower, obelisk, colonnade, or arcade.
 - b. At a secondary level street intersection, there shall be a focus point that consists of one of the following:
 - i. A public art sculpture.
 - ii. A fountain pool with a water feature, cascade, or spout.
 - iii. An architectural element such as a clock tower, obelisk, colonnade, or arcade.

<p>Figure 15-A. The following figure provides an illustrative example of an acceptable focus point.</p>	<p>Figure 15-B. The following figure provides an illustrative example of an acceptable focus point.</p>
	

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Figure 15-C. The following figure provides an illustrative example of an acceptable focus point.	Figure 15-D. The following figure provides an illustrative example of an acceptable focus point.
	

4. The following figures provide illustrations of streetscape designs that are unacceptable.

Figure 16-A. The following figure provides an illustrative example of an unacceptable streetscape design.	Figure 16-B. The following figure provides an illustrative example of an unacceptable streetscape design.
	

5. The Planning and Community Design Commission, at its discretion, may consider alternative streetscape area design standards so long as the alternative design reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.

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CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE IV. BUILDING MATERIALS AND BUILDING DESIGN

SECTION 425.400: INTENT AND PURPOSE

A. The building design regulations specified in this Section are intended to foster quality architectural design and building material use to encourage aesthetically pleasing buildings which will protect and preserve the appearance, character, general health, safety and welfare of the City. Specifically, these regulations are intended to heighten the design of architecture in the City and to preserve the value of properties located along the Olive Boulevard Corridor. These standards are considered reasonable basic standards, providing sufficient flexibility to encourage creativity and are not intended to limit the ingenuity of the design professional. The Council of the City makes the following determinations and findings with regards to the requirements below:

1. The materials selected for use by the City represent the character and quality of architecture of the City;
2. The building design standards are those the City believes best reflect the architectural values of the community, preserve and enhance the existing surrounding environment, preserve the value of properties located along the Olive Boulevard Corridor and advance the principles and goals of the Olivette Strategic Plan; and
3. Ensure that accessory structures, mechanical equipment, and other supportive structures intended for a building, multiple buildings, or site maintenance, are not an afterthought, but properly designed to support and enhance the aesthetics of the building structures, enhance the site grounds, and compliment the overall surroundings of the site and neighboring properties.

SECTION 428.410: APPLICABILITY

A. The following table identifies reductions and exemptions that apply to certain sections of this Article for improvements involving an increase in the floor area of an existing building or other improvements that involve the expansion of the current improved surface area of a site:

TABLE 1
APPLICABILITY TABLE REGARDING ARTICLE IV. BUILDING MATERIALS AND DESIGN

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
ARTICLE IV. BUILDING MATERIALS AND DESIGN				
Section 428.430. Building Materials	100%	100%	not applicable	not applicable
Section 428.440. Building Design				
Building entry	Depends on addition location.		not applicable	not applicable
Masses and voids	Depends on addition location.		not applicable	not applicable
Elevation articulation	Depends on addition location.		not applicable	not applicable
Visual interest	Depends on addition location.		not applicable	not applicable
Rood design	Depends on addition location.		not applicable	not applicable
Signage	100%	100%	not applicable	not applicable
Screening of equipment	100%	100%	not applicable	not applicable

SECTION 428.420: RESERVED

SECTION 428.430: BUILDING MATERIALS

A. The following material finishes are acceptable as primary exterior building materials. The exterior wall area of each building plane under this Article shall consist of no less than fifty percent (50%) of one of, or combination of, the following materials:

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1. Standard and modular sized brick not exceeding a nominal size of 4-inches by 2 2/3-inches by 8-inches; or
 2. Natural stone or adhered concrete masonry veneer.
- B. The following finish materials are permitted to be used as secondary building materials, subject to the approval of the Planning and Community Design Commission. The total aggregate use of said materials may not exceed fifty percent (50%) of the total exterior wall area for each building plane:
1. Architectural pre-cast concrete cladding units or panels (acceptable textures subject to approval by the Commission);
 2. Architectural cast stone veneer panels and trim profiles;
 3. Architectural, metal-panel enclosure systems such as by Alucobond, Centria, Petersen, Robertson, or other approved manufacturer;
 4. Variable reflective glass (acceptable reflections subject to approval by the Commission); and
 5. Glazed curtain wall and aluminum-framed storefront systems, such as by EFCO, Kawneer, Tubelite, Vistawall, or other approved manufacturer.
- C. The following finish materials are permitted to be used for roofing purposes:
1. Natural or synthetic slate shingles;
 2. Wood shingles and shakes;
 3. Natural or synthetic clay roof tiles;
 4. Non-exposed (not visible from the adjacent ground plane) membrane roofing such as EPDM, TPO, PVC, or other similar material;
 5. Sheet metal roofing, including standing seam, batten seam, and flat seam installations, using copper, zinc, pre-finished or terne-coated metal.
- D. The following exterior finish materials are conditionally permitted to be used as a building accent material, subject to the approval of the Planning and Community Design Commission. The total aggregate use of said materials may not exceed fifteen percent (15%) of the total exterior wall area for each building plane:
1. Oversized brick masonry (including Jumbo, King, Roman, Norman, Economy, or Utility brick sizes);
 2. Architectural concrete unit masonry (including exposed aggregate, fluted, molded-face, pre-faced, and split-face units);
 3. Glass unit masonry;
 4. Cement stucco or EIFS (exterior insulation and finish system);
 5. Corrugated metal panel siding;
 6. Naturally durable wood siding, such as cedar or redwood; and
 7. Ceramic, quarry, or stone tile.
- E. The following materials are prohibited from use as an exterior wall finish:
1. Cast-in-place concrete, whether painted or unpainted;
 2. Concrete finishes or pre-cast concrete panels (such as tilt-up walls) that are not exposed aggregate, hammered, or sandblasted;
 3. Exposed concrete masonry units (CMU), other than architectural concrete masonry units;
 4. Exposed asphalt composite shingle roofing or siding;
 5. Exposed aluminum lap siding;
 6. Exposed plywood siding;
 7. Exposed vinyl lap siding;

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- 8. Manufactured building systems, such as by Butler Manufacturing or other manufacturers producing similar products;
- 9. Exposed chain-link fencing.

SECTION 428.440: BUILDING DESIGN

- A. The intent of this section is to establish provisions to promote the highest quality of design consistent with the Olivette Strategic Plan and standards of the City of Olivette.
- B. It is the purpose of this section is to establish design parameters to ensure buildings along the Olive Boulevard corridor are respectful, complementary, and avoid the overshadow existing developments in the immediate area. This section is not intended to place limitations on a building's size, mass, or height, in comparison to its surroundings, but to ensure that the building design incorporates forms, scales, and proportions that may pre-exist.
- C. To evaluate building design, the following components will be considered during review:
 - 1. Building Entry.
 - 2. Masses and Voids.
 - 3. Elevation Articulation.
 - 4. Roof Design.
 - 5. Signage.
 - 6. Screening of Equipment.
- D. Building Entry. All buildings shall have a clearly defined building entrance that is at a scale convenient and comfortable to the pedestrian, visible to the pedestrian along the street, and easily accessible to the pedestrian on the street and within the parking lot.
 - 1. The following design principles shall be used to evaluate appropriate building entries.
 - a. Single story buildings should contain a building entry projects which projects above the main roof line.
 - b. All building entries shall provide pedestrian cover from outside elements.
 - 2. The following figures provide illustrations of building entries that are found to be acceptable.

Figure 1-A. The following figure provides an illustration of a multi-tenant and multi-story building that exhibits an acceptable building entry.



Figure 1-B. The following figure provides an illustration of a multi-tenant and multi-story building that exhibits an acceptable building entry.



Figure 1-C. The following figure provides an illustration of a single tenant building that exhibits an acceptable building entry.

Figure 1-D. The following figure provides an illustration of a single tenant building that exhibits an acceptable building entry.

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3. The following figures provide illustrations of building entries that are found to be unacceptable.

Figure 2-A. The following figure provides an illustration of a multi-tenant building that poorly exhibits an acceptable building entry.



Figure 2-C. The following figure provides an illustration of a single tenant building that poorly exhibits an acceptable building entry.



