



23 STACY DRIVE



21 STACY DRIVE



19 STACY DRIVE



17 STACY DRIVE



15 STACY DRIVE



DATE: 10/14/16
REVISIONS:

**STREETSCAPE
ELEVATION**

McKELVEY HOMES, INC.
218 CHESTERFIELD TOWNE CENTRE
CHESTERFIELD, MO 63005
636-530-6900
mckelveyhomes.com

THE "BELLEVERVE"
21 STACY DRIVE
OLIVETTE, MO

SHEET NO.

1

OF 2

STREETSCAPE ELEVATION

NOT TO SCALE



23 STACY DRIVE



21 STACY DRIVE



19 STACY DRIVE

DATE: 10/14/16
REVISIONS:

**STREETSCAPE
ELEVATION**

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THE "BELLERIVE"
21 STACY DRIVE
OLIVETTE, MO

SHEET NO.

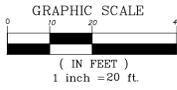
2

OF 2

STREETSCAPE ELEVATION

NOT TO SCALE

Existing Conditions/Demolition Plan

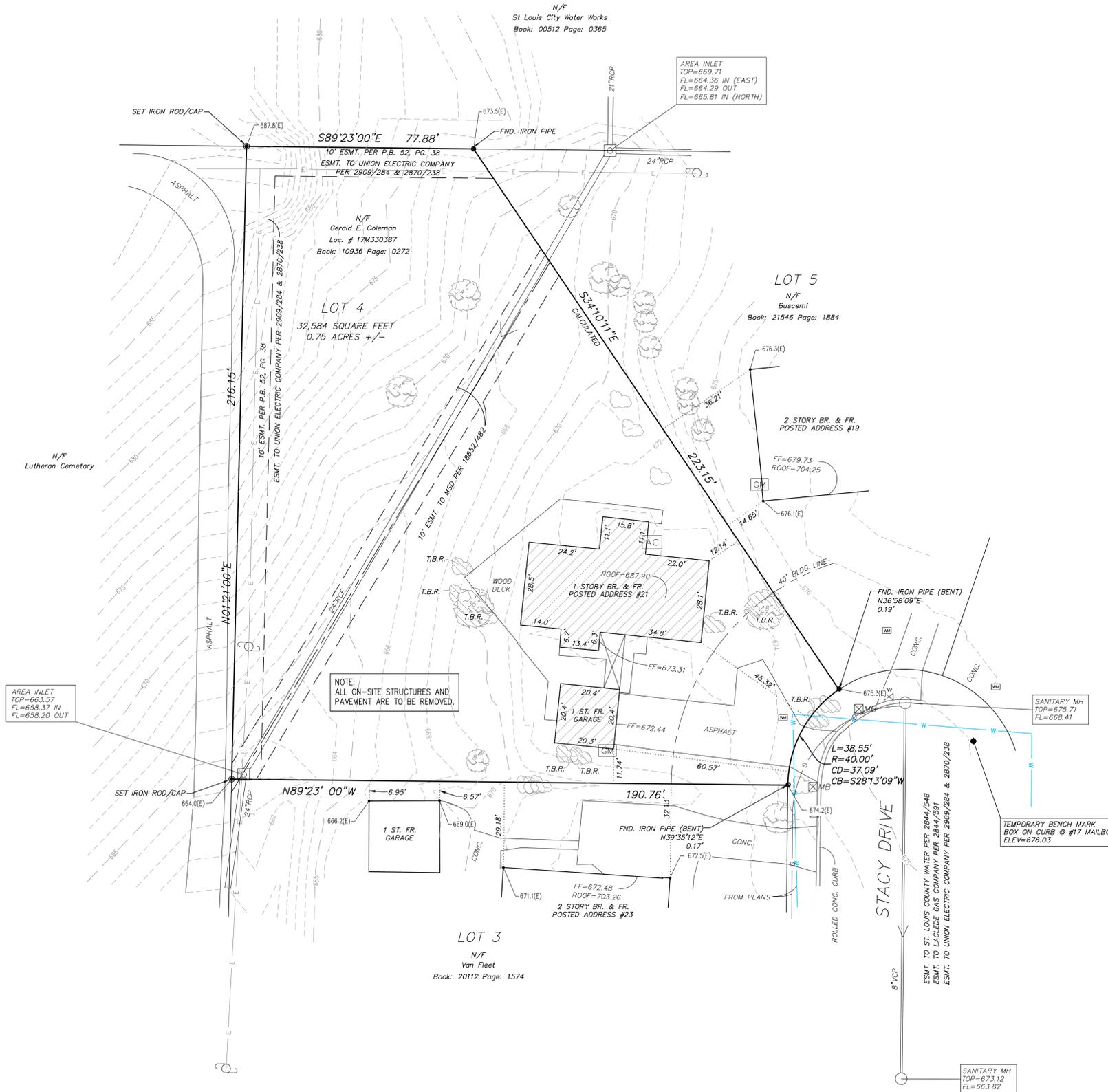


| LEGEND | |
|--------|------------------|
| | GAS VALVE |
| | WATER VALVE |
| | OVERHEAD UTILITY |
| | FENCE |
| | BUILDINGS |
| | MAILBOX |
| | MANHOLE |
| | CURB/AREA INLET |
| | WATER METER |
| | UTILITY POLE |
| | GAS METER |
| | TREE |
| | TREE LINE |
| | BUSH |
| | AIR-CONDITIONER |
| | TO BE REMOVED |

DESCRIPTION

A tract of land being Lot 4 of Heather Hill First Addition, according to the plat thereof recorded in Plat Book 52, Page 38 of the St. Louis County Records and also being in the SW Quarter of Section 6, T.45N., R.6E., St. Louis County, Missouri N/F GERALD E. COLEMAN D.B. 10936, PG. 0272 LOC. #17M33-0387 #21 STACY DRIVE

NOTE
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.



BENCHMARK
BENCH MARK:
13211 NAVD88(SLC2011a) Elev = 698.91 F.I.U.S. (or) 213.028 Meter
NGVD29 Elev = 699.27 F.I.U.S.
Standard DMR aluminum disk stamped SL-22 situated in an area of gravel and sparse grass south of Olive Boulevard between the on and off ramps connecting northbound Lindbergh Boulevard with eastbound Olive Boulevard; 66.8 feet east of a chiseled "X" 3 feet above ground level on the east face of the northernmost of three steel I-beam support posts for a MoDOT exit sign reading "67 North" with a directional arrow above "Lindbergh Boulevard", roughly 20 feet south of the solid white stripe along the south side of the southernmost eastbound driving lane of Olive Boulevard, and 75 feet northeast of the solid yellow stripe along the northeast side of the exit lane from eastbound Olive Boulevard to northbound Lindbergh Boulevard. (In September 2012, two survey nail markers in the south asphalt shoulder of Olive Boulevard were 20.4 feet northwest of SL-22 and 18 feet northeast of SL-22.)
<NGS PID="AAB663", Designation="SL 22">
SP MD East N=3159.18, E=258402.84 Meter - Published
Rough NAD83 Lat=38.672996±(N/+), Long=90.403436±(W/-)

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
SCHEDULE B - SECTION II
Exceptions
File No. 3040ARC, dated April 15, 2016.

- Items 1-3. STANDARD EXCEPTIONS
- Item 4. Building lines and easements established by the plat recorded in Plat Book 52 page 38, (Shown) and subject to covenants and restrictions, including a provision for Subdivision Assessments, contained in the Subdivision Indenture recorded in Book 2993 page 299, Book 2911 page 114, Book 2884 page 624, Book 7304 page 1671, Book 10602 page 879, Book 13598 page 826 and Book 18810 page 2221.
 - Item 5. Not survey related.
 - Item 6. Easement granted to St. Louis County Water by the instrument recorded in Book 2844 page 548. (Shown.)
 - Item 7. Easement granted to Laclede Gas Company by the instrument recorded in Book 2844 page 591. (Shown.)
 - Item 8. Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2909 page 284. (Shown.)
 - Item 9. Easement granted to Union Electric Company of Missouri by the instrument recorded in Book 2870 page 238. (Shown.)
 - Item 10. Easement granted to The Metropolitan St. Louis Sewer District by the instrument recorded in Book 18652 page 482. (Shown.)
 - Items 11-13. Not survey related.