Figure 2-D. The following figure provides an illustration of a single tenant building that poorly exhibits an acceptable building entry.

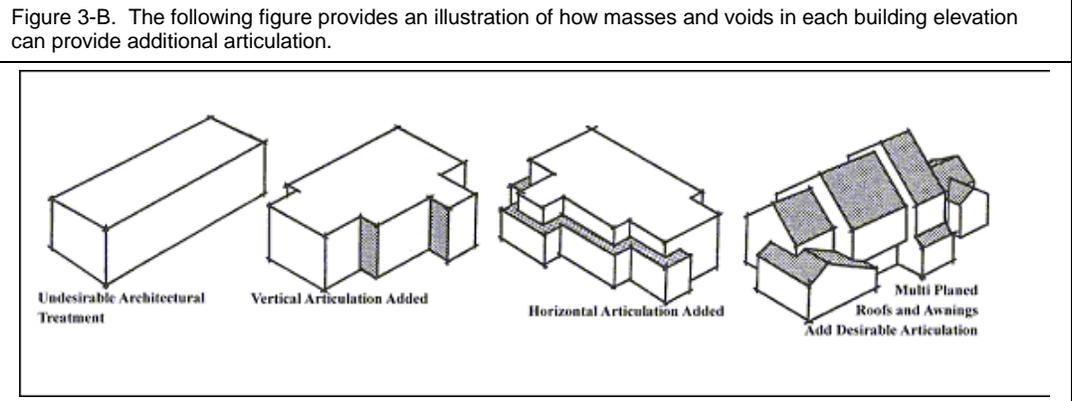
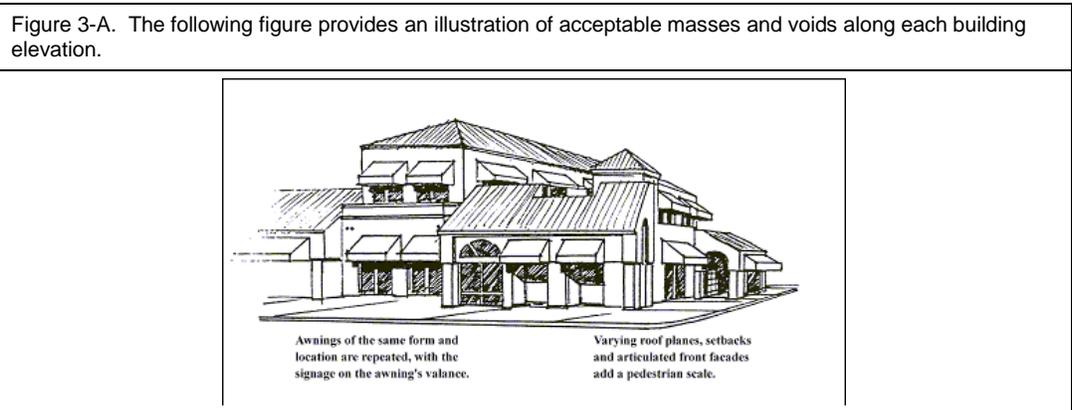


- E. Masses and Voids. All buildings shall provide differentiated building planes along each elevation. Each building elevation should contain variations of mass to voids in a coordinated rhythm. Acceptable variations include fluctuations in the building plane on each elevation which incorporate architectural elements such as building projections, material changes, windows, canopies, arcades, eaves, and other decorative features, that enhance the building's appearance. A flat unarticulated wall with just windows and doors serving as voids is unacceptable.

1. The following design principles shall be used to evaluate appropriate variations in the building plane.
 - a. In no case shall a plane on any building elevation contain an unarticulated wall or flat building plane in excess of twenty-five feet (25') in length without an acceptable interruption in the building plane. Acceptable interruptions in a building plane can include a covered pedestrian entry, a canopy, or an arcade that is ten feet (10') in depth, or pilasters, piers, or building projections no less than three feet (3') in depth.
 - b. Heights of structures should relate to adjacent open spaces to allow maximum sun and ventilation, protection from prevailing winds, enhance public views of surroundings and minimize obstruction of view from adjoining structures.
 - c. Height and scale of new development should recognize the mass and scale of surrounding developments by providing architectural elements that provide for a "transition" from the height of adjacent development to the maximum height of the proposed structure.
 - d. To reduce the appearance of large scale, bulky structures, large buildings which give the appearance of "box-like" structures should:
 - i. Vary the planes of the exterior walls in depth and/or direction. Wall planes should not run in 1 continuous direction for more than 25 feet without an offset;
 - ii. Vary the height of the building so that it appears to be divided into distinct massing elements;
 - iii. Articulate the different parts of a building's facade by use of color, arrangement of facade elements, or a change in materials;
 - iv. Use landscaping and architectural detailing at the ground level to lessen the impact of an otherwise bulky building; and
 - v. All structure elevations should be architecturally treated.

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- e. Scale, for purposes here, is the relationship between the size of the new structure and the size of adjoining permanent structures. It is also how the proposed building's size relates to the size of a human being (human scale). Large scale building elements will appear imposing if they are situated in a visual environment which is predominantly smaller in scale.
- i. Building scale can be reduced through the proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, and other details.
 - ii. The scale of buildings should be carefully related to adjacent pedestrian areas (i.e., plazas, courtyards) and other structures.
 - iii. Large dominating structures should be broken up by:
 - Creating horizontal emphasis through the use of trim;
 - Adding awnings, eaves, windows, or other architectural ornamentation;
 - Use of combinations of exterior materials and comparable colors; and
 - Landscape materials.



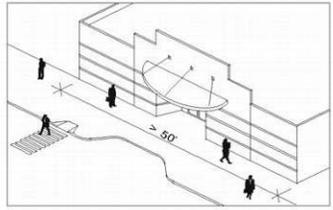
2. The following figures provide illustrations of buildings with variations in the building plane containing masses and voids that are found to be acceptable.



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<p>Figure 4-C. The following figure provides an illustration of how to address masses and voids in a multi-height structure.</p>	<p>Figure 4-D. The following figure provides an illustration of how to address masses and voids in a multi-height structure.</p>
	

3. The following figures provide illustrations of buildings with variations in the building plane containing masses and voids that are found to be unacceptable.

<p>Figure 5-A. The following figure provides an illustration of a single tenant building, big box structure that exhibits an unacceptable building plane.</p>	<p>Figure 5-B. The following figure provides an illustration of a multi-tenant building that exhibits an unacceptable building plane.</p>
	
<p>Figure 5-C. The following figure provides an illustration of a building that exhibits an unacceptable building plane.</p>	<p>Figure 5-D. The following figure provides an illustration of a multi-story building that exhibits an acceptable building plane.</p>
	

- F. Elevation Articulation. Every elevation of a building, including, but not limited to, the front, sides and rear, shall have compatible articulation.

1. The following design principles shall be used to evaluate the elevation articulation on a building design.
 - a. Front and street side exterior walls, excluding windows, doors and overhead doors, in differentiated building planes. Front and street side exterior walls consisting of a single undifferentiated plane with a single texture or color is highly discouraged.
 - b. Variations in building plane, materials, colors, entrance canopies, and other design features.
 - c. Articulation on a building plane consisting of a covered pedestrian entry, canopy, or arcade that is ten feet (10') in depth, or pilasters, piers, or building projections no less than three feet (3') in depth.
2. The following figures provide illustrations of building entries that are found to be acceptable.

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<p>Figure 6-A. The following figure provides an illustration of a multi-tenant and multi-story building that exhibits acceptable elevation articulation.</p> 	
<p>Figure 6-B. The following figure provides an illustration of a multi-tenant and multi-story building that exhibits acceptable elevation articulation.</p>  <p>Medical Building</p>	<p>Figure 6-C. The following figure provides an illustration of a single tenant building that exhibits acceptable elevation articulation.</p> 
<p>Figure 6-D. The following figure provides an illustration of a single tenant, big box building that exhibits acceptable elevation articulation.</p> 	<p>Figure 6-E. The following figure provides an illustration of a single tenant, big box building that exhibits acceptable elevation articulation.</p> 

3. The following figures provide illustrations of building entries that are found to be unacceptable.

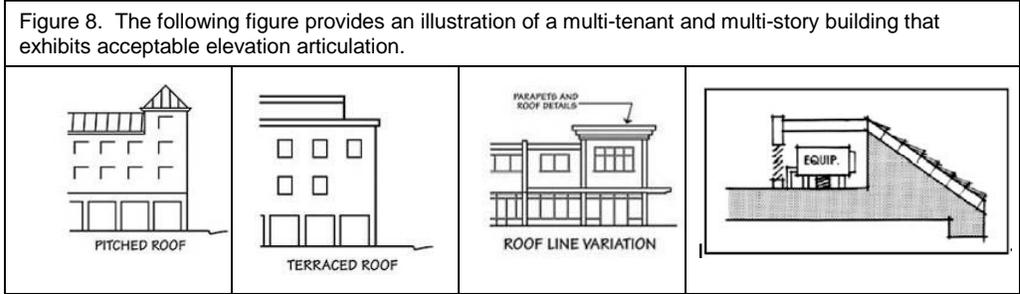
<p>Figure 7-A. The following figure provides an illustration of a multi-tenant, multi-story building that exhibits an unacceptable elevation articulation.</p> 	<p>Figure 7-B. The following figure provides an illustration of a single tenant, big box building that exhibits an unacceptable elevation articulation.</p> 
<p>Figure 7-C. The following figure provides an illustration of a multi-tenant building that exhibits an unacceptable elevation articulation.</p> 	

G. Roof Design.

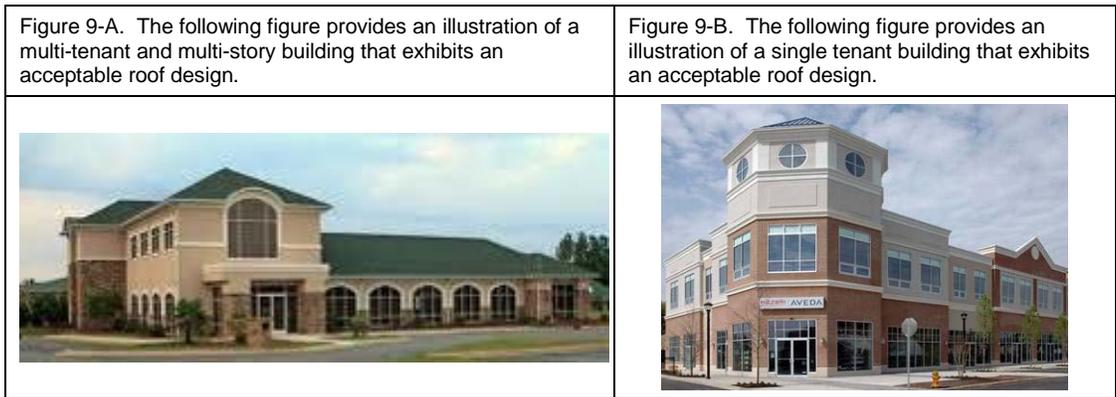
1. The following design principles shall be used to evaluate appropriate roof design.
 - a. Flat, unarticulated building roofs or false parapet caps with heights of 5-feet or more shall be avoided.

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- b. All mechanical equipment should be screened from view via designs that complement the building design and exterior.
- c. Gabled and hipped roof structures and parapet caps that are intended to complement and accentuate the building design are strongly encouraged as a means to screen rooftop mechanical equipment.
- e. The following figures provide illustrations of the various design principles for roof design.



2. The following figures provide illustrations of roof designs found to be acceptable.



3. The following figures provide illustrations of roof designs found to be unacceptable.



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H. Signage. All buildings shall incorporate into the building design defined space for wall signage.

1. The following design principle shall be used to evaluate how signage is incorporated into the building design.
 - a. Signage should complement and be compatible with the building design and exterior.
2. The following figures provide illustrations of acceptable ways to incorporate signage into the building design.

Figure 11-A. The following figure provides an illustration of acceptable ways to incorporate signage into the building design.



Figure 11-B. The following figure provides an illustration of acceptable ways to incorporate signage into the building design.



Figure 11-C. The following figure provides an illustration of acceptable ways to incorporate signage into the building design.



3. The following figures provide illustrations of unacceptable designs incorporating signage into the building design.

Figure 12-A. The following figure provides an illustration of an unacceptable design incorporating signage into the building design.



Figure 12-B. The following figure provides an illustration of unacceptable design incorporating signage into the building design.



I. Screening Of Equipment.

1. The following design principles shall be used to evaluate appropriate screening of mechanical equipment.
 - a. Roof-mounted equipment, including ventilators and satellite dishes, shall be completely screened from view (one hundred percent (100%) opacity) or isolated so

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as not to be visible from any public right-of-way or residential zoning district within three hundred (300) feet of the subject lot.

- b. Roof screens, when used, shall be coordinated with the building to maintain a unified appearance.
- c. All electrical and mechanical equipment and dumpsters located at ground level shall be screened from view (one hundred percent (100%) opacity) or isolated so as not to be visible from the right-of-way of an arterial street or residential zoning district within three hundred (300) feet of the subject lot. Such screens and enclosures, when used, shall be coordinated with the building to maintain a unified appearance, including the use similar exterior materials.
- d. Roof gutter downspouts shall be designed so as complement the exterior of the building or to be hidden from view.

2. The following figures provide illustrations of acceptable ways to screen mechanical equipment.

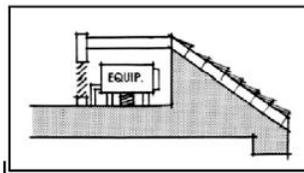
Figure 13-A. The following figure provides an illustration of an acceptable design used to screen roof-top mechanical equipment.



Figure 13-B. The following figure provides an illustration of an acceptable design used to screen roof-top mechanical equipment.



Figure 13-C. The following figure provides an illustration of a design method to screen roof-top mechanical equipment.



3. The following figures provide illustrations of unacceptable designs to screen mechanical equipment.

Figure 14-A. The following figure provides an illustration of an unacceptable design used to screen roof-top mechanical equipment.



Figure 14-B. The following figure provides an illustration of unacceptable design used to screen roof top mechanical equipment.



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CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE V. LANDSCAPING

SECTION 428.500: INTENT AND PURPOSE

The landscaping and buffering requirements specified herein are intended to foster aesthetically pleasing development which will protect and preserve the appearance, character, general health, safety and welfare of the City and preserve the value of properties located along the Olive Boulevard Corridor. Specifically, these regulations are intended to increase the compatibility of adjacent uses by requiring a buffer or screen between uses and, in doing so, minimize the harmful impacts of noise, dust and other debris, motor vehicle headlight glare or other artificial light intrusions and other objectionable activities or impacts conducted or created by an adjoining or nearby use.

SECTION 428.510: APPLICABILITY

A. The following tables identify reductions and exemptions that apply to certain sections of this Article for improvements involving an increase in the floor area of an existing building or other improvements that involve the expansion of the current improved surface area of a site:

TABLE 1
APPLICABILITY TABLE REGARDING ARTICLE V. LANDSCAPING

	TYPE OF CONSTRUCTION PROPOSED			
	INCREASE IN BUILDING FLOOR AREA		INCREASE IN SURFACE AREA	
	50% or less, but greater than 35%	35% or less	50% or less, but greater than 35%	35% or less
ARTICLE V. LANDSCAPING				
Section 428.540.B Front Yard Setback Landscape Area				
Olive Boulevard	100%	A (see note below)	100%	A (see note below)
Other street right-of-ways	100%	A (see note below)	100%	A (see note below)
A At the request of the Petitioner, the Commission may authorize a reduction of the required units in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.				
Section 428.540.C Off-Street Parking Landscape Perimeter				
Perimeter	100%	A (see note below)	100%	A (see note below)
Section 428.540.D Interior Off-Street Parking Landscape Area				
Interior	100%	A (see note below)	100%	A (see note below)
A At the request of the Petitioner, the Commission may authorize a reduction of the required units in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.				
Section 428.540.E Side Yard Landscape Area				
Abutting non-residential	100%	A (see note below)	100%	A (see note below)
Abutting residential	100%	A (see note below)	100%	A (see note below)
A At the request of the Petitioner, the Commission may authorize a reduction of the required units in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.				
Section 428.540.F Rear Yard Landscape Area				
Abutting non-residential	100%	A (see note below)	100%	A (see note below)
Abutting residential	100%	A (see note below)	100%	A (see note below)
A At the request of the Petitioner, the Commission may authorize a reduction of the required units in lieu of an alternative landscape plan that reinforces the spirit and intent of this Section and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.				
Section 428.540.G Building Perimeter Landscape Area				
	addition 100%	addition 100%	Depends on addition location.	