GENERAL NOTES

- The easements shown on this survey were plotted from items furnished Pickett, Ray & Silver by Old Republic National Title Insurance Company, per Schedule B-Section II of File No. 3040ARC, dated April 15, 2016.
- Basis of bearing for this survey is the plat of Heather Hill First Addition, recorded in Plat Book 52, Page 38 of the St. Louis County Records.
- Class of property - Urban.
- All dimensions are survey and record.
- This survey has been executed in accordance with the Current Minimum Standards for Property Boundary Surveys, 20 CSR 2030-16, and the results are shown hereon.

"PLOT PLAN" THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY

This is to certify that at the request of MCKELVEY HOMES on the 26TH day of SEPTEMBER, 2016, a plot plan was prepared for the proposed location of improvement for LOT 4 OF HEATHER HILL FIRST ADDITION Sec. and/or U.S. Survey; 6 T.45N., R.6E., ST. LOUIS County, Missouri & that the results of said plot plan are correctly represented hereon. By Professional Land Surveyor: _____ P.L.S. _____ Pickett, Ray, & Silver's Corporate Registration #: LS-54-D

Basis of bearing/angles for this survey is assumed based on the plat of HEATHER HILL FIRST ADDITION recorded in Plat Book 52, Page 38 of the St. Louis County Records.

- Note to the contractor:
- Minimum Setbacks: -Sideyard: 12' -Front Yard: 40' -Rear Yard: 25'
 - Driveways are shown as proposed, however final location may vary.
 - T.F. = Proposed Top of Foundation

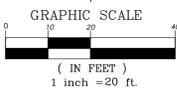
PICKETT, RAY & SILVER INC.
CIVIL ENGINEERING, LAND SURVEYING,
AND NATURAL RESOURCES SERVICES
St. Peters
22 Richmond Center Court
St. Peters, MO 65576
Phone (636) 397-1211 Fax (636) 397-1104
www.prs.com 1-800-708-3918

EXISTING CONDITIONS/DEMOLITION PLAN
Lot 4 of Heather Hill First Addition,
Plat Book 52, Page 38
In the Southwest Quarter of Section 6,
Township 45 North, Range 6 East, St. Louis County, Missouri
Prepared For:
McKelvey Homes, Inc.
218 Chesterfield Towne Centre
Chesterfield, MO 63003
636-538-0900

| REVISIONS NO. | DATE | DESCRIPTION |
|---------------|----------|---------------------------|
| 1. | 10/26/16 | REVISED PER CITY 10/21/16 |

| | | | |
|------------|----------------|--------|----------|
| DRAWN | DWD/RGA | DATE | 09/26/16 |
| CHECKED | D.F.S. | DATE | |
| PROJECT # | 14011.MCHO.01S | TASK # | 2 |
| FIELD BOOK | 1440 | | |

Site Plan



| LEGEND | |
|------------|-------------------|
| | GAS VALVE |
| | WATER VALVE |
| | OVERHEAD UTILITY |
| | FENCE |
| | BUILDINGS |
| | MAILBOX |
| | MANHOLE |
| | CURB/AREA INLET |
| | WATER METER |
| | UTILITY POLE |
| | GAS METER |
| | TREE |
| | TREE LINE |
| | BUSH |
| | AIR-CONDITIONER |
| | TBR TO BE REMOVED |
| 668.5(E) = | EXISTING GROUND |
| 668.0(P) = | PROPOSED GRADE |

DESCRIPTION

A tract of land being Lot 4 of Heather Hill First Addition, according to the plat thereof recorded in Plat Book 52, Page 38 of the St. Louis County Records and also being in the SW Quarter of Section 6, T.45N., R.6E., St. Louis County, Missouri N/F GERALD E. COLEMAN D.B. 10936, PG. 0272 LOC. #17M33-0387 #21 STACY DRIVE

LOT DATA AND ZONING REGULATIONS

| | |
|--|-------------|
| Lot Area: | 32,584 s.f. |
| Permitted Site Coverage (20%): | 6,516 s.f. |
| Permitted Residential Floor Area (25%): | 8,146 s.f. |
| Lot Width: | 83.69 ft. |
| Lot Depth: | 190.76 ft. |
| Front Yard Setback (per subdivision plat): | 40 ft. |
| Side Yard Setback (as per 12% of Lot Depth): | 8.90 ft. |
| Rear Yard Setback (as per 20% of Lot Depth): | 38.15 ft. |

RESIDENTIAL HOUSE RATIO

1ST FLOOR = 2879 Sq.Ft.
2ND FLOOR = 1651 Sq.Ft.
TOTAL FLOOR = 4530 Sq.Ft.
4530 Sq.Ft./32584 Sq.Ft. = 0.14 < 0.25 MAX. RATIO

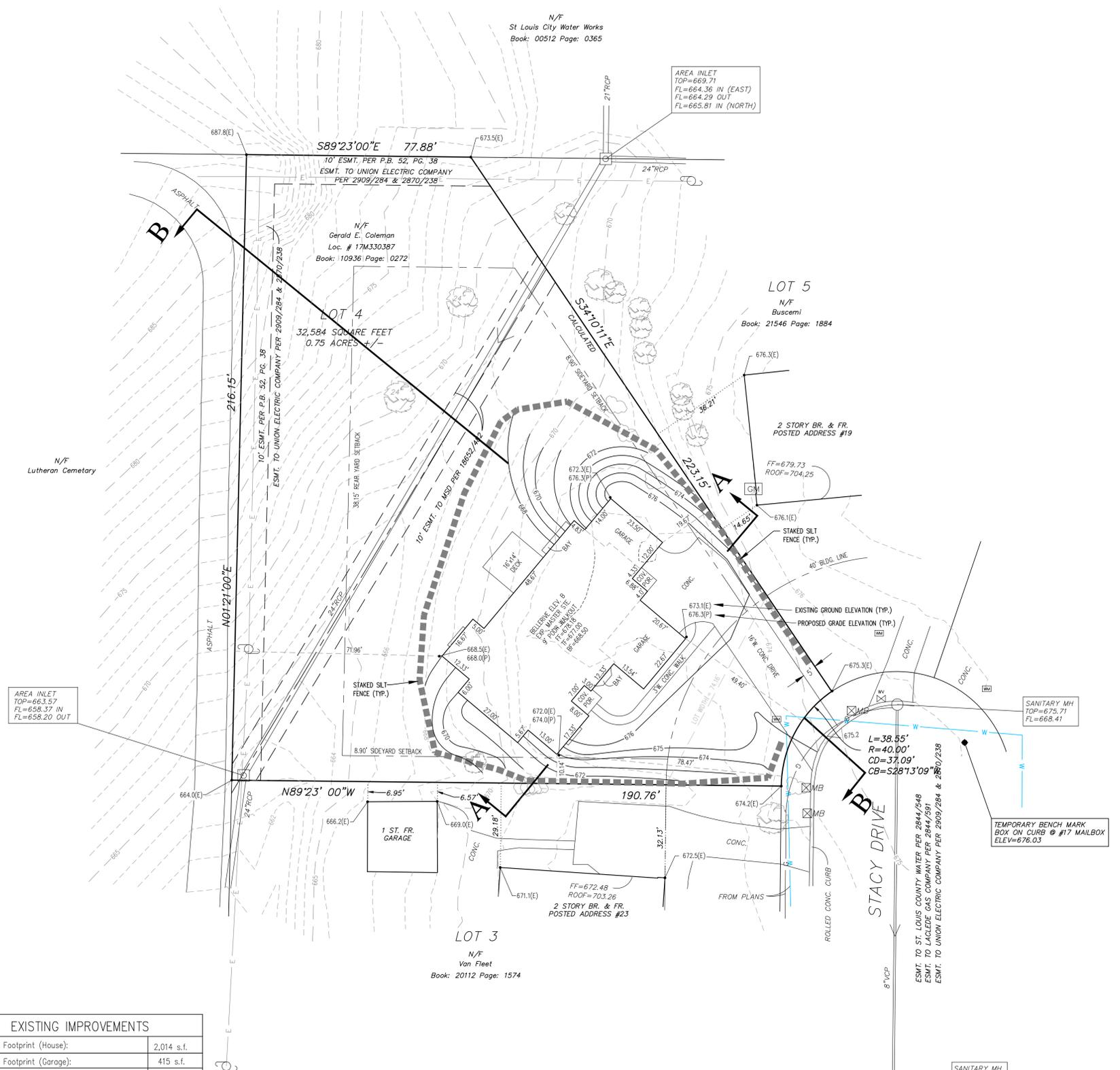
NOTE
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

| EXISTING IMPROVEMENTS | |
|---|------------|
| Building Footprint (House): | 2,014 s.f. |
| Building Footprint (Garage): | 415 s.f. |
| Driveway/turnaround/sidewalks: | 1,349 s.f. |
| Other hard surface areas (decks/pools/etc): | 1,538 s.f. |
| TOTAL EXISTING IMPERVIOUS AREAS: | 5,316 s.f. |

| PROPOSED IMPROVEMENTS | |
|---|------------|
| Building Footprint: | 3,642 s.f. |
| Driveway/turnaround/sidewalks: | 1,695 s.f. |
| Other hard surface areas (decks/pools/etc): | 224 s.f. |
| TOTAL PROPOSED IMPERVIOUS AREAS: | 5,561 s.f. |