SECTION 428.520: DEFINITIONS

The following definitions shall be applicable to this Article.

Brush: A growth or thicket of densely growing small trees and shrubs.

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Caliper: For the purposes of this Chapter, a caliper is the diameter of a tree trunk, measure in inches, at a point at least six inches (6") above ground level.

Canopy: The overall area of a tree's foliage, the outer edge of which is the drip line.

Coniferous Tree: Any of various mostly needle-leaved or scale-leaved, chiefly evergreen, cone-bearing gymnospermous trees or shrubs such as pines, spruces, and firs. In botany and horticulture, a coniferous tree or plan, are those where green foliage is persistent year round.

Deciduous Tree: In botany and horticulture, a deciduous tree or plant, are those that loose all their leaves for part of the year.

Deciduous Tree, large: A tree with a canopy that reaches at least 1,600 square feet at maturity under urban conditions, with crown diameter of at least 45 feet. Large trees are primarily sought after for the shade qualities they possess. Large landscape trees can become the focal point in a large landscape area and they can dominate the view.

Deciduous Tree, medium: A tree with a canopy that reaches at least 900 square feet at maturity but less than 1,600 square feet under urban conditions, with a crown diameter of at least 35 feet.

Deciduous Tree, small: A tree with a canopy that reaches at least 400 square feet at maturity but less than 900 square feet under urban conditions, with a crown diameter of at least 25 feet. Commonly identified as ornamental trees, small deciduous trees fit many applications and planting sites.

Gymnospermous Trees: A plant, such as a cycad or conifer, whose seeds are not enclosed within an ovary.

Ornamental Tree: Ornamental trees are usually described as trees that are less than 25 feet tall. They usually have a defining feature such as flowers, unique foliage, notable bark, or a form of branching that is eye catching. Many ornamental trees are flowering and the time of flowering, mainly early spring, will draw attention to the landscape.

Planting Units: A term used to express a numeric value assigned to plantings identified in this Chapter.

Shrub: A woody plant smaller than a tree, usually having multiple permanent stems branching from or near the ground.

Upright evergreen: A coniferous tree.

SECTION 428.530: LANDSCAPE STANDARDS AND MAINTENANCE

A. Standards. The following standards shall be considered the minimum required planting standards for all trees and landscape material:

1. Plant units. The following table provides the breakdown of plant unit equivalencies for the following plan material.

Table 1. Plant Unit Equivalency Table.		
Type of Plant Material	Equivalent Plant Units	Typical Sizes
Medium or large deciduous tree	10	minimum caliper diameter of 2.5 inches
Small deciduous or ornamental tree	5	minimum caliper diameter 1.5 inches
Conifer or upright evergreen	5	minimum height of 5-feet
Bushes and shrub	1	minimum size of 3 to 5 gallon container depending upon species and spacing. Spacing shall be no greater that five (5) feet apart and average at least 18-inches in height at the time of planting.
plant islands, including perennial, annuals, and special grasses	1 point for every square foot of plant area	

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- 2. Plant quality. Plants installed to satisfy the requirements of this Article shall conform to or exceed the plant quality standards of the most recent edition of American Standard for Nursery Stock published by the American Association of Nurserymen. Plants shall be nursery-grown and adapted to the local area.
- 3. Artificial plants. No artificial plants or vegetation shall be used to meet any standards of this Section.
- 4. Trees.

- a. Types.

- i. Required. Where required or permitted, trees shall be of the following types: ornamental, small deciduous, medium deciduous, evergreen or large deciduous trees. A list of recommended trees classified by type is available through the Department of Public Services. Use of species native to Missouri is preferred.
- ii. Species mix. When more than ten (10) trees are required to be planted to meet the standards of this Section, a mix of species shall be provided. In order to promote diversity in the urban forest, the number of species to be planted shall vary according to the overall number of trees required to be planted in accordance with following requirements:

Required Number of trees	Minimum Number of Species
11-20	2
21-30	3
31-40	4
41+	5

- 5. Shrubs (deciduous and conifer). Shrubs planted to satisfy the standards of this Article shall be of a minimum size of three (3) to five (5) gallon container depending upon species and spacing. Spacing shall be no greater than five (5) feet apart and average at least 18-inches in height at the time of planting.
- 6. Ground treatment. The ground area within required landscape areas shall receive appropriate landscape treatment and present a finished appearance and reasonably complete coverage upon planting. The use of pebbles or gravel is prohibited unless authorized by the Planning and Community Design Commission.

The following standards shall apply to the design of ground treatment:

- a. Ground cover. Ground cover appropriate for the area may be planted in lieu of turf grass. Ground cover shall be of a size and spacing to provide a minimum of fifty percent (50%) coverage after the first (1st) full growing season and complete coverage at maturity. Edging shall be provided for all ground cover.
- b. Mulch. Mulch shall be installed and maintained at a minimum depth of two (2) inches and a maximum depth of four (4) inches on all planted areas except where ground cover plants are fully established. Mulch may be used as a permanent ground treatment in those landscape designs where ground cover or grass is inappropriate.
- c. Grass seed and sod. Turf areas shall be planted with species suitable as permanent lawns. Turf areas shall be sodded or seeded. In areas where grass seed is used, maintenance shall be provided until coverage is complete and complete coverage shall be provided after the first (1st) full growing season. Zoysia grass shall not be allowed.

- 7. Fences and walls.

- a. The use of solid wood fences is limited.

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- b. All retaining walls shall not exceed a height of three feet (3') and shall be no closer than three feet (3') from any other retaining wall, structure, or property line.
 - c. All retaining walls shall have an exterior finish comparable to the finished materials used on the primary building on the site grounds.
 - d. Fences and walls used to screen residential developments from adjacent streets and land uses shall be of uniform appearance and design throughout the subject development.
8. Use of existing plant material.
- a. General. Preservation of existing and viable planting, where feasible, is highly encouraged. Vegetation and plant material that exists on a site prior to development may be used to satisfy the landscape standards of this Section provided that such material meets size, variety and location requirements of this Section.
 - b. Tree credits. Existing trees that satisfy the standards of this Section may be substituted for any of the trees required in accordance with the following standards:

Tree credit formula. Existing trees shall be credited according to the following formula. Fractional measurements shall be attributed to the next lowest category.

Diameter of tree at 6-inches above ground	Credits
6-inches or more	20
less than 6-inches, but greater than 2-inches	15
2-inches or less	5

- c. Trees excluded from credits. No credits shall be permitted for the following types of trees:
 - i. Trees that are not properly protected from damage during the construction process;
 - ii. Trees that are dead, dying, diseased or infested with harmful insects; and
 - iii. Existing trees of a species specifically prohibited in this Section.
- B. Installation, maintenance and replacement.
- 1. Installation. All landscaping shall be installed according to sound nursery practices in a manner designed to encourage vigorous growth. All landscape material, living and non-living, shall be healthy and in place prior to issuance of final occupancy certificate. A temporary occupancy certificate may be issued prior to installation of required landscaping if written assurances and financial guarantees satisfactory to the Building Official are submitted ensuring that planting will take place when planting season arrives. The amount of the financial guarantee shall be equal to two (2) times the estimated cost of the plant material based on written cost estimates provided by the developer.
 - 2. Maintenance and replacement. Trees, shrubs, fences, walls and other landscape features depicted on the plans approved by the City shall be considered as elements of the project in the same manner as parking, building materials and other details are elements of the plan. The landowner or successors in interest or agent, if any, shall be jointly responsible for the following:
 - a. Regular maintenance of all landscaping in good condition and in a way that presents a healthy, neat and orderly appearance. All landscaping shall be maintained free from disease, pests, weeds and litter. This maintenance shall include weeding, watering, fertilizing, pruning, mowing, edging, mulching or other maintenance as needed and in accordance with acceptable horticulture practices. It is encouraged that a copy of proposed maintenance guidelines be furnished to the project owner for the planting design as installed;

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- b. The repair or replacement of required landscape structures (e.g., walls, fences) to a structurally sound condition;
- c. The regular maintenance, repair or replacement, where necessary, of any landscaping required by this Article, including the removal and replacement of any dead trees or plantings within thirty (30) days of notification by the City; and
- d. Continuous maintenance of the site as a whole.

SECTION 428.540: DESIGN CRITERIA

A. The following principles shall be used to evaluate landscape designs.

1. The arrangement of trees and shrubs shall be done in a manner that provides the maximum visual separation between adjacent land uses. Plant materials shall be massed in groups to achieve a naturalistic and pleasing effect. Selection of plant materials and locations of plantings shall be made with consideration to avoid interference with existing overhead utility lines.
2. Existing vegetation which satisfies the landscape requirements of this Section may be credited for landscaping materials required. Such vegetation shall meet the specifications for new plant materials and be located within the area for which credit is allocated. Where credit has been given, the developer shall note on the landscape plan the landscape materials which would have been required if the existing vegetation did not exist. If any of the vegetation dies, the developer shall install the corresponding plant materials as described in the landscape plan.
3. Required screening shall not be interrupted for any reason except for required sidewalks, driveways and pedestrian or bicycle paths.
4. The scale and nature of landscape material shall be appropriate to the site and structures. Larger scaled buildings, for example, shall generally be complemented by plants which will grow to a larger scale.
5. Plant material shall be selected for its form, texture, color and concern for ultimate growth. Use of Silver Maples, Box Elders, Russian Olives, Lombardy Poplars and other weak wooded species shall be avoided.
6. Dense evergreen and deciduous shrubs shall be incorporated into site landscape treatments, particularly in those areas screening parking lots from public rights-of-way or property zoned for residential use.
7. Plant material shall be placed intermittently along long expanses of building walls, fences and other barriers to create a softening effect.
8. Detention/retention basins and ponds shall be landscaped along the perimeter of the high water level of the basin or pond. Such landscaping shall include shade and ornamental trees, evergreens, shrubbery, hedges and/or other live planting materials.
9. Earthen berms and existing topography shall, whenever practical, be incorporated into the site landscape treatment. Berms shall be stabilized to prevent erosion and of such a slope to allow maintenance.
10. To present a healthy, neat and orderly appearance, all landscape areas, including interior parking lot islands and grass areas, shall be provided with adequate irrigation for the maintenance of grass, shrubs, ground covering and other landscaping. An underground irrigation system shall be installed, operated and maintained. Such system shall be required for all new developments and redevelopment projects. For sites proposing additions and/or expansions, an underground irrigation system shall be installed, operated and maintained where physically practical and reasonable as determined by the Planning and Community Design Commission.

B. Front Yard Setback Landscape Area. The first twenty feet (20') of all property subject to this Chapter shall be considered the Front Yard Setback Landscape Area. The Front Yard Setback Landscape Area shall contain the Streetscape Edge as defined under Section 428.330.G and the Off-street Parking

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Landscape Perimeter as defined under Section 428.330.H, and may overlap portions of the surface area of an off-street parking lot, drive aisles, or a combination thereof.

1. Olive Boulevard.
 - a. The first ten feet (10') from the right-of-way line shall consist of the Streetscape Edge as defined under Section 428.330.G of this Chapter.
 - b. The remaining ten feet (10'), to no less than five feet (5'), shall contain the full width or a portion of the Off-street Parking Landscape Perimeter as defined under Section 428.330.H of this Chapter.
 - c. In cases when no Off-street Parking Landscape Perimeter exists, the first ten feet (10') adjacent to the Streetscape Edge shall contain a hardscape area or a minimum ground treatment as noted in this Article.
 - d. In situations in which the front yard setback landscape area abuts the off-street parking perimeter landscape area as defined by this Section, or a drive aisle, additional planting units in accordance to Section 428.540.C shall be provided.
 2. Other public or private rights-of-way.
 - a. The first five (5) feet from the right-of-way line shall consist of the Streetscape Edge as defined under Section 428.340.C.
 - b. Adjacent to the Streetscape Edge, the next five feet (5') of the Front Yard Setback Landscape Area shall consist of the Off-street Parking Landscape Perimeter as defined under Section 428.340.D.
 - c. In cases when no Off-street Parking Landscape Perimeter exists, the five feet (5') adjacent to the Streetscape Edge shall contain a hardscape area or a minimum ground treatment as noted in this Article.
 - d. In situations in which the front yard setback landscape area abuts the off-street parking perimeter landscape area as defined by this Section or a drive aisle, additional planting units in accordance to Section 428.540.C shall be provided.
- C. Off-street Parking Landscape Perimeter. The perimeter edge of all surface areas containing a drive aisles, off-street parking, or a combination thereof, shall provide a landscape perimeter on each side of the surfaced area in accordance with the following:
1. The outer perimeter edge of all off-street parking areas shall provide a minimum of forty (40) planting units for every one hundred (100) linear feet of parking edge.
 2. No less than twenty (20) of the required forty (40) planting units shall consist of shrubs. The average height of all shrub planting at the time of placement shall be two and a half feet (2.5'). In no case shall any shrub be less than eighteen (18) inches in height at the time of planting.
 3. Planting units shall be located within five (5) feet of the parking edge.
 4. Plantings required for the Streetscape Edge as defined by this Chapter shall not count towards meeting the counting requirements of the off-street parking landscape perimeter.
 5. In instances where a shared/joint entrances or a cross access agreement is recorded or where a shared parking agreement is provided between two (2) adjacent non-residential uses, the Planning and Community Design Commission may reduce the landscaping requirements for abutting parking areas.
- D. Interior Off-street Parking Landscape Area. Landscape standards for landscaping within the interior of an off-street parking area shall be provided as follows:
1. At least thirty (30) planting units shall be provided for each ten (10) parking spaces within an off-street parking area. Fifty percent (50%) of the required plant units shall consist of ornamental, small, medium or large deciduous trees.
 2. All landscaping areas that are not dedicated to trees shall be landscaped with grass, ground cover, shrubs or other appropriate landscape treatment.

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3. Sand, pebbles, gravel or pavement shall not be considered appropriate landscape treatment unless it is part of an approved bio-detention system authorized by the Planning and Community Design Commission.
 4. Interior off-street parking area landscaping shall generally be dispersed throughout the parking lot and shall be designed to delineate vehicular or pedestrian circulation patterns.
 5. No more than ten (10) continuous parking stalls shall be permitted without a planting area island.
 6. All planting area islands shall be protected by a minimum six (6) inch raised vertical concrete curb to prevent damage by vehicles and vehicle overhang. Notches into the vertical concrete curb may be approved by the Planning and Community Design Commission if the planting area is part of an approved bio-detention system.
 7. Interior parking area islands shall be a minimum of one hundred forty-four (144) square feet in area and shall be a minimum of eight (8) feet in width as measured from back of curb to back of curb.
 8. The soil contained in a parking area island shall be mounded to provide additional visual relief in the off-street parking area and to improve drainage for plant materials.
 9. Interior parking islands shall contain at least one (1) ornamental, medium, or large tree.
- E. Side Yard Landscape Area. All non-residential or multi-family residential developments shall provide a side yard landscape area.
1. Side Yard Landscape Area abutting a non-residential property shall contain the following.
 - a. Within the required zoning side yard setback area, a landscape area a minimum of ten (10) feet in width shall be provided.
 - b. At least fifty (50) planting units shall be provided for every one hundred (100) lineal feet abutting a non-residential use.
 - c. In instances where a shared/joint entrances or a cross access agreement is recorded or where a shared parking agreement is provided between two (2) adjacent non-residential uses, the Planning and Community Design Commission may reduce the landscaping requirements for abutting side yard landscape areas.
 2. Side Yard Landscape Area abutting residential property shall contain the following.
 - a. In accordance with Section 428.260 and Section 428.270 of this Chapter, a landscape area of a minimum of twenty (20) feet shall be provided. Within the Site Yard Landscape Area, there shall be a screen wall and a multi-purpose access trail easement.
 - b. If it is determined by the Commission that it is technically infeasible to place a screen wall as defined under Section 428.260, at least one hundred fifty (150) planting units shall be provided for every one hundred (100) lineal feet of lot width abutting a residential use.
 - c. At least seventy five percent (75%) of the required planting unit shall consist of conifers, evergreens and evergreen shrubs.
- F. Rear Yard Landscape Area. All non-residential or multi-family residential developments shall provide a rear yard landscape area. The rear yard landscape area landscaping shall be provided as follows:
1. Rear Yard Landscape Area abutting a non-residential property.
 - a. Within the required zoning rear yard setback, a landscape area a minimum of ten (10) feet in width shall be provided.
 - b. At least fifty (50) planting units shall be provided for every one hundred (100) lineal feet of parking area abutting a non-residential use.
 - c. In instances where a shared/joint entrances or a cross access agreement is recorded or where a shared parking agreement is provided between two (2) adjacent non-residential uses, the Planning and Community Design Commission may reduce the landscaping requirements for rear yard landscape areas.