AREA INLET
TOP=663.57
FL=658.37 IN (EAST)
FL=658.20 OUT

AREA INLET
TOP=669.71
FL=664.36 IN (EAST)
FL=664.29 OUT
FL=665.81 IN (NORTH)



BENCHMARK
BENCH MARK:
13211 NAVD83(SLC2011a) Elev = 698.91 FTUS (or) 213.028 Meter
NGVD29 Elev = 699.27 FTUS
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<NGS PID="AA8663", Designation="SL 22">
SP MO East N=315136.1± E=258402.8± Meter - Published
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St. Peters, MO 63376
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www.prs3.com 1-800-708-3918

SITE PLAN
Lot 4 of Heather Hill First Addition,
Plat Book 52, Page 38
In the Southwest Quarter of Section 6,
Township 45 North, Range 6 East, St. Louis County, Missouri
Prepared For:
McKelvey Homes, Inc.
218 Chesterfield Towne Centre
Chesterfield, MO 63003
636-530-6900

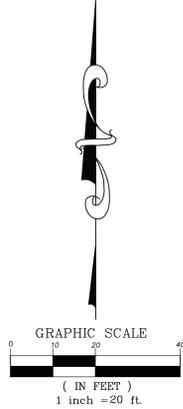
| REVISIONS NO. | DATE | DESCRIPTION | REVISION PER CITY |
|---------------|----------|-------------|-------------------|
| 1. | 10/26/16 | | 10/21/16 |

| | | | |
|--|---------|--------------------------|----------|
| DRAWN | DWD/RGA | DATE | 09/26/16 |
| CHECKED | D.F.S. | DATE | |
| PROJECT # 14011.MCHO.01S | | TASK # 2 FIELD BOOK 1440 | |
| LOT 4 OF HEATHER HILL FIRST ADD. SITE PLAN | | | |
| SHEET 2 | | OF 4 | |
| © Copyright 2016 by Pickett, Ray & Silver Inc. | | | |

Stormwater Management Plan

BENCHMARK

BENCH MARK:
 13211 NAVD88(SLC2011a) Elev = 698.91 F.I.U.S. (or) 213.028 Meter
 NGVD29 Elev = 699.27 F.I.U.S.
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 SP MO East N=315136.1± E=258402.8± Meter - Published
 Rough NAD83 Lat=38.672996°±(N/+) Long=90.403436°±(W/-)



DIFFERENTIAL RUNOFF CALCULATIONS

PRE-DEVELOPED
 IMPERVIOUS AREA: 5316 Sq.Ft. = 0.122 Ac. x 3.54 = 0.432 cfs
 PERVIOUS AREA: 27268 Sq.Ft. = 0.626 Ac. x 1.70 = 1.064 cfs
 0.748 Ac. 1.496 cfs

POST-DEVELOPED
 IMPERVIOUS AREA: 5561 Sq.Ft. = 0.128 Ac. x 3.54 = 0.453 cfs
 PERVIOUS AREA: 27023 Sq.Ft. = 0.620 Ac. x 1.70 = 1.054 cfs
 0.748 Ac. 1.507 cfs

STORMWATER REMEDIATION

100% OF ROOF AREA (15-YR., 20-MIN.)
 FRONT YARD (DOWNSPOUTS D8-D10): 2,528 s.f.
 2,528 s.f. = 0.058 Ac. x 3.54 = 0.21 cfs
 (0.21 cfs)(60 sec/min)(20 min) = 252 cu.ft.

REAR YARD (DOWNSPOUTS D1-D7): 2,678 s.f.
 2,678 s.f. = 0.061 Ac. x 3.54 = 0.22 cfs
 (0.22 cfs)(60 sec/min)(20 min) = 264 cu.ft.

VOLUME TO BE DETAINED:
 FRONT YARD = 252 Cu.Ft.

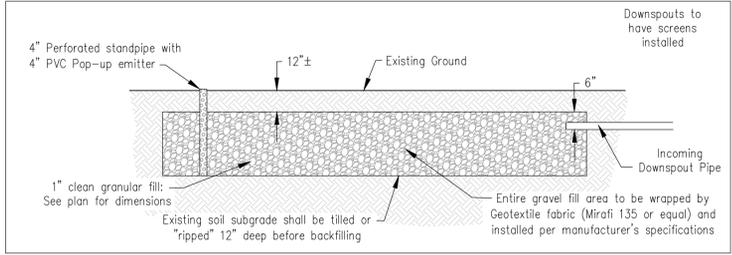
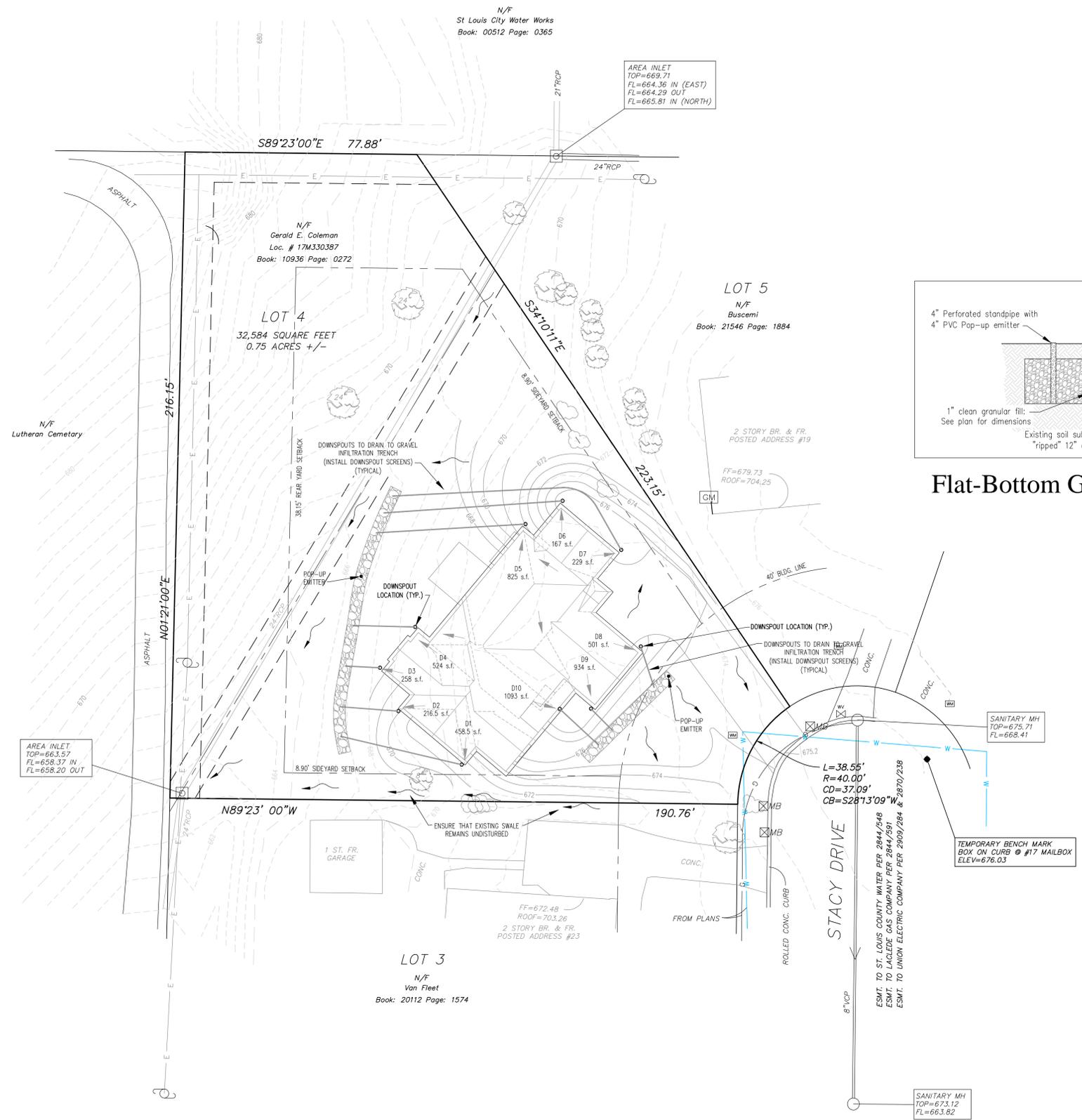
A 40'L x 4'W x 4'D (MINIMUM, DOES NOT INCLUDE 12" SOIL COVER) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VOIDS IN THE GRAVEL YIELDS A VOLUME OF 256 Cu.Ft.