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2. Rear Yard Landscape Area abutting a residential property.
 - a. In accordance with Section 428.260 and Section 428.270 of this Chapter, a landscape area of a minimum of twenty (20) feet shall be provided. Within the Rear Yard Landscape Area, there shall be a screen wall and a multi-purpose access trail easement.
 - b. If it is determined by the Commission that it is technically infeasible to place a screen wall as defined under Section 428.260, at least one hundred fifty (150) planting units shall be provided for every one hundred (100) lineal feet of lot width abutting a residential use.
 - c. At least seventy five percent (75%) of the required planting unit shall consist of conifers, evergreens and evergreen shrubs.
- G. Building Perimeter Landscape Area. All non-residential or multi-family residential developments shall provide a building perimeter landscape area. The building perimeter landscape area shall contain either a hard surface area or landscaping.
 1. In no case shall a building have a drive aisle, drive lane, or parking stall within six feet (6') from the base of a building wall, except in cases when the building wall contains a drive-up or service window, overhead door area, or a public entry way into the building.
 2. The six foot (6') perimeter shall consist of a minimum six foot (6') wide concrete sidewalk with a vertical curb or an eight foot (8') wide landscape perimeter.
 3. Exceptions. The Planning and Community Design Commission may grant an exception to the requirements of this paragraph where one (1) or more of the following conditions exist:
 - a. There are two (2) or more primary entrances along the building plane. A minimum eight (8) foot wide sidewalk must be provided in lieu of the building perimeter landscaping; or
 - b. The area within twenty (20) feet of a dock or service garage door may be exempted from building perimeter landscaping; or
 4. Coverage. Required building perimeter landscaping shall remain open and free of all paving except where walks to buildings and other similar paving is required.
 5. Planting materials. Landscaping shall be provided along all front and side facades except where sidewalks and driveways are located. Such landscaping shall be comprised of a combination of shade trees, ornamental trees, evergreens and shrubs. Particular attention shall be paid toward transitions between the building and ground plane, visual breaks along monotonous building facades and enhanced walkways, entrances, seating areas, bus stops or any other pedestrian areas; separate and buffer pedestrian and public areas from cruise lanes, drives and parking areas and provide direction to focal areas and main entrances.
 6. Ground cover. Except where occupied by planting beds, foundation landscaping areas may be sodded planted with ground cover, contain decorative stone or mulch.

SECTION 428.550: DEVIATIONS AND VARIATIONS

Innovative landscaping treatments are encouraged and shall be considered as a positive attribute in connection with any request for a deviation from the percentage and landscape material requirements of this Article. Deviations which do not exceed twenty percent (20%) of the minimum requirements may be authorized should a determination be made that the purposes of this Article are met. Requests for variations shall be considered in accordance with the procedures for variances as set forth in the zoning ordinance.

SECTION 428.560: CHANGES TO APPROVED LANDSCAPE PLAN

Any change or deviation to an approved landscape plan shall be in conformance with the provisions for amendments as contained in this Article.

CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE VI. EXTERIOR LIGHTING

SECTION 428.600: INTENT AND PURPOSE

A. Purpose. The exterior lighting design regulations specified in this Section are intended to foster aesthetically pleasing development which will protect and preserve the appearance, character, general health, safety and welfare of the City and will preserve the value of properties located within the Olive Boulevard Corridor. Specifically, these regulations are intended to control glare and light trespass, minimize obstructive light, conserve energy and resources while maintaining safety, security and productivity and curtail the degradation of the nighttime visual environment.

SECTION 428.610: DEFINITIONS

The following definitions shall be applicable to this Article.

Fixture: The assembly that holds the lamp (bulb) in a lighting system, including elements designed to give light output control, such as a reflector (mirror) or refractor (lens), the ballast, housing and attachment parts.

Foot-candle: A unit of illuminance amounting to one (1) lumen per square foot.

Full-cutoff: A light fixture which cuts off all upward transmission of light.

Fully shielded: A fully shielded luminaire is a luminaire constructed or shielded in such a manner that all light emitted by the luminaire, either directly from the lamp or indirectly from the luminaire, is projected below the horizontal plane through the luminaire's lowest light emitting part as determined by photometric test or certified by the manufacturer.

Glare: The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted or which causes annoyance, discomfort or loss in visual performance and visibility.

High Intensity Discharge (HID) Lighting: A family of bulb type including mercury vapor, metal halide, high pressure and low pressure sodium, which glow when an electric current is passed through a gas mixture inside the bulb.

Horizontal (or Vertical) Foot Candles: The amount of light striking a vertical or horizontal plane.

Illuminance: The quantity of light or luminous flux arriving at a surface divided by the area of the illuminated surface, measured in lux or foot-candles.

Inventory of Lights: A list of lamps indicating the bulb type, bulb wattage and manufacturer through which the rated lumens can be determined.

Light Source: The bulb and lens, diffuser or reflective enclosure.

Light Trespass: Light projected onto a property from a fixture not located on that property.

Lumen: Measure of brightness of the illumination exiting a bulb, provided by the manufacture.

Luminaire: A complete lighting unit consisting of a lamp or lamps, together with the parts designed to distribute the light, to position and protect the lamps and to connect the lamp to the power supply.

Luminance: The physical quantity corresponding to the brightness of a surface (e.g., a lamp, luminaire, sky or reflecting material) in a specified direction. The luminous intensity of an area of the surface divided by that area measured in candelas per square meter.

Lux (LX): The SI unit of illuminance. One (1) lux equals one (1) lumen per square meter.

Non-cutoff: A light fixture which does not cut off all upward transmission of light.

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Obtrusive Light: Spill light which, because of quantitative, directional or spectral context, gives rise to annoyance, discomfort, distraction or reduction in the ability to see essential information.

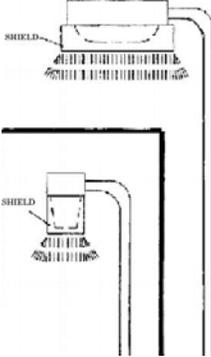
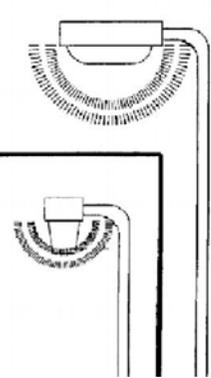
Spill Light: Light emitted by a lighting installation that falls outside the boundaries of the property on which the installation is sited.

SECTION 428.620: LIGHTING DESIGN STANDARDS

- A. All luminaries of eighteen hundred (1,800) or more lumens shall be full-cutoff as installed. For luminaires under eighteen hundred (1,800) lumens, the bulb shall be frosted glass or shall be installed behind a translucent cover.

Figure 1-A. The following figure provides an illustration of a full-cutoff light fixture.	Figure 1-B. The following figure provides an illustration of a full-cutoff light fixture.	Figure 1-C. The following figure provides an illustration of a full-cutoff light fixture.
		

- B. The maximum illumination level at five (5) feet inside an adjacent residential parcel or right-of-way, or beyond, from light emitted from an artificial light source shall be one-tenth (0.1) horizontal foot-candles and one-tenth (0.1) vertical foot-candles. Maximum illumination at ten (10) feet inside an adjacent commercial or industrial parcel or on a roadway or beyond shall not exceed one-tenth (0.1) horizontal foot-candles or one-tenth (0.1) vertical foot-candles.
- C. No line of sight to a bulb is permitted five (5) feet or more beyond a residential or public right-of-way property line by an observer viewing from a position that is level with or higher than the ground below the fixture. Compliance shall be achieved with fixture shielding, directional control designed into the fixture, fixture location, fixture height, fixture arm or a combination of these factors.
- D. The total height of all light poles, including the base, pole and fixture, shall be limited to sixteen (16) feet.
- E. All light pole fixtures shall be full-cutoff fixtures, parallel with the ground at a zero (0) tilt and shall not have any light source projecting beyond the plane of its cover.

Figure 2-A. The following figure provides an illustration of a full-cutoff light fixture parallel with the ground.	Figure 2-B. The following figure provides an illustration of a light fixture that is not a full-cutoff fixture and emits light beyond the plane cover.
	

- F. All wall pack fixtures located on an exterior wall plane must be full-cutoff and may not have the bulb projecting beyond the plane of its cover.

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- G. Wall fixtures located under a canopy or cantilever must be positioned so that the fixture is flush with the soffit under the eave. Any projection of the light fixture or bump out is prohibited.

<p>Figure 3-A. The following figure provides an illustration of an acceptable light fixture under a canopy or cantilever.</p>	<p>Figure 3-B. The following figure provides an illustration of an acceptable light fixture under a canopy or cantilever.</p>	<p>Figure 3-C. The following figure provides an illustration of an acceptable light fixture under a canopy or cantilever.</p>
		
<p>Figure 3-D. The following figure provides an illustration of an unacceptable light fixture under a canopy or cantilever.</p>	<p>Figure 3-E. The following figure provides an illustration of an unacceptable light fixture under a canopy or cantilever.</p>	<p>Figure 3-F. The following figure provides an illustration of an unacceptable light fixture under a canopy or cantilever.</p>
		

- H. Floodlights or spotlights attached to light pole or any light fixture extending above a building wall are prohibited, unless requested by civil authorities for public safety. No floodlight may be aimed higher than forty-five degrees (45°) above a horizontal plane parallel with the ground.
- I. The nighttime use of white lighting or white strobe lighting on any communication tower is prohibited. (Nighttime white strobe lighting is not required by the FAA.) Applicants must show proof of any such FAA requirements.
- J. The Planning and Community Design Commission may, by request, approve the use of architectural up lighting or down lighting to highlight an exterior building surface.

SECTION 428.630: EXEMPTIONS

- A. The following are exempt from the provisions of this Chapter:

1. Traffic control signals and devices.
2. Street lights installed prior to the effective date of the ordinance codified in this Chapter; provided, that when a light fixture becomes inoperable, any replacement light fixture shall be subject to the provisions of this chapter.
3. Temporary emergency lighting (i.e., fire, police, repair workers) or warning lights.
4. Moving vehicle lights.
5. Navigation lights (i.e., radio/television towers, docks, piers, buoys) or any other lights where state or federal statute or other provision of the City of Olivette requires lighting that cannot comply with this chapter. In such situations, lighting shall be shielded to the maximum extent possible, and lumens shall be minimized to the maximum extent possible, while still complying with state or federal statute.
6. Seasonal decorations do not have to be shielded; provided, that they do not have a brightness of more than 0.1 foot-candles at the property line on which they are installed.
7. Outdoor lighting approved by the director for temporary or periodic events (e.g., fairs, nighttime construction).

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8. Internally and externally illuminated signs regulated by Chapter 415 Sign Regulations of the City of Olivette Municipal Code.
9. Fossil fuel lights.

CHAPTER 428 COMMUNITY DESIGN - OLIVE BOULEVARD CORRIDOR

ARTICLE VII. SUBMISSION REQUIREMENTS

SECTION 428.700: SUBMISSION REQUIREMENTS

- A. In addition to the submission requirements required under Chapter 400 Zoning Regulations relating to Site Plan Review and/or Special Permits, each submission for Community Design Review authorized under this Chapter must contain the following sheets:

SECTION 428.710: APPLICABILITY

- A. Unless authorized by the Commission, any development subject to this Chapter shall submit all necessary drawings and sheets.

SECTION 428.720: DEFINITIONS

The following definitions shall be applicable to this Article.

Commission: The City of Olivette Planning and Community Design Commission.

Plan Review Sheet. A Plan Review Sheet is graphic representation of certain existing and proposed characteristics and improvements of a parcel or parcels of land. The purpose of Plan Review Sheets is to determine compliance of a proposed development with applicable City of Olivette ordinances in a concise, efficient manner.

Portable Document Format (PDF). Originally developed by Adobe Systems, PDF is a file format that preserves most attributes (including color, formatting, graphics, and more) of a source document no matter which application, platform, and hardware type was originally used to create it.

SECTION 428.730: GENERAL REQUIREMENTS

- A. **Sheet Size.** All Plan Review Sheets shall be provided on a sheet of paper no less than eleven inch by eighteen inches (11" X 18").
- B. **Sheet Scales.** Unless noted otherwise, all diagrams and figures illustrated on Plan Review Sheets shall contain an engineering scale of no less than one inch equals twenty feet (1" = 20') or an architectural scale of no less than 1/8th of an inch equals one foot (1/8" = 1').
- C. **General Data.** Each Plan Review Sheet submitted, unless noted otherwise, shall contain the following information:
1. Names and addresses of the Owner and the Professional Engineer or Registered Land Surveyor who prepared the Site Plan.
 2. All existing structures and improvements on the site grounds and within one hundred feet (100') from the property boundary, including other buildings, streets, curbs, sidewalks, driveways, signs, retaining walls and miscellaneous structures.
 3. Number of stories of the adjacent structures within one hundred feet (100');
 4. Location and identification of all utilities and easements servicing the site grounds and within one hundred feet (100') from the property boundary.
 5. Permitted front, side, rear and buffer yard offsets under the current underlying zoning district and any applicable overlay zoning district.
 6. If a change in zoning designation is being requested, provide the permitted front, side, rear and buffer yard offsets under the proposed zoning district.
 7. The legal description of all adjacent properties, including those across the street from the subject property.
 8. The recorded owner name and address of all adjacent properties, including those across the street from the subject property.

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- D. Electronic Data. Unless noted otherwise, each Plan Review Sheet shall be provided in a portable document format (PDF).

SECTION 428.740: PLAN REVIEW SHEETS

- A. The following plan review sheets shall be provided:

1. Cover Sheet
2. Exterior Site Information Sheet
3. Concept Site Plan Review Sheet
4. Proposed Site Plan Improvements Sheet
5. Stormwater Management Plan Sheet
6. Landscape Plan Sheet
7. Exterior Light Plan Sheet
8. Site Cross Section Sheet
9. Building Elevations Sheet
10. Site Vignette Sheet

- B. Cover Sheet. The Cover Sheet shall contain the following:

1. General Plan Review Sheet data noted under Section 428.730.C.
2. A vicinity map showing the relationship of the proposed development to the surrounding area. The vicinity map shall cover an area within a radius of one mile of the proposed site at a scale of one-inch equals two thousand feet (1"=2000'). The vicinity map shall generally locate arterial Streets, highways, railroads, and any significant landmarks which help to locate the site.
3. Complete written legal description of the subject property.
4. The approximate area of the proposed Subdivision and the proposed Lots therein stated in the nearest tenth (1/10) of an acre, including a complete Metes and Bounds written description of the site boundaries.
5. Existing zoning of the property grounds.
6. Proposed zoning of the subject property grounds.
7. A table showing the calculated site coverage of all existing improvements on the lot. The table should include the area of all existing structures, paved areas, sidewalks, etc.
8. A table showing the calculated site coverage of the new improvements on the lot. The table should include the area of all proposed structures, paved areas, sidewalks, etc.
9. A table comparing the required and proposed parking on the subject ground by use, structure, and/or employees.