VOLUME TO BE DETAINED:
 REAR YARD = 264 Cu.Ft.

A 90'L x 4'W x 2'D (MINIMUM, DOES NOT INCLUDE 12" SOIL COVER) GRAVEL INFILTRATION TRENCH IS PROPOSED TO PROVIDE THE REMEDIATION. ASSUMED 40% VOIDS IN THE GRAVEL YIELDS A VOLUME OF 264 Cu.Ft.

| EXISTING IMPROVEMENTS | |
|--|-------------------|
| Building Footprint (House): | 2,014 s.f. |
| Building Footprint (Garage): | 415 s.f. |
| Driveway/turnaround/sidewalks: | 1,349 s.f. |
| Other hard surface areas (decks/pools/etc.): | 1,538 s.f. |
| TOTAL EXISTING IMPERVIOUS AREAS: | 5,316 s.f. |

| PROPOSED IMPROVEMENTS | |
|--|-------------------|
| Building Footprint: | 3,642 s.f. |
| Driveway/turnaround/sidewalks: | 1,695 s.f. |
| Other hard surface areas (decks/pools/etc.): | 224 s.f. |
| TOTAL PROPOSED IMPERVIOUS AREAS: | 5,561 s.f. |



Flat-Bottom Gravel Infiltration Trench Detail

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A BOUNDARY SURVEY

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NOTE
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 22 Richmond Center Court
 St. Peters, MO 63376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prs3.com 1-800-708-3918

STORMWATER MANAGEMENT PLAN
 Lot 4 of Heather Hill First Addition,
 Plat Book 52, Page 38
 In the Southwest Quarter of Section 6,
 Township 45 North, Range 6 East, St. Louis County, Missouri
 Prepared For:
McKelvey Homes, Inc.
 218 Chesterfield Towne Centre
 Chesterfield, MO 63053
 636-536-6666

| REVISIONS NO. | DATE | DESCRIPTION |
|---------------|----------|------------------------------------|
| 1 | 10/26/16 | REVISED PER CITY 10/21/16 |
| 2 | 11/01/16 | REVISED STORMWATER MANAGEMENT PLAN |

| | | | |
|-----------|----------------|------------|----------|
| DRAWN | DWD/RGA | DATE | 09/26/16 |
| CHECKED | D.F.S. | DATE | |
| PROJECT # | 14011.MCHO.01S | FIELD BOOK | 1440 |
| TASK # | 2 | | |

Site Cross Sections

Lot 3

Lot 5



SECTION A-A
1/8"=1'



SECTION B-B
1/8"=1'

"PLOT PLAN"
THIS DOES NOT CONSTITUTE
A BOUNDARY SURVEY
 This is to certify that at the request of
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 on the 26TH day of SEPTEMBER, 2016, a plot plan
 was prepared for the proposed location of
 improvement for LOT 4 OF HEATHER HILL FIRST ADDITION
 Sec. and/or U.S. Survey 6 T.45N
 R.6E ST. LOUIS County, Missouri & that
 the results of said plot plan are correctly
 represented hereon. By Professional Land
 Surveyor: _____ P.L.S.
 Pickett, Roy, & Silver's Corporate Registration #:
 LS-54-D

Basis of bearing/angles for this survey is
 assumed based on the plat of HEATHER HILL
 FIRST ADDITION recorded in Plat Book 52,
 Page 38 of the St. Louis County Records.

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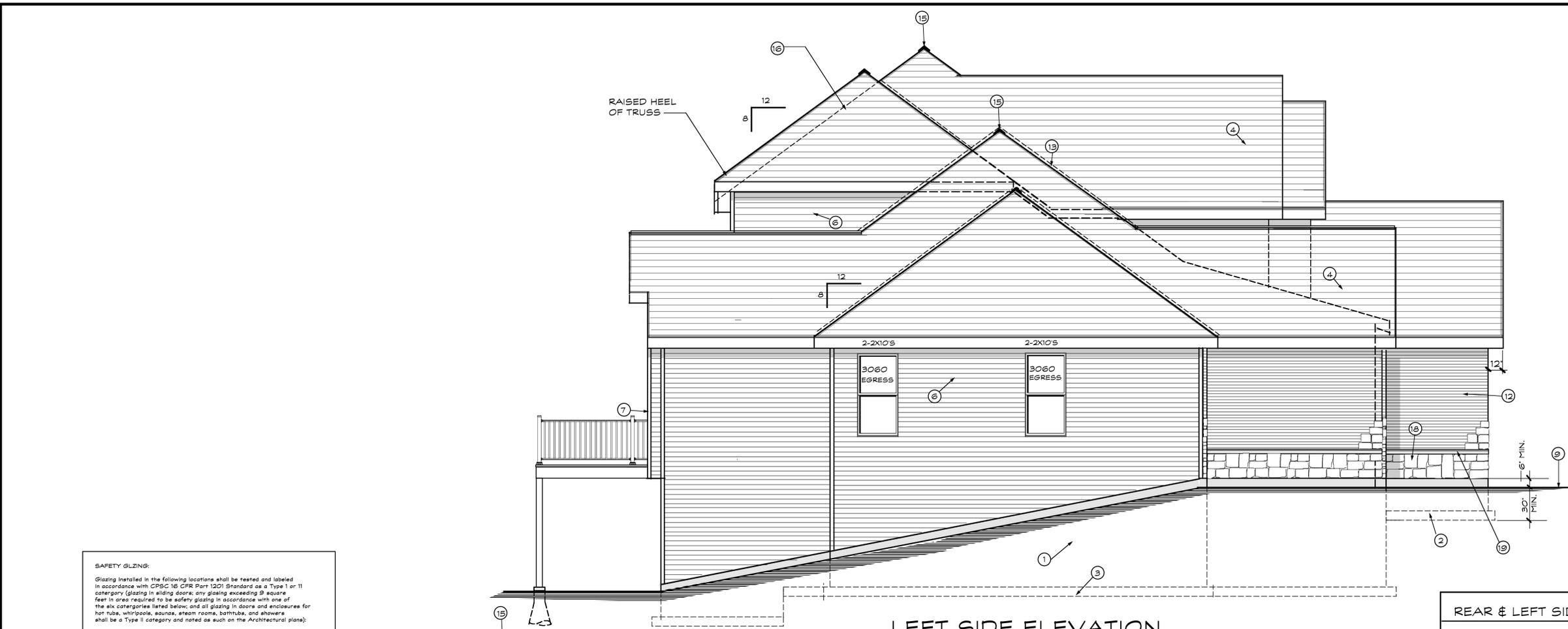
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 22 Richmond Center Court
 St. Peters, MO 63376
 Phone (636) 397-1211 Fax (636) 397-1104
 www.prs.com 1-800-708-8916

SITE CROSS SECTIONS
 Lot 4 of Heather Hill First Addition,
 Plat Book 52, Page 38
 In the Southwest Quarter of Section 6,
 Township 45 North, Range 6 East, St. Louis County, Missouri
 Prepared For:
McKelvey Homes, Inc.
 218 Chesterfield Towne Centre
 Chesterfield, MO 63003
 636-531-6900

| REVISIONS | NO. | DESCRIPTION | DATE |
|-----------|-----|---------------------------|----------|
| 1. | | REVISED PER CITY 10/21/16 | 10/26/16 |

| | |
|--------------------------|-----------------|
| DRAWN | DATE |
| DWD/RGA | 09/26/16 |
| CHECKED | DATE |
| D.F.S. | |
| PROJECT # 14011.MCHO.01S | FIELD BOOK 1440 |
| TASK # 2 | |



LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

SAFETY GLIZING:
 Glazing installed in the following locations shall be tested and labeled in accordance with CPSC 16 CFR Part 1201 Standard as a Type I or II category glazing in egress doors; any glazing exceeding 9 square feet in area required to be safety glazing in accordance with one of the six categories listed below; and all glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers shall be a Type II category and noted as such on the Architectural plans;

- REAR & LEFT SIDE ELEVATION NOTES:**
- ① 8" CONCRETE FOUNDATION
 - ② 20" X 8" CONCRETE FOOTING
 - ③ 24" X 8" CONCRETE FOOTING
 - ④ 25 YEAR FIBERGLASS SHINGLES WITH SEAL DOWN TABS
 - ⑤ METAL FLASHING (CORROSION RESISTANT)
 - ⑥ JAMES HARDIE CEMENT BOARD SIDING COMPLIES WITH ASTM C1186, TYPE A, GRADE II
 - ⑦ JAMES HARDIE CORNER TRIM OR EQUAL
 - ⑧ DELETED NOTE
 - ⑨ GRADE- SLOPE 1/2' TO 1'-0" FOR A MIN. 10'- 0" OR TO SWALE
 - ⑩ PRE- FINISHED VINYL TRIM
 - ⑪ CONCRETE STEP
 - ⑫ BRICK VENEER
 - ⑬ INTERLACE SHINGLES OVER 30 LB. FELT UNDERLAY
 - ⑭ 2 - #5 RODS - EXTEND 2'-0" PASS WINDOW OPENING WHERE POSSIBLE (TYPICAL)
 - ⑮ SHINGLE VENT II RIDGE VENT OR EQUAL
 - ⑯ OUTLINE OF ROOF BEYOND
 - ⑰ DELETED NOTE
 - ⑱ STONE VENEER
 - ⑳ PRECAST STONE SILL



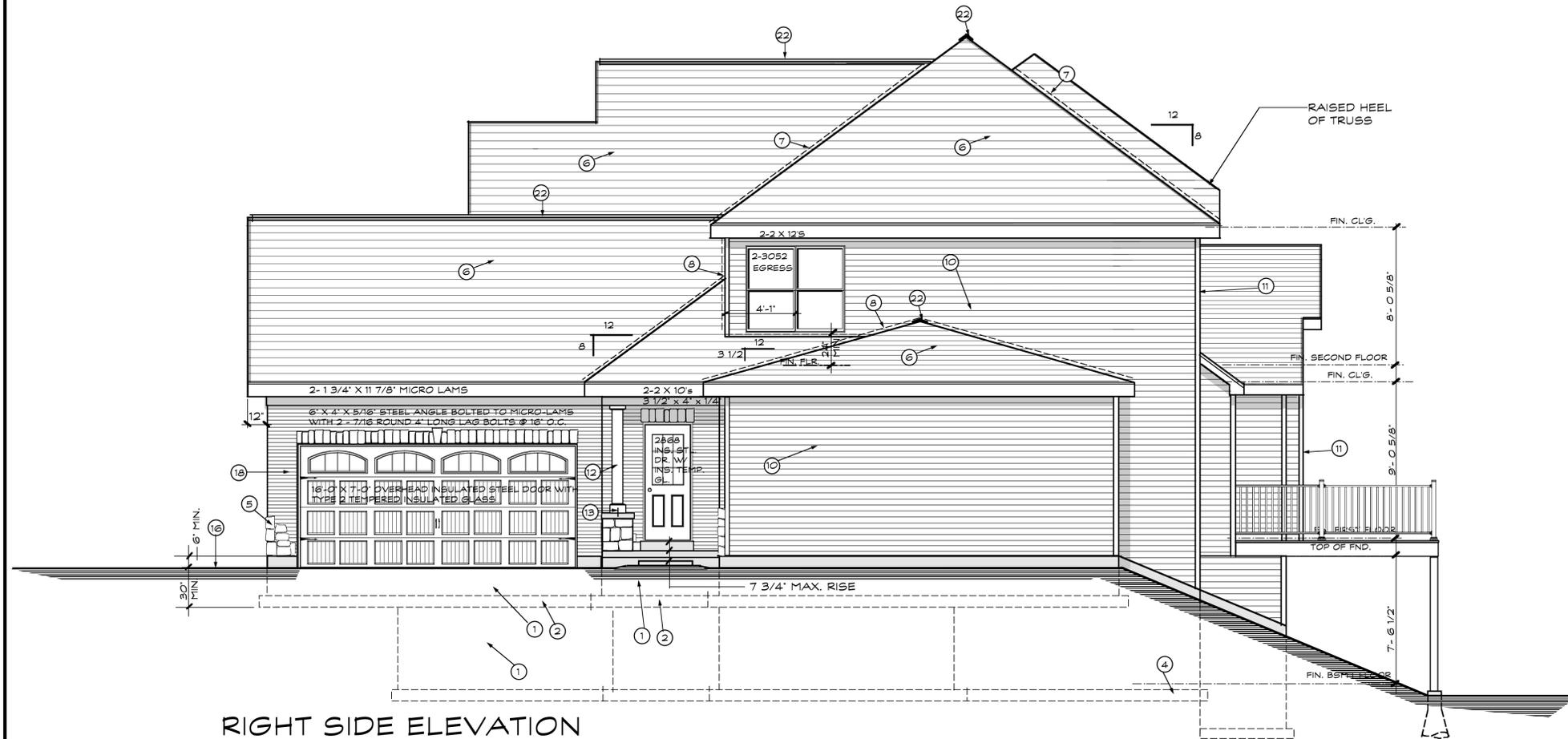
REAR ELEVATION

SCALE: 1/4" = 1' - 0"

PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.

THE "BELLERIVE"
 #21 STACY DRIVE
 OLIVETTE, MO.

| | |
|---|--|
| STUART PATTERSON - ARCHITECT PAUL TRENDLEY - CONSTRUCTION CONSULTANT 2568 RAYMOND DRIVE ST. CHARLES, MO. 63301 PHONE : 636-946-7216 <small>Copyright 2016</small> | SHEET NO. 5 OF 10 PLAN NO. 16-6721 |
| <small>Drawn By: D.P. Checked By: P.T. & S.P.</small> | <small>DATE: 10/12/16</small> |

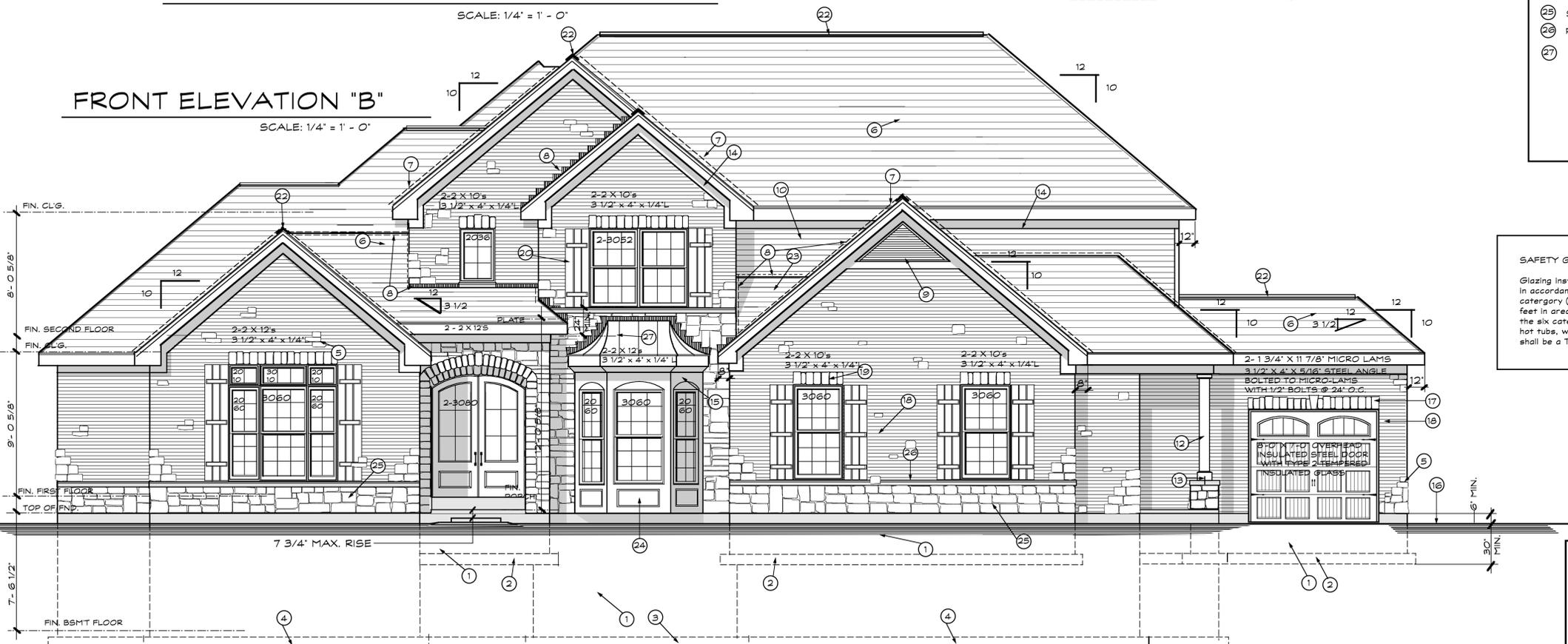


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

FRONT ELEVATION "B"