- C. Existing Site Information Sheet. A separate sheet titled "Existing Site Information" shall be provided. The following information shall be provided:

1. General Plan Review Sheet data noted under Section 428.730.
2. Location and elevation of the benchmark used to establish grade elevations.
3. Existing elevation at all corners of the subject property.
4. All existing contours, at a minimum of one (1) foot intervals, within the property boundary and at least one hundred feet (100') from all directions of the property boundary, including properties across any street or thoroughfare.
5. All existing structures and improvements on the site grounds and within one hundred feet (100') from the property boundary, including streets, curbs, sidewalks, driveways, signs, retaining walls and structures.
6. Elevation of the corner grades of all adjacent structures within one hundred feet (100').

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7. Elevation of the top of foundation wall of all adjacent structures within one hundred feet (100').
 8. All existing drainage patterns on the subject property.
 9. Location or indication of the nearest downstream storm sewer inlet to the subject property.
 10. Location and identification (of species type) of all existing trees over four inch (4") caliper and any tree mass on the site.
- D. Concept Site Plan Sheet. The intent of the Concept Site Plan Sheet is to provide an illustration of the proposed improvement, minus any overlapping contour data or existing improvements. A separate sheet titled "Concept Site Plan" shall be provided. The following information shall be provided:
1. Required front, side, rear and buffer yard offsets under the proposed zoning district.
 2. Location and general design (width and material) of all driveways, streets, drive aisles, curb cuts, and sidewalks, including connections to building entrances.
 3. Location, size and height of all existing and proposed structures on the site, including any retaining walls, pavement and accessory structures (including fencing).
 4. The minimum measured distance of a proposed structure to the front, rear and side lot lines.
 5. Landscaping to be provided on the lot.
 6. All exterior light standards, including light poles, bollards, and wallpack lights.
 7. Any cross access or easements proposed.
 8. General location of ground signage, including directional signage if any.
 9. Location and specifications for all ground level mechanical equipment, including HVAC systems, generators, fire connections, etc.
 10. Location and specifications of the dumpster enclosure and other accessory structures proposed on the site grounds.
 11. Offsite improvements within the public right-of-way, including landscaping, sidewalks, light poles, grates, amenities, etc.
- E. Proposed Site Plan Improvements Sheet. A separate sheet titled "Proposed Site Plan" shall be provided. The following information shall be provided:
1. General Plan Review Sheet data noted under Section 428.730.
 2. Existing Site Information Sheet data noted under Section 428.730.C.
 3. Concept Site Plan Sheet date noted under Section 428.730.D.
 4. Delineation of all contour changes proposed on the site grounds.
 5. Existing elevation at all corners of the subject property.
 6. Proposed elevation at all corners of the subject property.
 7. Identification of any alterations to the existing drainage patterns proposed on the subject property or a notation on the Site Plan if no alterations are proposed.
 8. Location and identification of all proposed utilities and easements servicing the site grounds and within one hundred feet (100') from the property boundary.
- F. Stormwater Management Plan Sheet. Separate sheets titled "Stormwater Management Plan" shall be provided. The following information shall be provided:
1. General Plan Review Sheet data noted under Section 428.730.
 2. Existing Site Information Sheet data noted under Section 428.730.C.
 3. Concept Site Plan Sheet date noted under Section 428.730.D.
 4. Proposed Site Plan Improvements Sheet date noted under Section 428.730.E.
 5. A drainage overlay map with existing and proposed drainage areas.

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6. Provide a table showing the calculated site coverage of all existing improvements on the lot. The table should include the area of all existing structures, paved areas, sidewalks, etc.
 7. Provide a table showing the calculated site coverage of the new and existing improvements on the lot. The table should include the area of all existing and proposed structures, paved areas, sidewalks, etc.
 8. Provide a table showing Differential Q Calculations for each drainage area.
 9. Identify all stormwater inlets, and proposed stormwater pipes being considered.
 10. Identify all best management practices (BMPs) incorporated into the stormwater management plan.
- G. Landscape Plan Sheet. Separate sheets titled "Landscape Plan" shall be provided. The following information shall be provided:
1. General Plan Review Sheet data noted under Section 428.730.
 2. Concept Site Plan Sheet date noted under Section 428.730.D.
 3. Illustrate all landscape proposed.
 4. Provide a table with a key identifying:
 - a. Required planting units as noted in this Chapter, and
 - b. Identifying all species, sizes and quantities.
 5. Provide detailed sections of areas including multiple landscape features not visible on the overall landscape plan.
 6. Identify all areas that will be serviced by a lawn irrigation system.
- H. Exterior Lighting Plan Sheet. Separate sheets titled "Exterior Lighting Plan" shall be provided. The following information shall be provided:
1. General Plan Review Sheet data noted under Section 428.730.
 2. Concept Site Plan Sheet date noted under Section 428.730.D.
 3. Location of all exterior lighting sources including, but not limited to, pole lights, ground lights, bollards, building accent lights, landscape accent lights, wall lights, doorway lights, and canopy or drive-thru overhead lights.
 4. A table providing a complete inventory of lighting of all exterior light fixtures, including specifications, fixture type, quantities, and wattage of all exterior light standards.
 5. A photometric survey showing horizontal foot-candles measured on the ground plane. Light measurements shall be taken in a grid format with one (1) foot intervals. Grid and measurements shall extend ten (10) feet beyond the property line.
- I. Cross Section Sheet. Separate sheets titled "Cross Sections" shall be provided. The following information shall be provided:
1. No less than three (3) cross sections of the site at a scale no less than one inch equals twenty feet (1" = 20').
 2. At least one cross section provided shall be at a perpendicular angle of the other two (2) cross sections.
- J. Building Elevations Sheet. Separate sheets titled "Building Elevations" shall be provided. The following information shall be provided:
1. A complete rendered wall elevation scaled at an engineering scale no less than one inch equals twenty feet (1" = 20') or an architectural scale of no less than 1/8th of an inch equals one foot (1/8" = 1') of every side of the building, including front, sides and rear. For structures not defined by a specific wall plane, the Building Official or his/her designee shall determine the information required.
 2. A detailed wall elevation at an architectural scale of one inch equals ten feet (1" = 10') depicting a wall plane of building materials used.

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3. An exterior building finish materials list and a table identifying each exterior building finish material used, the area square footage per building plane, and the percentage of exterior finish material use per building plane.
 4. Two (2) cross sections of the building at a scale no less than one inch equals twenty feet (1" = 20') or an architectural scale of no less than 1/8th of an inch equals one foot (1/8" = 1').
 5. A colored site perspective or axonometric at a scale no less than one inch equals twenty feet (1" = 20') depicting the front and a side elevation of the building.
- K. Site Vignettes Sheet. Separate sheets titled "Site Vignettes" shall be provided. The following information shall be provided:
1. Three (3) vignettes of various perspectives illustrating spaces within the development grounds shall be provided.
 2. Each vignette should focus on important site features that inform the viewer of significant site features that govern how the site is being developed. This should include a view from the streetscape, pedestrian access from the street to the building, and other areas in which the building and landscaping play a significant role in the design development.

SECTION 428.750: DEVIATIONS, VARIATIONS, AND VARIANCES

- A. Deviations. In certain cases, the Commission may authorize deviations to the submission requirements of this Article that provide an alternative format that reinforces the spirit and intent of this Article and Chapter in accordance with the visions outlined in the Olivette Strategic Plan.
- B. Variations. In certain cases, the Commission may authorize variations to the submission requirements of this Article that allow for the over lapping of certain sheets subject to the following conditions:
1. The overall size of the development area allows for multiple Plan Review Sheets on one page.
 2. In the opinion of the Commission, the overall size of the development area has minimal impact on adjacent properties.
- C. Variances. Through a written request noting the challenges and issues of providing the necessary Plan Review Sheets identified in this Article, the Commission may have authority revise, limit, or remove any of the conditions within this Article.