SCALE: 1/4" = 1' - 0"



FRONT "B" & RIGHT SIDE ELEVATION NOTES:

- 1 8" CONCRETE FOUNDATION
- 2 20' X 8" CONCRETE FOOTING
- 3 30' X 8" CONCRETE FOOTING
- 4 24' X 8" CONCRETE FOOTING
- 5 STONE ACCENTS
- 6 30 YEAR ARCHITECTURAL GRADE FIBERGLASS SHINGLES WITH SEAL DOWN TABS
- 7 INTERLACE SHINGLES OVER 30 LB. FELT UNDERLAY
- 8 METAL FLASHING (CORROSION RESISTANT)
- 9 64" BASE TRIANGLE FIBERGLASS LOUVER (NON VENTING)
- 10 JAMES HARDIE CEMENT BOARD SIDING COMPLIES WITH ASTM C1186, TYPE A, GRADE II
- 11 JAMES HARDIE CORNER TRIM OR EQUAL
- 12 8" SQUARE COLUMN ON A 24" X 24" X 36" HIGH STONE TIER
- 13 TECO COLUMN "U" ANCHOR WITH 1/2" ANCHOR BOLT BOLTED TO COLUMN & MIN. 8" INTO CONCRETE
- 14 5/4" X 6" SHADOW BOARD
- 15 1" X 12" VINYL TRIM CUT
- 16 GRADE- SLOPE 1/2' TO 1' - 0" FOR A MIN. 10' - 0" OR TO SWALE
- 17 STONE SOLDIER COURSE
- 18 BRICK VENEER
- 19 ARCHED STONE SOLDIER COURSE
- 20 BOARD -N-BATTEN SHUTTERS (MANUFACTURER TO BE DETERMINED)
- 21 DELETED NOTE
- 22 SHINGLE VENT II RIDGE VENT OR EQUAL
- 23 CRICKET WITH METAL FLASHING
- 24 VINYL RAISED PANEL TRIM BOARD PANELS
- 25 STONE VENEER
- 26 PRECAST STONE SILL
- 27 COPPER ROOF WITH COPPER FLASHING

SAFETY GLAZING:

Glazing installed in the following locations shall be tested and labeled in accordance with CPSC 16 CFR Part 1201 Standard as a Type I or II category (glazing in sliding doors; any glazing exceeding 9 square feet in area required to be safety glazing in accordance with one of the six categories listed below; and all glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers shall be a Type II category and noted as such on the Architectural plans):

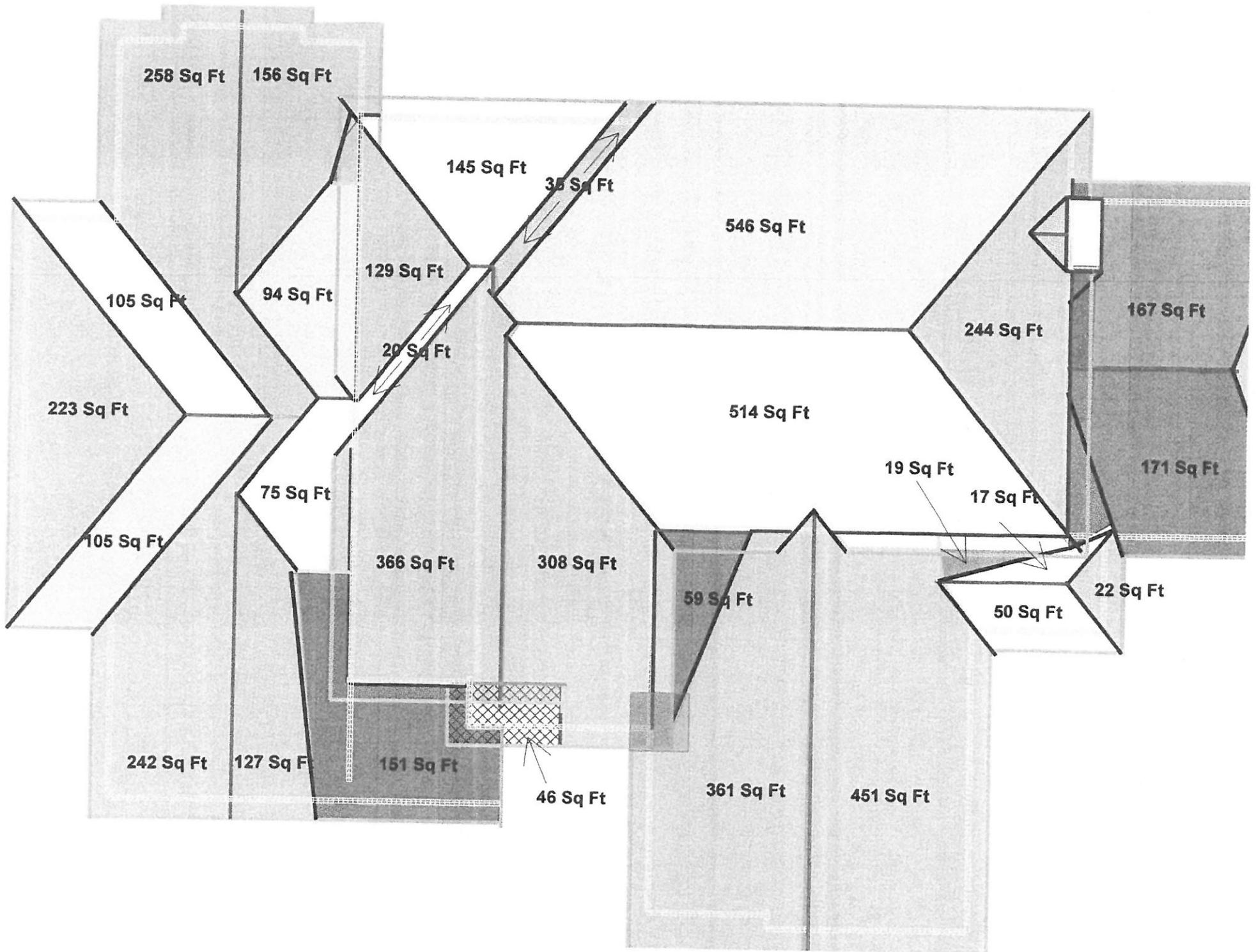
PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.

THE "BELLERIVE"
#21 STACY DRIVE
OLIVETTE, MO.

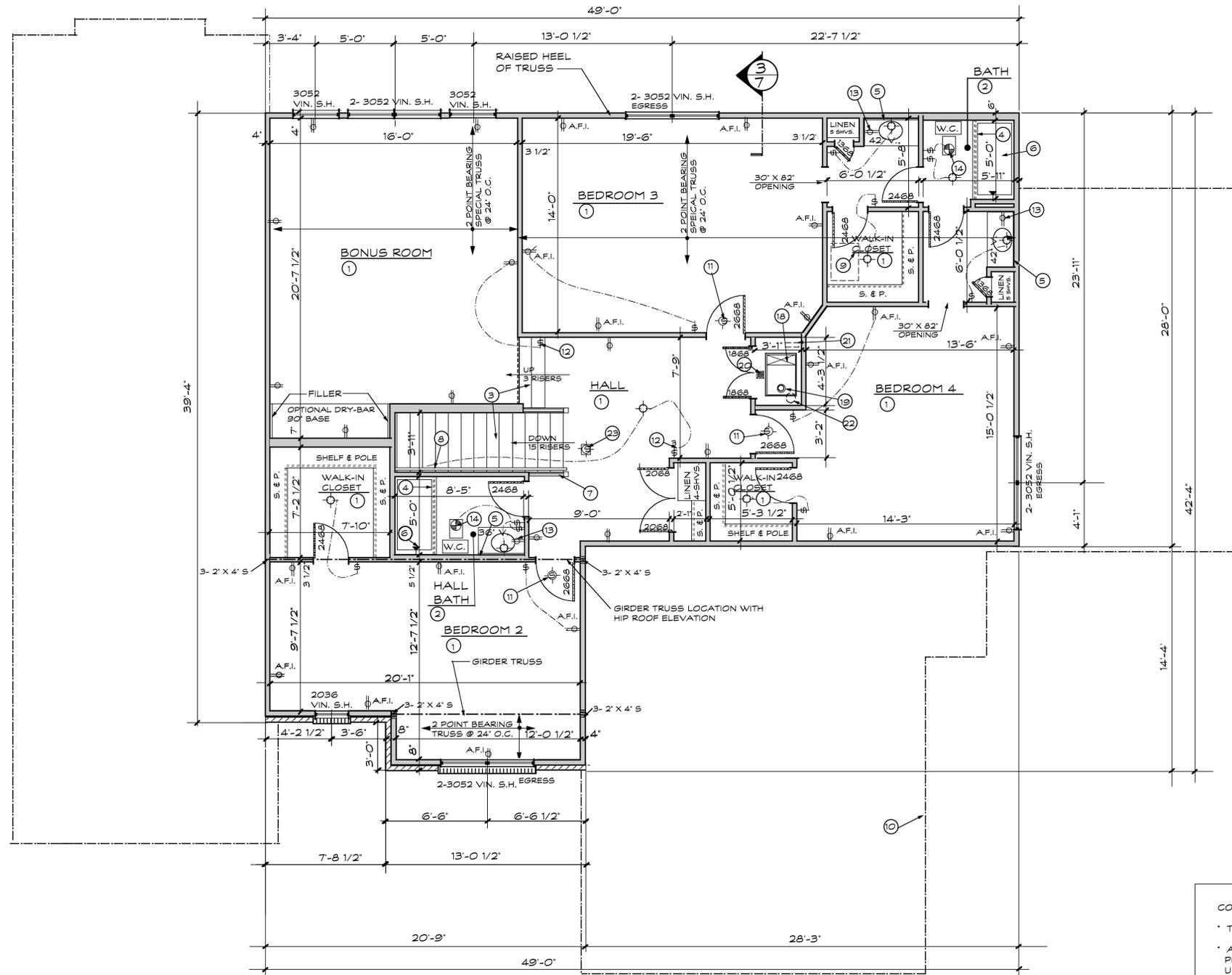
STUART PATTERSON - ARCHITECT
PAUL TRENDLEY - CONSTRUCTION CONSULTANT
2568 RAYMOND DRIVE
ST. CHARLES, MO. 63301
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NOTE:
 BOTTOM OF SECOND FLOOR WINDOWS
 TO THE FIN. FLOOR MUST BE MIN.
 24" (SEE ELEVATIONS)



- SECOND FLOOR PLAN NOTES:**
- FINISHED FLOORS**
- (1) FLOORING TO BE DETERMINED
 - (2) FLOORING TO BE DETERMINED
 - (3) CARPET ENTIRE TREAD
- BATHROOM & PLUMBING CALL-OUTS**
- (4) CURTAIN ROD
 - (5) 1/4' PLATE MIRROR
 - (6) 1-PIECE FIBERGLASS TUB
- MILLWORK & SPECIAL CARPENTER WORK**
- (7) WOOD GUARD RAIL (MIN. 36" HIGH & MAX. 4" BETWEEN SPINDLES)
 - (8) WOOD HANDRAIL (MIN. 36" HIGH & MAX. 4" BETWEEN SPINDLES)
 - (9) 22" X 30" SCUTTLE
 - (10) OUTLINE OF FIRST FLOOR
- ELECTRICAL WORK:**
- (11) A.C. POWERED I.R.C. APPROVED SMOKE DETECTOR (INTERCONNECTED) INSTALLED AS PER NFPA 72-07 WITH BATTERY BACK UP
 - (12) ILLUMINATED LIGHT SWITCH
 - (13) 120 V. ELECTRICAL RECEPTACLE GROUND FAULT INTERRUPTOR
 - (14) EXHAUST FAN MIN. 50 C.F.M. (VENT TO EXTERIOR)
- MECHANICAL & FIREPLACE CALL-OUTS:**
- (15) DELETED NOTE
- MISCELLANEOUS CALL-OUTS:**
- (16) DELETED NOTE
 - (17) DELETED NOTE
 - (18) GAS FORCED AIR FURNACE
 - (19) METAL GLASS "B" FURNACE FLUE WITH CLEAN OUT AND U.L. APPROVED CAP (CLEARANCE TO BE COORDINATED BY MECHANICAL ENGINEERED CONTRACTORS)
 - (20) FLOOR DRAIN
 - (21) COMBUSTION AIR VENT (MIN. 50 SQUARE INCHES TO DROP WITHIN 12' OF FINISHED FLOOR) USE WITH GAS FURNACE OPTION
 - (22) RELIEF AIR VENT (MIN. 50 SQUARE INCHES AT CEILING LEVEL) USE WITH GAS FURNACE OPTION

CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

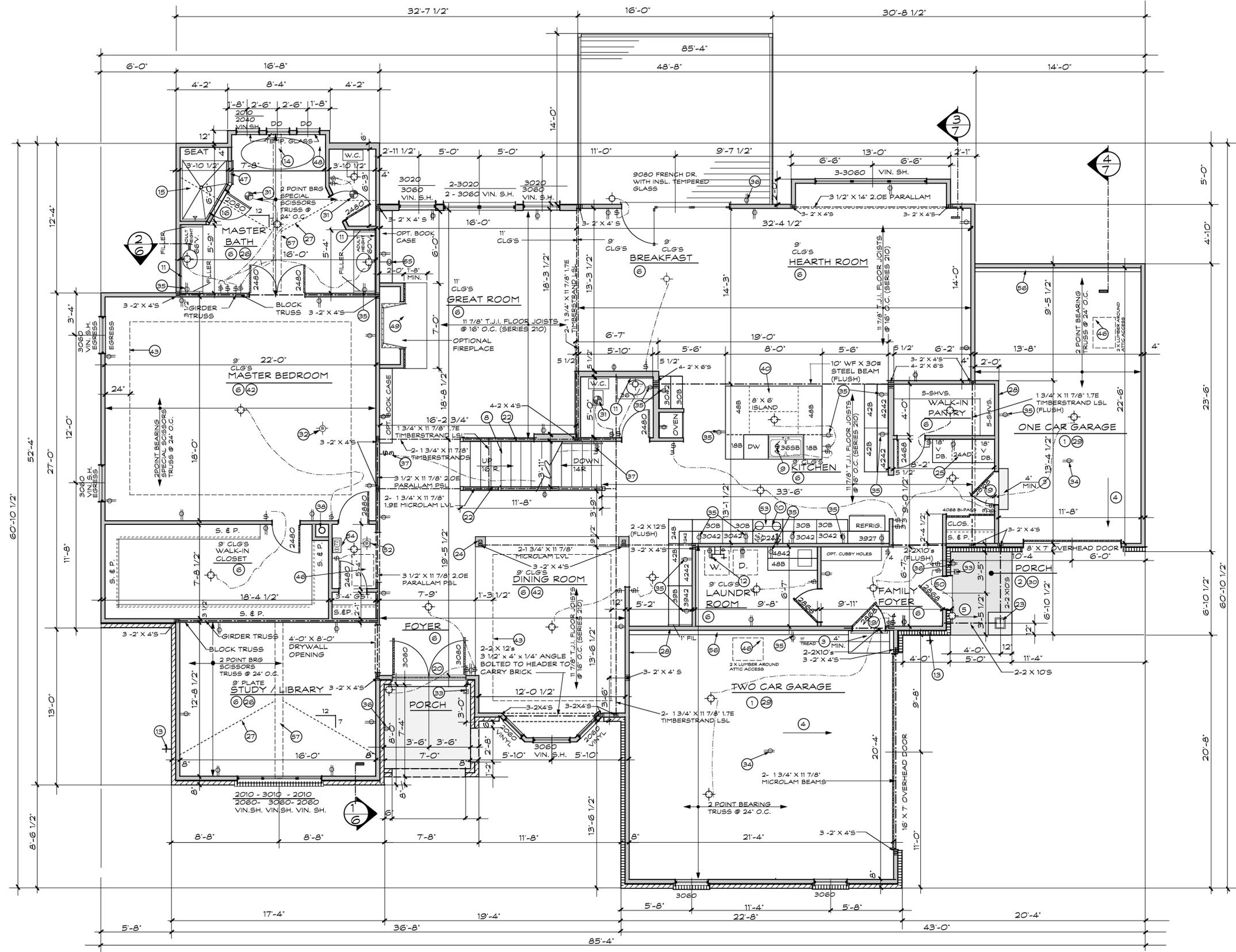
- THE INTERNATIONAL RESIDENTIAL CODE 2009 (IRC)
- ALL BRANCH CIRCUITS THAT SUPPLY 125 - VOLT, SINGLE PHASE, 15 - AND 20 - AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT
- USE GYPSUM WATER RESISTANT IN ALL WET AREAS OF BATH ROOMS (SEE GENERAL NOTES)
- ALL KITCHEN AND BATHROOM RECEPTACLES TO SERVE COUNTERTOP SURFACES SHALL BE GFCI - SECTION 210.9+8(A)(6), NEC 2008

SECOND FLOOR PLAN

1651 SQ. FT.
 SCALE: 1/4" = 1' - 0"

NOTE:
 ALL ELECTRICAL OUTLETS SHALL BE AN
 ARC FAULT INTERRUPTERS UNLESS NOTED OTHERWISE.

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|---|---|---|
| <p>PROPOSED MASTER PLAN FOR: McKELVEY HOMES, INC.</p> <p>THE "BELLERIVE" #21 STACY DRIVE OLIVETTE, MO.</p> | <p>STUART PATTERSON - ARCHITECT PAUL TRENDLEY - CONSTRUCTION CONSULTANT 2568 RAYMOND DRIVE ST. CHARLES, MO. 63301 PHONE : 636-946-7216 Copyright 2016</p> | <p>SHEET NO. 3 OF 10</p> <p>PLAN NO. 16-6721</p> <p>DATE: 10/12/16</p> |
| <p>Drawn By: D.P. Checked By: P.T. & S.P.</p> | | |



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

TRUSS NOTES:
 Design and manufacturer of the wood roof trusses are proprietary to the Truss Supplier. Therefore the design and performance of the project truss system is the exclusive responsibility of Truss Manufacturer. Stuart Patterson requires Truss Supplier to furnish Engineered Load Values at these supports. Any deviation from the plan must be immediately reported to Stuart Patterson for approval prior to finalization of truss design. Stuart Patterson's liability is limited to providing adequate support for the truss system.

NOTE:
 ALL EXTERIOR DOOR OPENINGS SHALL BE PROVIDED WITH A CODE COMPLIANT SET OF STAIRS, BALCONY OR DECK.
 INSTALL 4" TALL STREET ADDRESS NUMBERS ON THE HOUSE SO THEY ARE VISIBLE FROM THE STREET.

NOTE:
 Electrical Contractor shall provide grounding of foundation steel to meet 2008 National Electric Code
 All electrical outlets shall be an ARC FAULT INTERRUPTORS unless noted otherwise

- FIRST FLOOR PLAN NOTES:**
- CONCRETE FLATWORK**
- 4" CONCRETE SLAB OVER #4 STEEL REBAR ALIGNED IN A 4' X 4' GRID PATTERN OVER 4" CRUSHED ROCK
 - 4" CONCRETE SLAB OVER COMPACTED FILL
 - CONCRETE STEP
 - SLOPE GARAGE FLOOR MIN. 1/8" PER 1' - 0" TO GARAGE DOOR
 - SLOPE PORCH FLOOR 1/4" TO 12"
- FINISHED FLOORS**
- FLOORING TO BE DETERMINED
 - DELETED NOTE
 - TREADS TO BE DETERMINED
- KITCHEN & CABINETS CALL-OUTS**
- DISPOSAL
 - COOK TOP UNIT IN A 30" R.B. WITH HOOD ABOVE (VENT HOOD TO EXTERIOR) MIN. 100 C.F.M. (OPTIONAL)
- BATHROOM & PLUMBING CALL-OUTS**
- 1/4" PLATE MIRROR
 - PROVIDE LAUNDRY "SPACE SAVER" HOT & COLD WATER. 2" ROUND LAUNDRY DRAIN, 120 V. & 220 V. ELECTRIC SERVICE FOR DRYER (VENT DRYER TO EXTERIOR)
 - NO FREEZE HOSE BIBB
 - ACRYLIC TUB IN A CERAMIC TILE RAISED PLATFORM
 - CERAMIC TILE BASE WITH CERAMIC TILE WAINSCOT WALLS - CULTURED MARBLE WALLS OPTIONAL
 - 2' - 0" TEMPERED GLASS SWINGING DOOR
 - KNEE SPACE
 - OPTIONAL FIBERGLASS LAUNDRY TUB
- MILLWORK & SPECIAL CARPENTER WORK**
- 2868 6" PANEL INSULATED STEEL 20 MINUTE FIRE DOOR
 - IRONS LION TRADITIONAL 6 LITE FRONT DOOR
 - DELETED NOTE
 - WOOD HANDRAIL (MIN. 34" TO 38" HIGH)
 - 8" SQUARE COLONIAL COLUMN (VARIES WITH ELEVATION)
 - 10" DRYWALL COLUMN WITH PLANT MOULD PICTURED FRAMED AROUND
 - PLANNING DESK WITH KNEE SPACE (OPTIONAL)
 - VAULTED CEILING (STANDARD)
 - OUTLINE OF VAULTED CEILING
- SPECIAL WALL CEILING FINISHES**
- 2" X 4" FULLY INSULATED (R-13) STUD WALL WITH 5/8" TYPE 'X' DRYWALL ON BOTH SIDES TO FINISHED CEILING
 - CEILING - 1/2" DRYWALL
 - CEILING - VINYL VENTED SOFFIT SYSTEM
- ELECTRICAL WORK:**
- EXHAUST FAN MIN. 50 C.F.M. (VENT TO EXTERIOR)
 - A.C. POWERED I.R.G. APPROVED SMOKE DETECTOR (INTERCONNECTED) INSTALLED AS PER NFPA 72-07 WITH BATTERY BACK UP
 - DOORBELL
 - 120 V. ELECTRICAL RECEPTACLE FOR FUTURE GARAGE DOOR OPENER
 - 120 V. ELECTRICAL RECEPTACLE GROUND FAULT INTERRUPTER
 - WATERPROOF 120 V. ELECTRICAL RECEPTACLE (GROUND FAULT INTERRUPTER)
 - ILLUMINATED LIGHT SWITCH
- MECHANICAL & FIREPLACE CALL-OUTS:**
- METAL CLASS 'B' FURNACE FLUE
 - 42" WIDE DIRECT VENT GAS LOG FIREPLACE WITH MARBLE SURROUND AND WOOD MANTEL (BOTTOM OF FIREPLACE 6" OFF FIN. FLOOR) OR VENTLESS FIREPLACE
- MISCELLANEOUS CALL-OUTS:**
- CANTILEVERED BAR TOP
 - 2" X 4 RAFTERS @ 24" O.C. / 2" X 4 CEILING JOIST @ 24" O.C. (#2 CONSTRUCTION GRADE)
 - OPTIONAL TRAY CEILING (8" DROP)
 - OUTLINE OF TRAY CEILING (STANDARD)
 - OPTIONAL VAULTED CEILING
 - OUTLINE OF SECOND FLOOR
 - 22" X 30" SCUTTLE
 - SHOWER WALL TO BE SAME HEIGHT AS TUB DECK W/ CULTURED MARBLE CAP WITH TEMPERED GLASS PARTITION ABOVE FRAMED TUB DECK WITH CERAMIC TILE OVER
 - OPTIONAL 42" WIDE DIRECT VENT GAS LOG FIREPLACE WITH MARBLE SURROUND AND WOOD MANTEL (6" OFF FIN. FLOOR)
 - 2868 INSULATED STEEL DOOR WITH TYPE II INSULATED TEMPERED GLASS
 - DELETED NOTE
 - CARBON MONOXIDE DETECTOR TO COMPLY WITH UL#2034-2008
 - 30" ELECTRIC SLIDE-IN COOK UNIT WITH HOOD ABOVE (VENT HOOD TO EXTERIOR) (STANDARD)
 - PROGRAMMABLE THERMOSTAT (EXACT LOCATION TO BE DETERMINED BY HEATING CONTRACTOR)
 - COMMUNICATION OUTLET SHALL BE CABLED TO THE SERVICE DEMARCATION POINT
 - OUTLINE OF FOUNDATION
 - 8" X 8" CLEAR WHITE PINE BEAM (PAINTED)

PROPOSED MASTER PLAN FOR:
McKELVEY HOMES, INC.
THE "BELLERIVE"

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 PAUL TRENDLEY - CONSTRUCTION CONSULTANT
 2568 RAYMOND DRIVE
 ST. CHARLES, MO. 63301
 PHONE : 636-946-7216 Copyright 2013

SHEET NO.
2
 OF 10
 PLAN NO.
15-6621
 DATE: 8/26/15

Drawn By: D.P. Checked By: P.T. & S.P.